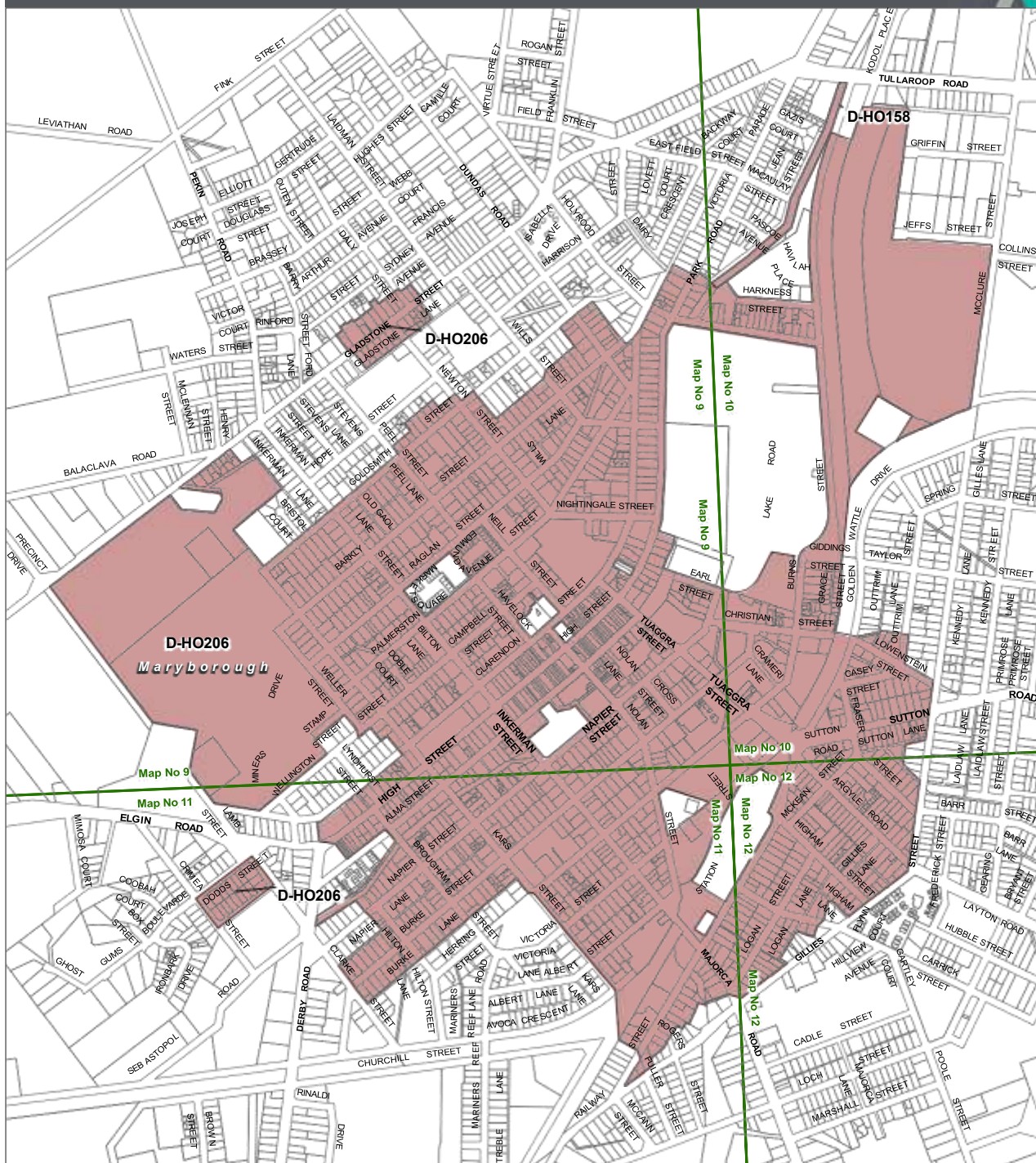


CENTRAL GOLDFIELDS PLANNING SCHEME - LOCAL PROVISION AMENDMENT C40cgoI



LEGEND

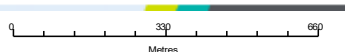
- D-HO - Area to be deleted from a Heritage Overlay
- Local Government Area

Part of Planning Scheme Maps 9HO, 10HO, 11HO & 12HO

Disclaimer
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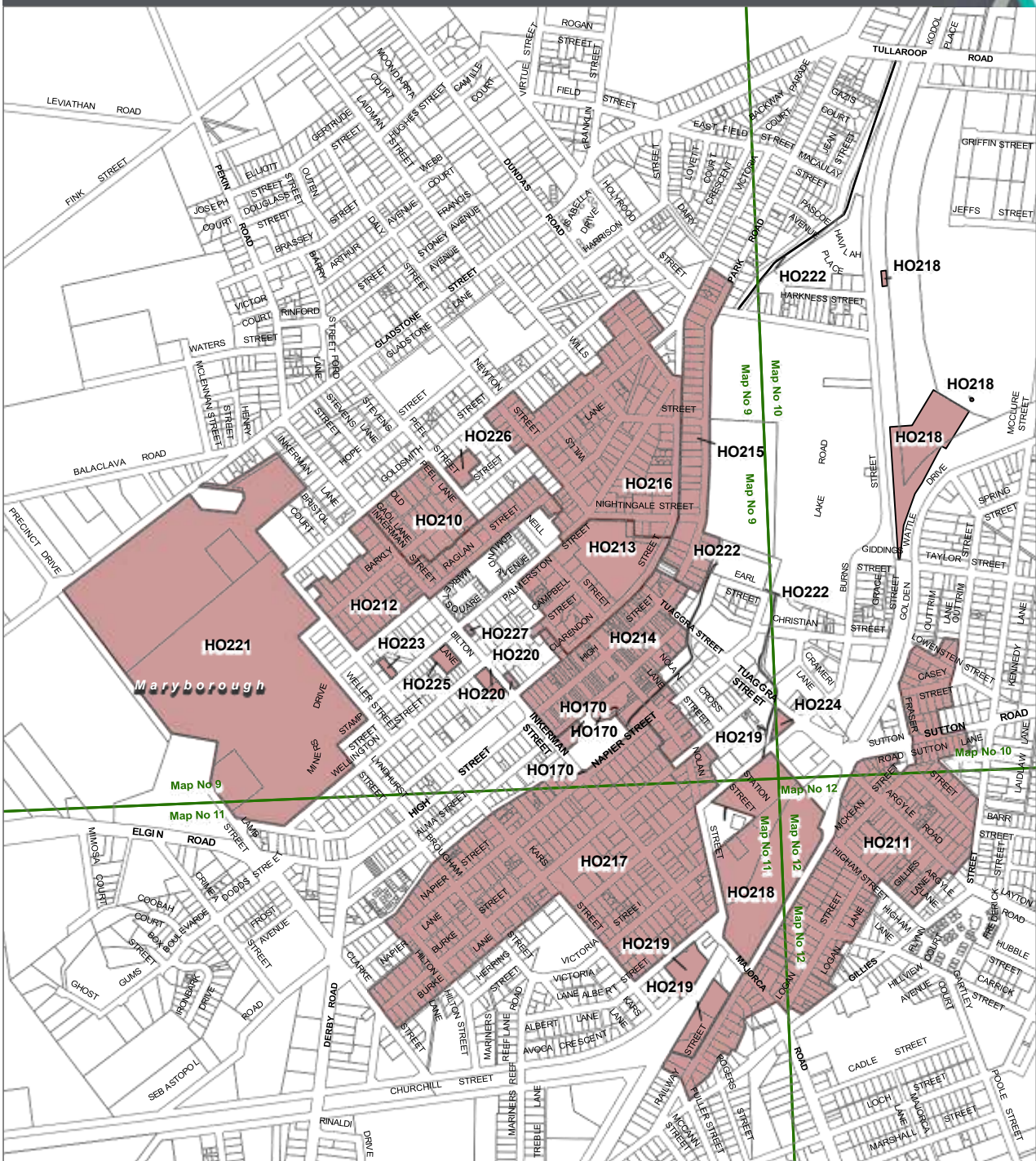
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Print Date: 06/05/2024
Amendment Version: 1



Department of Transport and Planning

CENTRAL GOLDFIELDS PLANNING SCHEME - LOCAL PROVISION AMENDMENT C40cgoI



LEGEND

- HO - Heritage Overlay
- Local Government Area



Part of Planning Scheme Maps 9HO, 10HO, 11HO & 12HO

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Department of Transport and Planning

CENTRAL GOLDFIELDS PLANNING SCHEME

AMENDMENT C40cgoI

EXPLANATORY REPORT

Overview

The proposed amendment seeks to implement the findings of the *Maryborough Heritage Review Study* (Extent Heritage, 2024) by applying the Heritage Overlay to seven individual places, nine precinct areas, two group listings and removing two places from the Heritage Overlay of the Central Goldfields Planning Scheme.

Where to view the amendment

The amendment can be inspected free of charge at:

- Central Goldfields Shire Council website at www.centralgoldfields.vic.gov.au
- During office hours at the Central Goldfields Shire Council, 12-22 Nolan Street, Maryborough
- Department of Transport and Planning website at www.planning.vic.gov.au/public-inspection

Submissions

Any person who may be affected by the proposed amendment may make a submission to the planning authority (Central Goldfields Shire Council). Submissions about the proposed amendment must be received by [insert submissions due date].

A submission must be sent to:

Strategic Planning, Central Goldfields Shire Council:

By post: PO Box 194 Maryborough VIC 3465

In person: 12-22 Nolan Street, Maryborough

By email: mail@cgoldshire.vic.gov.au. Please include 'Amendment C40cgoI' in the subject field.

Panel hearing dates

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this proposed amendment:

- directions hearing: TBC
- panel hearing: TBC

Details of the amendment

Who is the planning authority?

This amendment has been prepared by Central Goldfields Shire Council, which is the planning authority for this amendment.

The amendment has been made at the request of Central Goldfields Shire Council.

Land affected by the proposed amendment

The proposed amendment affects land in the township of Maryborough as shown in Figure 1 below.

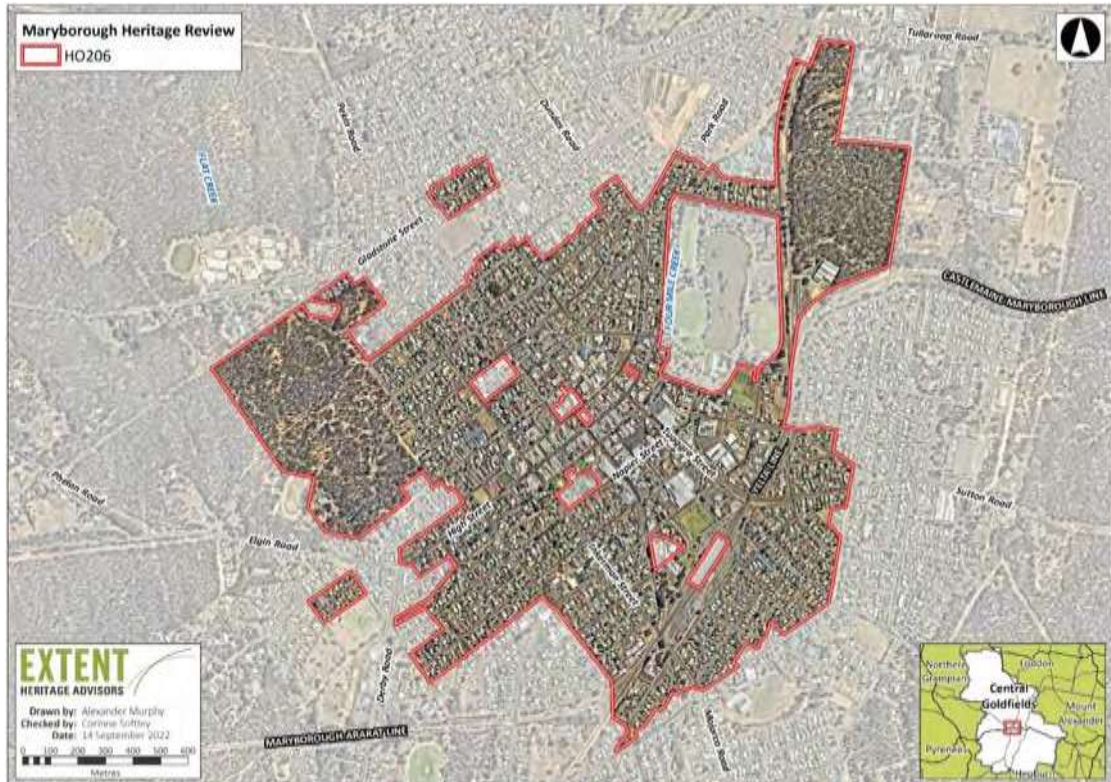


Figure 1: Maryborough Heritage Review Study – study area and land affected by the amendment. Source: Extent Heritage, 2024

Refer to Attachment 1 for details for all affected land.

What the proposed amendment does

The amendment seeks to implement the recommendations of the *Maryborough Heritage Review Study* (Extent Heritage, 2024) and make associated changes to the Central Goldfields Planning Scheme.

Specifically, the amendment:

Ordinance

- Amends the Municipal Planning Strategy at Clause 02.03-5 (Built environment and heritage).
- Amends the Planning Policy Framework to update Clause 11.03-6L-02 (Maryborough Central Business District Area).
- Amends the Planning Policy Framework at Clause 15.03-1L (Heritage conservation - Central Goldfields) to insert local heritage policy.
- Amends the schedule to Clause 43.01 (Heritage Overlay) to delete Heritage Overlay 206 Maryborough Area (HO206) and Heritage Overlay 158 Main Drain and Bridge (HO158).
- Amends the schedule to Clause 43.01 (Heritage Overlay) to apply the Heritage Overlay to seven individual places, nine precinct areas and two group listings.

- Amends the schedule to Clause 72.04 (Documents incorporated in this scheme) to include 18 Statements of Significance for the heritage places introduced by this amendment.
- Amends the schedule to Clause 72.04 (Documents incorporated in this scheme) to include *Maryborough Heritage Overlay Exemptions* (Extent Heritage, 2024).
- Amends the schedule to Clause 72.08 (Background documents) to include the following documents as background documents:
 - a) *Maryborough Heritage Review Study Volume 1 & 2* (Extent Heritage, 2024)
 - b) *Central Goldfields: Heritage Design Guidelines* (Extent Heritage, 2024).

Maps

- Amends Planning Scheme Maps 9HO, 10HO, 11HO and 12HO to delete Heritage Overlay 206 Maryborough Area (HO206) and Heritage Overlay 158 Main Drain and Bridge (HO158).
- Amends Planning Scheme Maps 9HO, 10HO, 11HO, 12HO to apply the Heritage Overlay to seven individual places, nine precinct areas and two group listings.

Strategic assessment of the amendment

Why is the amendment required?

The amendment is required to implement the recommendations of the *Maryborough Heritage Review Study* (Extent Heritage, 2024) (the Study).

The Study focused on Heritage Overlay: 206 Maryborough Area (HO206) as illustrated in Figure 1 and involved the examination of the study area through fieldwork, historical research and community consultation.

The amendment is required to remove HO206 and to give statutory protection to seven individual places, nine heritage precincts and two heritage groups that better reflect the heritage values of the study area.

The inclusion of the individual places, precincts and group listings in the Heritage Overlay is the appropriate planning mechanism to protect the heritage values of locally significant places. The overlay requires a permit to be granted for building and works, including demolition, to ensure proposed changes respect heritage values.

Places proposed to be removed from HO206 that are not included in the new precincts, group listings or via individual Heritage Overlays were determined by the Study to be of no or limited heritage value, of low integrity and/or physically isolated from the proposed precinct areas. The removal of these places from the Heritage Overlay will reduce the economic and administrative burden for non-contributory places that were affected by statutory requirements associated with the heritage controls of the Central Goldfields Planning Scheme.

How does the amendment implement the objectives of planning in Victoria?

The proposed amendment implements the following objectives set out in Section 4 of the *Planning and Environment Act 1987*:

- Section 4(1)(d) - *to conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value;*
- Section 4(1)(f) - *to facilitate development in accordance with the objectives set out in paragraphs (a), (b), (c), (d) and (e);*
- 4(1)(g) - *to balance the present and future interests of all Victorians.*

How does the amendment address any environmental, social and economic effects?

The amendment will have positive effects on the environment through the increased protection and conservation of locally significant heritage places and cultural landscapes. The conservation and maintenance of heritage buildings also promotes environmental sustainability benefits.

The amendment is anticipated to have positive social and economic effects through the recognition and protection of culturally significant buildings, landscapes, streetscapes, and precincts. The protection of these places will enhance the amenity and character of Maryborough and strengthen its appeal as a tourism destination.

The proposed amendment is expected to have further positive economic effects by improving statutory planning processes, increasing certainty, streamlining decision making and minimising time delays.

Does the amendment address relevant bushfire risk?

The proposed amendment will affect properties within the Bushfire Management Overlay and designated bushfire prone areas within the municipality. The proposed changes are not expected to result in changes that will increase the risk to life, property, infrastructure, or the natural environment from bushfire.

Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The proposed amendment is consistent with the *Ministerial Direction on the Form and Content of Planning Schemes* under Section 7(5) of the Act.

The proposed amendment also addresses the requirements of Ministerial Direction No. 11 *Strategic Assessment of Amendments*.

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment supports the objective of Clause 11.03-6L-02 (Maryborough Central Business District Area) to conserve and protect significant buildings, streetscapes and public spaces that contribute to the heritage character of the Maryborough Central Business District Area.

It seeks to achieve the strategies of Clause 15.03-1S (Heritage conservation) by updating the Central Goldfields Planning Scheme to provide statutory protection for seven individual places, nine precinct areas and two group listings. These places will be supported by Statements of Significance that clearly define the contributory elements that comprise the heritage significance of the places.

The Clause 15.03-1L local heritage policy seeks to assist the council's statutory planning functions to strengthen decision making and encourage the conservation of heritage places and appropriate new development that is respectful of heritage values.

The *Maryborough Heritage Design Guidelines* (Extent Heritage, 2024) will encourage best-practice approaches to the conservation and maintenance of heritage places and contributory elements across the Shire.

The *Maryborough Heritage Overlay Exemptions* (Extent Heritage, 2024) Incorporated Plan provides permit exemptions for works to non-contributory places located within heritage precincts to reduce the economic and administrative burden for applicants located in Heritage Overlay areas.

How does the amendment support or implement the Municipal Planning Strategy?

The proposed amendment supports and implements the Municipal Planning Strategy of the Central Goldfields Planning Scheme, specifically at:

- Clause 02.03-1 (Settlement) and strategic directions including:
 - *Prioritising medium density housing in the vicinity of the Maryborough Central Business Area, including shop-top living, townhouses and villa-style developments.*
 - *Supporting greater urban consolidation and housing diversity, while also protecting the amenity and character of Maryborough.*

- Clause 02.03-2 (Environmental and landscape values) by protecting and enhancing remnant vegetation and wildlife corridors through the application of the Heritage Overlay and tree controls on the Bristol Hill landscape.
- Clause 02.03-5 (Built environment and heritage) and strategic directions including:
 - *Protecting sites, places, buildings and features of heritage significance.*
 - *Preserving and enhancing the visual amenity and character of Maryborough and the Shire's townships.*
 - *Maintaining and enhancing the character and qualities of the Maryborough Central Business Area by retaining its compact urban form, pedestrian scale and heritage character.*

The amendment will ensure the terminology of Clause 02.03-5 is consistent with *Planning Practice Note 1: Applying the Heritage Overlay* (PPN01) and *Australia ICOMOS Charter for Places of Cultural Significance 2013* (Burra Charter). The amendment also introduces strategic directions at Clause 02.03-5 to acknowledge the Traditional Owners of the land, as reflected in the study area contextual history in *Maryborough Heritage Review Study: Volume 1*.

The amendment will protect seven individual places, nine precinct areas and two group listings that comprise a diverse range of buildings, features, landscapes and streetscapes.

The Statements of Significance, local heritage policy, permit exemptions and heritage guidelines will support and encourage development that is respectful of heritage significance and strengthens the heritage character of the Shire and broader Victorian Goldfields region.

In particular, the Statements of Significance identify key heritage attributes to be protected and the local policy and design guidelines seek to encourage sensitive design outcomes for infill development directed to the Maryborough Central Business Area and residential precincts, in accordance with Council's housing and settlement objectives for Maryborough.

Does the amendment make proper use of the Victoria Planning Provisions?

The proposed amendment makes proper use of the Victoria Planning Provisions (VPP). The Heritage Overlay is the most appropriate mechanism for recognising and protecting the cultural heritage significance of the identified places and precincts.

The amendment makes proper use of incorporated documents to clearly define the contributory elements that comprise the heritage significance of the places affected by the amendment.

The proposed amendment is consistent with *Planning Practice Note 1 – Applying the Heritage Overlay* (PPN01).

How does the amendment address the views of any relevant agency?

Agencies will be formally notified through the Planning Scheme Amendment process.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The proposed amendment will not have a significant impact on the transport system, as defined by section 3 of the *Transport Integration Act 2010*.

What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?

The inclusion of the proposed individual places, group listing and precincts may contribute to a minor increase in the council's resource and administrative costs. The council has confirmed that this increase can be accommodated within existing resources.

These costs are anticipated to be offset by the removal of existing HO206, which is likely to contribute to a reduction in the number of planning permit applications triggered by the requirements of the Heritage Overlay. The statements of significance, heritage local policy, permit exemptions and guidelines will provide for improved decision making by Central Goldfields Shire Council.

ATTACHMENT 1 - Mapping reference table

HO	Place name	Land /Area Affected	Proposed change to schedule to Clause 43.01 Heritage Overlay or PS Map Ref no.
HO210	Former Gaol Precinct	18-30 Goldsmith Street 5-17 Peel Street 21-35 & 24-36 Barkly Street 92-102 Inkerman Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO211	Eastern Residential Precinct	4-42 & 5-37 Argyle Road 1-5 & 8 Carrick Street 2-12 & 3 Casey Street 1-25 & 12-30 Fraser Street 4-12 Golden Wattle Drive 3-23 & 4 Higham Street 1-31 & 4-38 Logan Street 2-4 & 5-7 Lowenstein Street 1-13 & 2-8 Majorca Road 2-18 & 3-15 McKean Street 146-220 & 153-159 Railway Street 2-28 & 11-29 Sutton Road, Maryborough	Apply the Heritage Overlay 002hoMaps 10HO, 11HO, 12HO
HO212	Raglan Street Precinct	2-4 & 3 Peel Street 11-57 & 54-58 Raglan Street 82-88 Kars Street 1-19 & 2-20 Barkly Street 83-101 & 86-90 Inkerman Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO213	Civic Square Precinct	Palmerston Street, 9 Nightingale Street Florence Lane 67-71 Clarendon Street 1-9 & 2-10 Neill Street Havelock Street 1/14, 14-20 Campbell Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO214	Commercial Precinct	1-3 Havelock Street Clarendon Street 57-177 & 70-212 High Street	Apply the Heritage Overlay 002hoMap 09HO

7

OFFICIAL

HO	Place name	Land /Area Affected	Proposed change to schedule to Clause 43.01 Heritage Overlay or PS Map Ref no.
		54-86 Alma Street Napier Street 39 -45 Tuaggra Street 35-95 & 38-108 Nolan Street, Maryborough	
HO215	Park Road Precinct	1-2 Nightingale Street 1-55 Park Road 183-195 & 232-244 High Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO216	Palmerston Street Precinct	1-21 & 6-18 Dundas Road 91-109 Clarendon Street 1-7 & 6-10 Nightingale Street 1-37 & 6-28 Newton Street 1-15 & 2-10 Wills Street 53-75 & 52-78 Barkly Street 61-71A & 60-62 Raglan Street 37-69 & 40-62 Palmerston Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO217	Western Residential Precinct	13-29 Albert Street 12, 16-24, 15-31 & 32B Brougham Street 11-85 & 12-86 Burke Street 18-44 & 23-45 Burns Street 16 Clarke Street 24 Hilton Street 2-44 & 3-49 Inkerman Street 8-32 & 27-43 Kars Street 15-65 & 16-86 Napier Street 3-33 & 24-36 Nolan Street 12-36 & 19-43 Victoria Street, Maryborough	Apply the Heritage Overlay 002hoMaps 09HO, 11HO
HO218	Maryborough Railway Complex	27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough	Apply the Heritage Overlay 002hoMaps 09HO, 10HO, 11HO, 12HO.
HO219	Industrial Serial Listing	36-38 Albert Street 159, 165 & 167 Railway Street 96 Burke Street, Maryborough	Apply the Heritage Overlay 002hoMap 11HO
HO220	Methodist and Church	63-65 Inkerman Street	Apply the Heritage Overlay

HO	Place name	Land /Area Affected	Proposed change to schedule to Clause 43.01 Heritage Overlay or PS Map Ref no.
	of Christ Churches	49 Clarendon Street, Maryborough.	002hoMap 09HO
HO221	Bristol Hill	Area bounded by Gladstone Street, Inkerman Lane, Kars Street, Weller Street, Wellington Street, Clarendon Street, Maryborough	Apply the Heritage Overlay 002hoMaps 09HO, 11HO
HO222	Maryborough Main Drain	Central Maryborough	Apply the Heritage Overlay 002hoMaps 09HO, 10HO, 11HO, 12HO
HO223	Worsley Cottage	3 Palmerston Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO224	Residence and Warehouse (St Carlo House / Elias Cramieri and Sons)	9 -13 Tuaggra Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO, 10HO
HO225	Former Maryborough Primary School 404	18 Palmerston Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO226	Tiverton (Sir Edmund Herring House)	16 Peel Street, Maryborough	Apply the Heritage Overlay 002hoMap 09HO
HO227	Bristol Hill Corner Store	20 Palmerston Street, Maryborough	002hoMap 09HO
HO206	Maryborough Area	Properties in central Maryborough	Remove from the Heritage Overlay. 001d-hoMap 09HO, 10HO, 11HO, 12HO
HO158	Main Drain and Bridge to be deleted.	Between Tullaroop Road and Harkness Street, Maryborough	Remove from the Heritage Overlay due to insertion of HO222. 001d-hoMap 10HO

Planning and Environment Act 1987

CENTRAL GOLDFIELDS PLANNING SCHEME

AMENDMENT C40cgoI

INSTRUCTION SHEET

The planning authority for this amendment is the Central Goldfields Shire Council.

The Central Goldfields Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of two attached map sheets.

Overlay Maps

1. Amend Planning Scheme Map Nos. 09HO, 10HO, 11HO and 12HO in the manner shown on the attached maps marked "Central Goldfields Planning Scheme, Amendment C40cgoI".

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

2. In **Purpose and Vision** – replace Clause 02.03-5 with a new Clause 02.03-5 in the form of the attached document.
3. In **Planning Policy Framework**- replace Clause 11.01-1L with a new Clause 11.01-1L in the form of the attached document.
4. In **Planning Policy Framework**- insert new Clause 15.03-1L in the form of the attached document.
5. In **Overlays** – Clause 43.01, replace Schedule with a new Schedule in the form of the attached document.
6. In **Operational Provisions** – Clause 72.03, replace the Schedule with a new Schedule in the form of the attached document.
7. In **Operational Provisions** – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.
8. In **Operational Provisions** – Clause 72.08, replace the Schedule with a new Schedule in the form of the attached document.
9. In **Operational Provisions** – Clause 74.02, replace the Schedule with a new Schedule in the form of the attached document.

End of document

02.0310/09/2020
C32cgoi**02.03-1**07/12/2023
C34cgoi**STRATEGIC DIRECTIONS****Settlement**

The Shire's settlement hierarchy comprises an urban centre and townships each with a role defined by levels of population, services and physical characteristics that provide the centre with its identity as follows:

Settlement hierarchy

Urban centre	Classification	Role and identity
Maryborough	Sub-regional centre	Major centre for employment, retailing, services and administration. Identity defined by Box Ironbark forest setting, heritage and compact central area
Carisbrook	District centre	Satellite town to Maryborough with town centre services providing day to day shopping needs. Identity defined by heritage character, with Deep Creek setting and proximity to natural environs such as the Moolort Plains as a major feature
Dunolly	District centre	Provides limited retail, business and community services for town and district population. Identity defined by strong heritage character, grain facility and visible gold mining history
Talbot	Local community centre	Provides mainly day to day convenience shopping. Identity defined by town's heritage character, particularly Scandinavian Crescent and Camp Street and tourism prospects
Majorca	Hamlet	Small settlement with minescape features
Timor	Hamlet	Small settlement with several heritage features
Bealiba	Hamlet	Small heritage gold town
Moliagul	Hamlet	Historic village and 'Welcome Stranger' site

Maryborough is expected to experience small but steady (VIF 2019) population growth over the next ten years. Maryborough performs an important regional function as a centre for retail and commerce, employment and community services. Future development opportunities for the township exist north of Maryborough on Maryborough-Dunolly Rd and several large undeveloped sites within the township. However, further investigation is required, including but not limited to bushfire hazards and utility service provisions. Carisbrook is identified as the area for broad hectare residential development. Rural living and rural residential developments are located around Dunolly,

CENTRAL GOLDFIELDS PLANNING SCHEME

Carisbrook, Alma, Daisy Hill, Havelock, Majorca, Timor and Bealiba. There is an opportunity for low density rural living lots around serviced areas in Maryborough and Carisbrook. Existing rural living areas outside of townships and in areas of high environmental value should be protected under the Rural Conservation Zone.

Council seeks to support its established townships and emerging settlements by:

- Primarily directing development to Maryborough as a sub-regional centre.
- Prioritising medium density housing in the vicinity of the Maryborough Central Business Area, including shop-top living, townhouses and villa-style developments.
- Supporting greater urban consolidation and housing diversity, while also protecting the amenity and character of Maryborough.
- Ensuring greater diversification of uses in the Mixed Use Zone in Maryborough, by encouraging commercial, retail and residential uses.
- Maintaining the network of smaller urban centres to ensure reasonable access to jobs, services and lifestyle choices.
- Directing development to infill lots that are suitable for development in the smaller townships of Dunolly, Carisbrook, Bealiba, Talbot and Majorca.
- Limiting low density residential development at the periphery of Dunolly, Majorca and Timor to locations that can be economically and efficiently provided with water, sewerage, electricity and suitable road access.
- Ensuring a more compact urban form for Maryborough, Carisbrook and Dunolly.
- Prioritising the provision of infrastructure to support walkability and accessibility in the sub-regional and district towns.
- Recognising the unique characteristics of each town and place as defined in the Community Plans.
- Developing framework planning for future development in Maryborough, Carisbrook and Flagstaff.
- Investigating the role of low density residential and rural residential development as part of the preparation of an overall housing strategy for Maryborough and Carisbrook.

02.03-2

07/12/2023
C34cgoi

Environmental and landscape values

Landscape

Prominent features of the natural landscape include Paddy's Ranges State Park, Mt Bealiba Range, Moolort Plains, the Cairn Curran Reservoir and Talbot's volcanic rises. Several creeks including the Bet Bet, Burnt, Emu, Timor, Tullaroop and McCallums Creeks traverse the Shire and the Avoca River forms part of the western boundary with the Pyrenees and Northern Grampians Shires.

Vegetation

Central Goldfields Shire is located within the heart of the Box Ironbark ecosystem, with Box Ironbark forests surrounding the settlements of the Shire. This ecosystem provides essential habitat for a wide diversity of flora and fauna, many of which are unique to this area.

Box Ironbark vegetation communities are a vastly depleted natural resource in the Shire and have been identified as a priority for protection. The Shire is also part of the Victorian Volcanic Plains Bioregion, supporting endangered Plains, Woodland and Plains Grassy Woodland vegetation classes. Protecting remnant vegetation and encouraging revegetation of State forests will conserve habitats and significantly reduce the threat of extinction of plants and animals. There is potential for land use conflict that needs to be managed at the interface between forested public land and urban areas.

CENTRAL GOLDFIELDS PLANNING SCHEME

Biodiversity

A rich diversity of plants, animals and habitats exist across the Shire. As part of the north central catchment, the Bealiba/Dalyenong, Moolort Plains and Upper Loddon are recognised as priority biodiversity areas.

The Moolort Plains Wetlands is a unique wetland complex located within the Volcanic Plains in the eastern part of the Shire. The catchment of the wetlands is Victoria's only National Biodiversity hotspot and is the habitat for many native animals, particularly waterbirds, and a number of threatened fauna species. The wetlands contain different wetland types, although their precise location, characteristics and biodiversity is not well understood. Recognised threats to the unique wetlands complex situated in the Volcanic Plains are cropping, pest plants and animals. Threatened flora species within the Box Ironbark Forests, include Buloke, Small Milk-wort, Clover Glycine and Scented Bush-pea. Threatened fauna species include Swift Parrot, Powerful Owl, Brush-tailed Phascogale and Striped Legless Lizard.

Council seeks to protect environmental and landscape values by:

- Protecting and enhancing remnant vegetation and wildlife corridors.
- Prioritising the establishment of buffer areas and setbacks on freehold land to protect significant vegetation.
- Support mechanisms to identify and protect the Moolort Wetlands and the Bealiba/Dalyenong area.
- Protecting the water quality of the Loddon and Avoca Rivers and Bet Bet Creek waterway systems.
- Protecting the Talbot district volcanic rises and the Cairn Curran Reservoir as significant landscapes.
- Protecting and enhancing habitat areas for fauna.
- Protecting and enhancing the environmental, landscape and habitat values of roadside vegetation.

02.03-3

07/12/2023
C34cgoi

Environmental risks and amenity

Natural environmental hazards including bushfire, land degradation and flooding present risks and constraints for land use and development in Central Goldfields Shire. Climate change has the potential to have adverse impacts on agriculture, tourism and on economic prosperity and viability in general. The interface between industrial uses and neighbouring residential uses are an ongoing challenge in the Shire. Emerging industries, such as intensive agriculture, greyhound keeping and training, can create amenity conflicts between land uses.

Bushfire

The Shire is subject to significant bushfire hazards, particularly surrounding the townships of Maryborough, Dunolly, Moliagul and Bealiba. This hazard is due to the extent of Box Ironbark forest encircling the townships and traversing into forests.

Flooding

Natural flooding of floodplains and the wetlands improve the health of rivers and floodplains, providing essential habitats for fauna. However, the Shire includes areas of flood prone land in Carisbrook and Dunolly where flooding has caused substantial damage to the built environment.

Soil management

Managing the impact of land uses on soil quality, erosion and salinity throughout the Shire is important for the preservation of high quality soils and the protection of waterways and groundwater tables in the catchment. Previous mining activity has diminished land quality, leaving bare white mounds without topsoil or vegetation cover.

Industrial interface

The growth of industry, particularly manufacturing, raises potential for conflict between industry and neighbouring residential uses. This needs to be balanced to manage the needs of both. Future industries need to be located in industrial areas to manage amenity and environmental impacts.

Council seeks to address environmental risks and amenity by:

- Reducing the impacts of climate change by supporting alternative energy sources, carbon farming, reducing greenhouse gas emissions and adopting environmentally sustainable development principles.
- Directing future growth to existing townships to protect environmental values and improve community safety from environmental hazards, including high bushfire risk.
- Encouraging development only when the risk to life and property from bushfire and flooding can be reduced to an acceptable level and bushfire and flooding protection measures can be implemented.
- Minimising the potential impact of development on water pollution, land degradation and risk of salinity and erosion.
- Ensuring land capability supports land use and development, particularly in areas of environmental risk.
- Ensuring excessive land clearing, over grazing and mining activity are managed in a way to support continued and future agricultural uses.
- Balancing the protection of valued industrial land from encroachment by incompatible uses with protecting the amenity of existing residential uses.
- Ensuring that high value biodiversity and amenity values are protected by relevant overlays.

02.03-4
07/12/2023
C34cgoi

Natural resource management

Agricultural land

Agricultural land in the Shire is a resource that must be maintained for productive use. Viable land in the Shire includes the high riverine plains in the Dunolly, Bealiba and Natta Yallock areas; volcanic plains and rises at the Moolort Plains, Talbot and east of Carisbrook; metamorphic plains and ridges south of Bealiba and west of Dunolly; granite to the south and south-east of Bealiba; and the sedimentary hills and rises around Maryborough, Dunolly and Carisbrook.

Agricultural industries include cropping, sheep and cattle grazing and fodder conservation. There are emerging specialisations in less traditional agricultural activities such as fruit and vegetable growing, poultry farming, nursery and floriculture, as well as emerging industries such as intensive agriculture and renewable energy production.

Land use conflict can occur between agriculture and residential land uses. This has the potential to affect the operation of farms and reduce their productive capacity.

The future of the agricultural industry is dependent on sustainable agricultural practices. Issues such as soil salinity, erosion and maintaining water quality and quantity are threats to agricultural production.

Intensive agriculture industries have the potential to cause effluent disposal problems and affect the amenity of adjacent land uses and greyhound keeping and training can cause conflict for nearby residential uses.

Council aims to protect agricultural and environmental values by:

- Promoting sustainable agricultural activities and land management practices that minimise adverse impacts on the primary production and environmental values of surrounding land and the catchment.

CENTRAL GOLDFIELDS PLANNING SCHEME

Water

The Central Goldfields Shire is situated in the Loddon dry land catchment and is part of the wider Avoca Loddon-Campaspe catchment.

With a significant area of the Shire situated in the catchment of the Tullaroop and Laanecoorie Reservoirs and Lake Cairn Curran, there is a need for sustainable land management in water supply catchment areas.

Protection of water quality and maintaining water supply are priorities. Poor land use planning decisions, illegal and unsafe dams, unplanned incremental change and inadequate land management can influence both water quality and quantity in the catchments.

Council aims to protect the viability of natural resources by:

- Discouraging the subdivision of land or conversion to land uses that take the land out of productive use.
- Promoting alternative cropping, intensive agriculture and value adding enterprises.
- Minimising conflicts between agriculture and residential uses to ensure productive agricultural capacity is not reduced.
- Supporting emerging agricultural industries that are compatible with existing agricultural practices, including horticulture, intensive animal production, niche agriculture, value adding industries and renewables.
- Protecting the environs and water catchments of Tullaroop and Laanecoorie Reservoirs and Lake Cairn Curran.

02.03-5

Proposed C40cgo1

Built environment and heritage

Heritage and townscape character are strong built form elements of towns in the Shire.

The Shire's goldfields heritage includes the historic centres of Maryborough, Dunolly and Talbot. Maryborough's nineteenth century civic precinct, Princes Park and the magnificent late Victorian-era Maryborough Railway Station are outstanding examples of Maryborough's built heritage. The main streets of Dunolly and Talbot are among the most intact heritage streetscapes in the Goldfields region.

Conservation, protection and maintenance of these diverse heritage assets are of community, economic and cultural significance to the Shire.

For thousands of years, the land and environmental surrounds comprising the Shire has been home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Significant Aboriginal heritage sites are located in the Shire such as the Aboriginal Maternity Tree in Talbot and Aboriginal Rock Wells in Paddy's Ranges State Park, as well as middens, scarred trees and ceremonial sites.

Deep lead and alluvial mines located in proximity to former settlements are a significant part of the larger cultural landscape.

Many of the Shire's industrial areas are situated at visually exposed locations. Improving the visual amenity of industrial areas is a major issue for Maryborough and other major towns.

Council seeks to protect heritage assets and promote built form improvements by:

- Identifying, assessing and protecting post-contact places, landscapes and precincts of local heritage significance.
- Preserving and enhancing the visual amenity and heritage character of Maryborough and the Shire's townships.
- Enhancing the visual qualities and character of the major road entrances to Maryborough and townships in the Shire.

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- Maintaining and enhancing the character and qualities of the Maryborough Central Business Area by retaining its compact urban form, pedestrian scale and heritage character.
- Prioritising the provision of active transport infrastructure in the sub-regional and district townships.
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Housing

Dwelling types in Central Goldfields Shire are similar to those in regional Victoria, with a higher proportion of separate houses and a lower proportion of medium density houses than the corresponding state averages. The Shire will need to cater for diverse housing needs close to services considering the ageing population and changing family structures.

Rural living bordering each town in the Shire presents numerous opportunities for housing. Further provision of land zoned Low Density Residential Zone in serviced areas near Maryborough and Carisbrook will be explored to meet future housing demand.

Affordable housing is an economic and lifestyle strength of Central Goldfields.

The residential sector's energy, water and waste management future forms an important part of Council's sustainability goals.

Council seeks to manage the development of housing in its townships and settlements by:

- Prioritising the provision of innovative residential housing that is energy efficient and affordable.
- Prioritising and facilitating urban consolidation on existing residential lots in Maryborough, Carisbrook and Dunolly.
- Exploring the provision of affordable housing options for the community in collaboration with housing associations and specialist housing providers on Crown land.
- Ensuring options to allow residents to 'age in place' with increased housing diversity close to services.
- Investigating the provision of the Low Density Residential Zone in serviceable areas around Carisbrook and Maryborough.

02.03-7

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Economic development

The Central Goldfields Shire's economy is small compared to the Loddon Campaspe region, which is attributed to its lower population base. The main areas of economic activity are primary industries (agriculture, construction, manufacture and transport); population driven industries (retail, hospitality, personal and household services); knowledge and public sector industries (health, education and government agencies) and tourism (accommodation, hospitality, arts and recreation services).

Rural enterprises

Agricultural activities are primarily cropping, sheep and cattle grazing and fodder conservation. Beef and sheep farming are high employers within the sector. There are emerging specialisations in less traditional agricultural activities such as fruit and vegetable growing, poultry farming and nursery and floriculture, as well as a growing interest in intensive agriculture, horticulture, contributing to supply chain networks and renewable energy production.

Tourism

Tourism is an emerging industry in the Shire, which is part of the Goldfields Tourist Region and on the Golden Way Touring Route between Ballarat and Bendigo. Each of the Shire's towns and hamlets have heritage streetscapes and landscapes which are complemented by environmental

CENTRAL GOLDFIELDS PLANNING SCHEME

features such as the Box Ironbark forests, Moolort Plains, volcanic ridges and Aboriginal assets. The Shire encourages events, emerging arts and cultural initiatives to further strengthen the tourism industry.

Retail and community services

Maryborough's regional role is related to the services and opportunities it provides for employment, shopping, business and community services. The health and community services sector is an important growth industry in the region due to increasing demand, particularly as the population ages. Upgrades to existing and additional facilities will be required in townships over coming years.

Manufacturing and industry

Large scale industrial activity is located in Maryborough, Flagstaff and Carisbrook, with smaller dispersed industrial sites within Maryborough, Carisbrook and Dunolly. A large grain processing facility is located beside the Dunolly train station. A chaff and feed enterprise, hydroponics, composting and a large quarry operation are located in and around Carisbrook.

There is long standing conflict between industrial and residential land in Maryborough, Flagstaff and Carisbrook. Some long standing industrial uses are unable to meet the Environment Protection Authority Victoria (EPA) guidelines for separation distances from sensitive uses. There are dwellings in industrial zones (including in small, isolated pockets of industrial zones) and residential land in close proximity to industrial zones. These sites may contain potentially contaminated land and are generally of poor aesthetic value.

Council seeks to promote economic development by:

- Promoting Maryborough Central Business Area as a sub-regional centre for retail, business and community services.
- Enhancing the Shire's townships to support liveable communities and provide a job ready labour force.
- Identifying and protecting heritage assets in the townships for tourism potential and the population's pride.
- Facilitating the development of the Shire's tourism industry of small gold towns, goldfields, Aboriginal cultural tourism and environmental assets.
- Increasing accessibility and connectivity between residential, commercial and industrial areas.
- Recognising separation distances and avoiding encroachment problems between industrial and residential land uses.

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Transport

Road network

Central Goldfields Shire is well served by roads, including the Pyrenees Highway that provides important links to the Calder and Sunraysia Highways. The Wimmera Highway is located in the northern tip of the Shire near Moliagul.

Public transport

Maryborough is the public transport hub of the Shire. The re-establishment of limited passenger rail services between Maryborough and Ballarat has created opportunities for rail commuting from the Shire to Ballarat and more convenient train travel to Melbourne. Other public and community transport modes provide vital links to the wider region, including to Castlemaine, Ballarat, Bendigo and Melbourne.

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Rail lines bisect the Shire and provide an important economic function by carrying large tonnages of freight, including mainly wheat, oats and other bulk seed crops, fertilisers, bulk fuel and general parcel freight. Although opportunities for expansion of freight containerisation are limited in Dunolly, there is potential in Maryborough.

Active transport

Active transport is an important transport mode within the towns and as a tourism drawcard, with rail trails an emerging interest.

Maryborough aerodrome provides tourism, recreational and commercial opportunities.

The road and public transport network provides significant social and economic benefits to settlement, business, trade and tourism. These linkages provide connectivity to regional centres and to Melbourne, enhancing potential economic benefits for the community. Transport planning in Central Goldfields Shire will:

- Support the continued delivery of transport infrastructure and services to meet the needs of the community.
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- Support the viable operation of Maryborough aerodrome.

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Infrastructure

Community infrastructure

Community infrastructure planning should enhance the liveability, wellbeing, amenity and quality of life within Central Goldfields Shire.

Community infrastructure and services are required for all ages and demographics. As the population is dispersed over a large, diverse area, there are challenges in terms of quality, access and connectivity for the development and delivery of community facilities and services. New development in the Shire requires the provision of infrastructure to service and support the community.

In planning and delivering community infrastructure, Central Goldfields Shire will:

- Facilitate improved accessibility
- Prioritise local place based initiatives
- Ensure the development of and access to community infrastructure and services to cater for the current and potential future needs of all ages and demographics.

Open space

The Shire has several sport and recreation facilities of varying quality, function and form. Maryborough has the most facilities, followed by Dunolly, Talbot, Bealiba, Majorca then Carisbrook. Bushland reserves, state forests, historic reserves and nature reserves provide open space, with further opportunities for recreation and tourism. The Paddy's Ranges State Park and Maryborough Regional Park are the only regional park assets.

The community actively participates in sport, recreation or physical activity, with walking the most prominent.

Council seeks to improve its open space network and recreational opportunities by:

- Providing assessable, affordable and inclusive physical activity facilities.
- Prioritising and facilitating activation of existing open space, sport and active recreation facilities.

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- Planning, designing and maintaining facilities and spaces that are fit for purpose and encourage the community to lead active lives.
- Improving connections in the trail, track and path network.

Integrated water management

Council recognises the interconnection of water systems, including urban areas, water supply catchments, receiving environments and agricultural water users.

Council seeks to improve integrated water management by:

- Ensuring residential development occurs in areas where sewerage, water, power and telecommunication infrastructure can be provided.
- Ensuring industrial development occurs in areas where sewerage and water services are available.
- Ensuring that landscaping responds to integrated stormwater management.
- Prioritising the implementation of water sensitive urban design and the provision of rainwater tanks in new developments to supply water for toilet flushing, garden irrigation and cold water laundry.

Waste and resource recovery

The Shire has a number of former landfills and active resource recovery facilities which are not formally identified in the planning scheme. Former and active landfills are located across the Shire and buffers must be considered when use or development are proposed nearby.

Development infrastructure

New development in the Shire's towns and rural areas requires adequate provision of infrastructure to service and support future development, which should be coordinated and integrated to meet the requirements of the development.

Some townships, such as Majorca, Talbot, Timor and Bealiba, are unsewered, which can inhibit physical growth and contribute to regional water quality problems.

Council aims to support the efficient delivery of infrastructure by:

- Supporting telecommunication infrastructure.

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C34cgoi**STRATEGIC DIRECTIONS****Settlement**

The Shire's settlement hierarchy comprises an urban centre and townships each with a role defined by levels of population, services and physical characteristics that provide the centre with its identity as follows:

Settlement hierarchy

Urban centre	Classification	Role and identity
Maryborough	Sub-regional centre	Major centre for employment, retailing, services and administration. Identity defined by Box Ironbark forest setting, heritage and compact central area
Carisbrook	District centre	Satellite town to Maryborough with town centre services providing day to day shopping needs. Identity defined by heritage character, with Deep Creek setting and proximity to natural environs such as the Moolort Plains as a major feature
Dunolly	District centre	Provides limited retail, business and community services for town and district population. Identity defined by strong heritage character, grain facility and visible gold mining history
Talbot	Local community centre	Provides mainly day to day convenience shopping. Identity defined by town's heritage character, particularly Scandinavian Crescent and Camp Street and tourism prospects
Majorca	Hamlet	Small settlement with minescape features
Timor	Hamlet	Small settlement with several heritage features
Bealiba	Hamlet	Small heritage gold town
Moliagul	Hamlet	Historic village and 'Welcome Stranger' site

Maryborough is expected to experience small but steady (VIF 2019) population growth over the next ten years. Maryborough performs an important regional function as a centre for retail and commerce, employment and community services. Future development opportunities for the township exist north of Maryborough on Maryborough-Dunolly Rd and several large undeveloped sites within the township. However, further investigation is required, including but not limited to bushfire hazards and utility service provisions. Carisbrook is identified as the area for broad hectare residential development. Rural living and rural residential developments are located around Dunolly,

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Carisbrook, Alma, Daisy Hill, Havelock, Majorca, Timor and Bealiba. There is an opportunity for low density rural living lots around serviced areas in Maryborough and Carisbrook. Existing rural living areas outside of townships and in areas of high environmental value should be protected under the Rural Conservation Zone.

Council seeks to support its established townships and emerging settlements by:

- Primarily directing development to Maryborough as a sub-regional centre.
- Prioritising medium density housing in the vicinity of the Maryborough Central Business Area, including shop-top living, townhouses and villa-style developments.
- Supporting greater urban consolidation and housing diversity, while also protecting the amenity and character of Maryborough.
- Ensuring greater diversification of uses in the Mixed Use Zone in Maryborough, by encouraging commercial, retail and residential uses.
- Maintaining the network of smaller urban centres to ensure reasonable access to jobs, services and lifestyle choices.
- Directing development to infill lots that are suitable for development in the smaller townships of Dunolly, Carisbrook, Bealiba, Talbot and Majorca.
- Limiting low density residential development at the periphery of Dunolly, Majorca and Timor to locations that can be economically and efficiently provided with water, sewerage, electricity and suitable road access.
- Ensuring a more compact urban form for Maryborough, Carisbrook and Dunolly.
- Prioritising the provision of infrastructure to support walkability and accessibility in the sub-regional and district towns.
- Recognising the unique characteristics of each town and place as defined in the Community Plans.
- Developing framework planning for future development in Maryborough, Carisbrook and Flagstaff.
- Investigating the role of low density residential and rural residential development as part of the preparation of an overall housing strategy for Maryborough and Carisbrook.

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Environmental and landscape values

Landscape

Prominent features of the natural landscape include Paddy's Ranges State Park, Mt Bealiba Range, Moolort Plains, the Cairn Curran Reservoir and Talbot's volcanic rises. Several creeks including the Bet Bet, Burnt, Emu, Timor, Tullaroop and McCallums Creeks traverse the Shire and the Avoca River forms part of the western boundary with the Pyrenees and Northern Grampians Shires.

Vegetation

Central Goldfields Shire is located within the heart of the Box Ironbark ecosystem, with Box Ironbark forests surrounding the settlements of the Shire. This ecosystem provides essential habitat for a wide diversity of flora and fauna, many of which are unique to this area.

Box Ironbark vegetation communities are a vastly depleted natural resource in the Shire and have been identified as a priority for protection. The Shire is also part of the Victorian Volcanic Plains Bioregion, supporting endangered Plains, Woodland and Plains Grassy Woodland vegetation classes. Protecting remnant vegetation and encouraging revegetation of State forests will conserve habitats and significantly reduce the threat of extinction of plants and animals. There is potential for land use conflict that needs to be managed at the interface between forested public land and urban areas.

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Biodiversity

A rich diversity of plants, animals and habitats exist across the Shire. As part of the north central catchment, the Bealiba/Dalyenong, Moolort Plains and Upper Loddon are recognised as priority biodiversity areas.

The Moolort Plains Wetlands is a unique wetland complex located within the Volcanic Plains in the eastern part of the Shire. The catchment of the wetlands is Victoria's only National Biodiversity hotspot and is the habitat for many native animals, particularly waterbirds, and a number of threatened fauna species. The wetlands contain different wetland types, although their precise location, characteristics and biodiversity is not well understood. Recognised threats to the unique wetlands complex situated in the Volcanic Plains are cropping, pest plants and animals. Threatened flora species within the Box Ironbark Forests, include Buloke, Small Milk-wort, Clover Glycine and Scented Bush-pea. Threatened fauna species include Swift Parrot, Powerful Owl, Brush-tailed Phascogale and Striped Legless Lizard.

Council seeks to protect environmental and landscape values by:

- Protecting and enhancing remnant vegetation and wildlife corridors.
- Prioritising the establishment of buffer areas and setbacks on freehold land to protect significant vegetation.
- Support mechanisms to identify and protect the Moolort Wetlands and the Bealiba/Dalyenong area.
- Protecting the water quality of the Loddon and Avoca Rivers and Bet Bet Creek waterway systems.
- Protecting the Talbot district volcanic rises and the Cairn Curran Reservoir as significant landscapes.
- Protecting and enhancing habitat areas for fauna.
- Protecting and enhancing the environmental, landscape and habitat values of roadside vegetation.

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Environmental risks and amenity

Natural environmental hazards including bushfire, land degradation and flooding present risks and constraints for land use and development in Central Goldfields Shire. Climate change has the potential to have adverse impacts on agriculture, tourism and on economic prosperity and viability in general. The interface between industrial uses and neighbouring residential uses are an ongoing challenge in the Shire. Emerging industries, such as intensive agriculture, greyhound keeping and training, can create amenity conflicts between land uses.

Bushfire

The Shire is subject to significant bushfire hazards, particularly surrounding the townships of Maryborough, Dunolly, Moliagul and Bealiba. This hazard is due to the extent of Box Ironbark forest encircling the townships and traversing into forests.

Flooding

Natural flooding of floodplains and the wetlands improve the health of rivers and floodplains, providing essential habitats for fauna. However, the Shire includes areas of flood prone land in Carisbrook and Dunolly where flooding has caused substantial damage to the built environment.

Soil management

Managing the impact of land uses on soil quality, erosion and salinity throughout the Shire is important for the preservation of high quality soils and the protection of waterways and groundwater tables in the catchment. Previous mining activity has diminished land quality, leaving bare white mounds without topsoil or vegetation cover.

Industrial interface

The growth of industry, particularly manufacturing, raises potential for conflict between industry and neighbouring residential uses. This needs to be balanced to manage the needs of both. Future industries need to be located in industrial areas to manage amenity and environmental impacts.

Council seeks to address environmental risks and amenity by:

- Reducing the impacts of climate change by supporting alternative energy sources, carbon farming, reducing greenhouse gas emissions and adopting environmentally sustainable development principles.
- Directing future growth to existing townships to protect environmental values and improve community safety from environmental hazards, including high bushfire risk.
- Encouraging development only when the risk to life and property from bushfire and flooding can be reduced to an acceptable level and bushfire and flooding protection measures can be implemented.
- Minimising the potential impact of development on water pollution, land degradation and risk of salinity and erosion.
- Ensuring land capability supports land use and development, particularly in areas of environmental risk.
- Ensuring excessive land clearing, over grazing and mining activity are managed in a way to support continued and future agricultural uses.
- Balancing the protection of valued industrial land from encroachment by incompatible uses with protecting the amenity of existing residential uses.
- Ensuring that high value biodiversity and amenity values are protected by relevant overlays.

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Natural resource management

Agricultural land

Agricultural land in the Shire is a resource that must be maintained for productive use. Viable land in the Shire includes the high riverine plains in the Dunolly, Bealiba and Natta Yallock areas; volcanic plains and rises at the Moolort Plains, Talbot and east of Carisbrook; metamorphic plains and ridges south of Bealiba and west of Dunolly; granite to the south and south-east of Bealiba; and the sedimentary hills and rises around Maryborough, Dunolly and Carisbrook.

Agricultural industries include cropping, sheep and cattle grazing and fodder conservation. There are emerging specialisations in less traditional agricultural activities such as fruit and vegetable growing, poultry farming, nursery and floriculture, as well as emerging industries such as intensive agriculture and renewable energy production.

Land use conflict can occur between agriculture and residential land uses. This has the potential to affect the operation of farms and reduce their productive capacity.

The future of the agricultural industry is dependent on sustainable agricultural practices. Issues such as soil salinity, erosion and maintaining water quality and quantity are threats to agricultural production.

Intensive agriculture industries have the potential to cause effluent disposal problems and affect the amenity of adjacent land uses and greyhound keeping and training can cause conflict for nearby residential uses.

Council aims to protect agricultural and environmental values by:

- Promoting sustainable agricultural activities and land management practices that minimise adverse impacts on the primary production and environmental values of surrounding land and the catchment.

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Water

The Central Goldfields Shire is situated in the Loddon dry land catchment and is part of the wider Avoca Loddon-Campaspe catchment.

With a significant area of the Shire situated in the catchment of the Tullaroop and Laanecoorie Reservoirs and Lake Cairn Curran, there is a need for sustainable land management in water supply catchment areas.

Protection of water quality and maintaining water supply are priorities. Poor land use planning decisions, illegal and unsafe dams, unplanned incremental change and inadequate land management can influence both water quality and quantity in the catchments.

Council aims to protect the viability of natural resources by:

- Discouraging the subdivision of land or conversion to land uses that take the land out of productive use.
- Promoting alternative cropping, intensive agriculture and value adding enterprises.
- Minimising conflicts between agriculture and residential uses to ensure productive agricultural capacity is not reduced.
- Supporting emerging agricultural industries that are compatible with existing agricultural practices, including horticulture, intensive animal production, niche agriculture, value adding industries and renewables.
- Protecting the environs and water catchments of Tullaroop and Laanecoorie Reservoirs and Lake Cairn Curran.

02.03-5

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Development infrastructure

New development in the Shire's towns and rural areas requires adequate provision of infrastructure to service and support future development, which should be coordinated and integrated to meet the requirements of the development.

Some townships, such as Majorca, Talbot, Timor and Bealiba, are unsewered, which can inhibit physical growth and contribute to regional water quality problems.

Council aims to support the efficient delivery of infrastructure by:

- Supporting telecommunication infrastructure.

11.03
31/07/2018
VC148

PLANNING FOR PLACES

11.03-1S

03/02/2022
VC199

Activity centres

Objective

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

Strategies

Build up activity centres as a focus for high-quality development, activity and living by developing a network of activity centres that:

- Comprises a range of centres that differ in size and function.
- Is a focus for business, shopping, working, leisure and community facilities.
- Provides different types of housing, including forms of higher density housing.
- Is connected by transport.
- Maximises choices in services, employment and social interaction.

Support the role and function of each centre in the context of its classification, the policies for housing intensification, and development of the public transport network.

Undertake strategic planning for the use and development of land in and around activity centres.

Give clear direction on preferred locations for investment.

Encourage a diversity of housing types at higher densities in and around activity centres.

Reduce the number of private motorised trips by concentrating activities that generate high numbers of (non-freight) trips in highly accessible activity centres.

Improve access by walking, cycling and public transport to services and facilities.

Support the continued growth and diversification of activity centres to give communities access to a wide range of goods and services, provide local employment and support local economies.

Encourage economic activity and business synergies.

Improve the social, economic and environmental performance and amenity of activity centres.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)
- *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2021)
- *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021)

11.03-2S

04/05/2022
VC210**Growth areas****Objective**

To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.

Strategies

Concentrate urban expansion into growth areas that are served by high-capacity public transport.

Implement the strategic directions in the Growth Area Framework Plans.

Encourage average overall residential densities in the growth areas of a minimum of 15 dwellings per net developable hectare, and over time, seek an overall increase in residential densities to more than 20 dwellings per net developable hectare.

Deliver timely and adequate provision of public transport and local and regional infrastructure and services, in line with a preferred sequence of land release.

Provide for significant amounts of local employment opportunities and in some areas, provide large scale industrial or other more regional employment generators.

Create a network of mixed-use activity centres that are high quality, well designed and create a sense of place.

Provide a diversity of housing type and distribution.

Retain unique characteristics of established areas impacted by growth.

Protect and manage natural resources and areas of heritage, cultural and environmental significance.

Create well planned, easy to maintain and safe streets and neighbourhoods that reduce opportunities for crime, improve perceptions of safety and increase levels of community participation.

Develop Growth Area Framework Plans that will:

- Include objectives for each growth area.
- Identify the long term pattern of urban growth.
- Identify the location of broad urban development types, for example activity centre, residential, employment, freight centres and mixed use employment.
- Identify the boundaries of individual communities, landscape values and, as appropriate, the need for discrete urban breaks and how land uses in these breaks will be managed.
- Identify transport networks and options for investigation, such as future railway lines and stations, freight activity centres, freeways and arterial roads.
- Identify the location of open space to be retained for recreation, and/or biodiversity protection and/or flood risk reduction purposes guided and directed by regional biodiversity conservation strategies.
- Show significant waterways as opportunities for creating linear trails, along with areas required to be retained for biodiversity protection and/or flood risk reduction purposes.
- Identify appropriate uses for constrained areas, including quarry buffers.

Develop precinct structure plans consistent with the *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021) approved by the Minister for Planning to:

- Establish a sense of place and community.
- Create greater housing choice, diversity and affordable places to live.
- Create highly accessible and vibrant activity centres.

CENTRAL GOLDFIELDS PLANNING SCHEME

- Provide for local employment and business activity.
- Provide better transport choices.
- Respond to climate change and increase environmental sustainability.
- Deliver accessible, integrated and adaptable community infrastructure.

Policy documents

Consider as relevant:

- Any applicable Growth Area Framework Plans (Department of Sustainability and Environment, 2006)
- *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021)
- *Ministerial Direction No. 12 – Urban Growth Areas*

11.03-3S

31/07/2018
VC148

Peri-urban areas

Objective

To manage growth in peri-urban areas to protect and enhance their identified valued attributes.

Strategies

Identify and protect areas that are strategically important for the environment, biodiversity, landscape, open space, water, agriculture, energy, recreation, tourism, environment, cultural heritage, infrastructure, extractive and other natural resources.

Provide for development in established settlements that have capacity for growth having regard to complex ecosystems, landscapes, agricultural and recreational activities including in Warragul-Drouin, Bacchus Marsh, Torquay-Jan Juc, Gisborne, Kyneton, Wonthaggi, Kilmore, Broadford, Seymour and Ballan and other towns identified by Regional Growth Plans as having potential for growth.

Establish growth boundaries for peri-urban towns to avoid urban sprawl and protect agricultural land and environmental assets.

Enhance the character, identity, attractiveness and amenity of peri-urban towns.

Prevent dispersed settlement and provide for non-urban breaks between urban areas.

Ensure development is linked to the timely and viable provision of physical and social infrastructure.

Improve connections to regional and metropolitan transport services.

11.03-4S20/03/2023
VC229**Coastal settlement****Objective**

To plan for sustainable coastal development.

Strategies

Plan and manage coastal population growth and increased visitation so that impacts do not cause unsustainable use of coastal resources.

Support a network of diverse coastal settlements that provide for a broad range of housing types, economic opportunities and services.

Identify a clear settlement boundary around coastal settlements to ensure that growth in coastal areas is planned and coastal values are protected. Where no settlement boundary is identified, the extent of a settlement is defined by the extent of existing urban zoned land and any land identified on a plan in the planning scheme for future urban settlement.

Minimise linear urban sprawl along the coastal edge and ribbon development in rural landscapes.

Protect areas between settlements for non-urban use.

Limit development in identified coastal hazard areas, on ridgelines, primary coastal dune systems, shorelines of estuaries, wetlands and low-lying coastal areas, or where coastal processes may be detrimentally impacted.

Encourage the restructure of old and inappropriate subdivisions to reduce development impacts on the environment.

Ensure a sustainable water supply, stormwater management and sewerage treatment for all development.

Minimise the quantity and enhance the quality of stormwater discharge from new development into the ocean, bays and estuaries.

Prevent the development of new residential canal estates.

Policy documents

Consider as relevant:

- *G21 Regional Growth Plan* (Geelong Region Alliance, 2013)
- *Gippsland Regional Growth Plan* (Victorian Government, 2014)
- *Great South Coast Regional Growth Plan* (Victorian Government, 2014)
- *Marine and Coastal Policy* (Department of Environment, Land, Water and Planning, 2020)
- *Marine and Coastal Strategy* (Department of Environment, Land, Water and Planning, 2022)
- *Siting and Design Guidelines for Structures on the Victorian Coast* (Department of Environment, Land, Water and Planning, 2020)

11.03-5S

30/04/2021
VC185

Distinctive areas and landscapes

Objective

To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

Strategies

Recognise the unique features and special characteristics of these areas and landscapes.

Implement the strategic directions of approved Localised Planning Statements and Statements of Planning Policy.

Integrate policy development, implementation and decision-making for declared areas under Statements of Planning policy.

Recognise the important role these areas play in the state as tourist destinations.

Protect the identified key values and activities of these areas.

Enhance conservation of the environment, including the unique habitats, ecosystems and biodiversity of these areas.

Support use and development where it enhances the valued characteristics of these areas.

Avoid use and development that could undermine the long-term natural or non-urban use of land in these areas.

Protect areas that are important for food production.

Policy documents

Consider as relevant:

- *Bellarine Peninsula Localised Planning Statement* (Victorian Government, 2015)
- *Macedon Ranges Statement of Planning Policy* (Victorian Government, 2019)
- *Mornington Peninsula Localised Planning Statement* (Victorian Government, 2014)
- *Yarra Ranges Localised Planning Statement* (Victorian Government, 2017)

11.03-6S

31/07/2018
VC148

Regional and local places

Objective

To facilitate integrated place-based planning.

Strategies

Integrate relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and towns.

Consider the distinctive characteristics and needs of regional and local places in planning for future land use and development.

CENTRAL GOLDFIELDS PLANNING SCHEME

11.03-6L-01 Maryborough

07/12/2023
C34cgoi

This policy applies to the sub-regional centre of Maryborough shown on the Maryborough Map that forms part of this clause.

Strategies

Plan in an integrated way for the future development of Maryborough in conjunction with Carisbrook.

Investigate potential constraints prior to any rezoning including but not limited to bushfire risk and the wastewater treatment plant buffer.

Prepare a township level bushfire assessment report for Maryborough to identify low risk areas for future residential expansion and inform any future changes to township boundaries.

Protect industrial uses and residential amenity at the interface between residential and industrial areas on the north side of Maryborough.

Provide for all ability access in recreation reserves in Maryborough.

Support the establishment of compatible industries within the buffer area of the Maryborough Wastewater Treatment Plant.

Support medium density housing, including townhouses, mixed shop-top living and units in Maryborough's residential zones close to the Maryborough Central Business Area.

Maryborough Map



This policy applies to the Maryborough Central Business Area shown on the Maryborough Central Business Area Map that forms part of this clause.

CENTRAL GOLDFIELDS PLANNING SCHEME

Strategies

Direct private and government offices and civic developments to the Civic and Administrative Precinct in the Maryborough Central Business Area.

Direct retail premises to the Central Retail Core Precinct.

Maintain the compact urban form of the Central Retail Core Precinct around High Street.

Locate major retail facilities within the Maryborough Central Business Area.

Support residential and commercial development in the Mixed Use Precinct.

Support development that respects the heritage character of significant precincts, places and views to landmark buildings in the Maryborough Central Business Area.

Maryborough Central Business Area Map



This policy applies to the district centre of Carisbrook shown on the Carisbrook Map that forms part of this clause.

CENTRAL GOLDFIELDS PLANNING SCHEME

Strategies

Plan in an integrated way for the future development of Carisbrook in conjunction with Maryborough.

Beautify town entrances with landscaping, plantings and artworks.

Ensure new development is consistent with heritage and tourism themes in the Bucknall Street Tourism and Heritage Precinct.

Locate residential development within the Carisbrook township boundary.

CENTRAL GOLDFIELDS PLANNING SCHEME

Carisbrook Map



11.03-6L-04 Dunolly

07/12/2023
C34cgoi

This policy applies to the district centre of Dunolly shown on the Dunolly map that forms part of this clause.

Strategies

Improve accessibility for all abilities in Dunolly and district.

CENTRAL GOLDFIELDS PLANNING SCHEME

Beautify town entrances with landscaping, plantings and artworks.

Retain intact heritage streetscapes in the town centre.

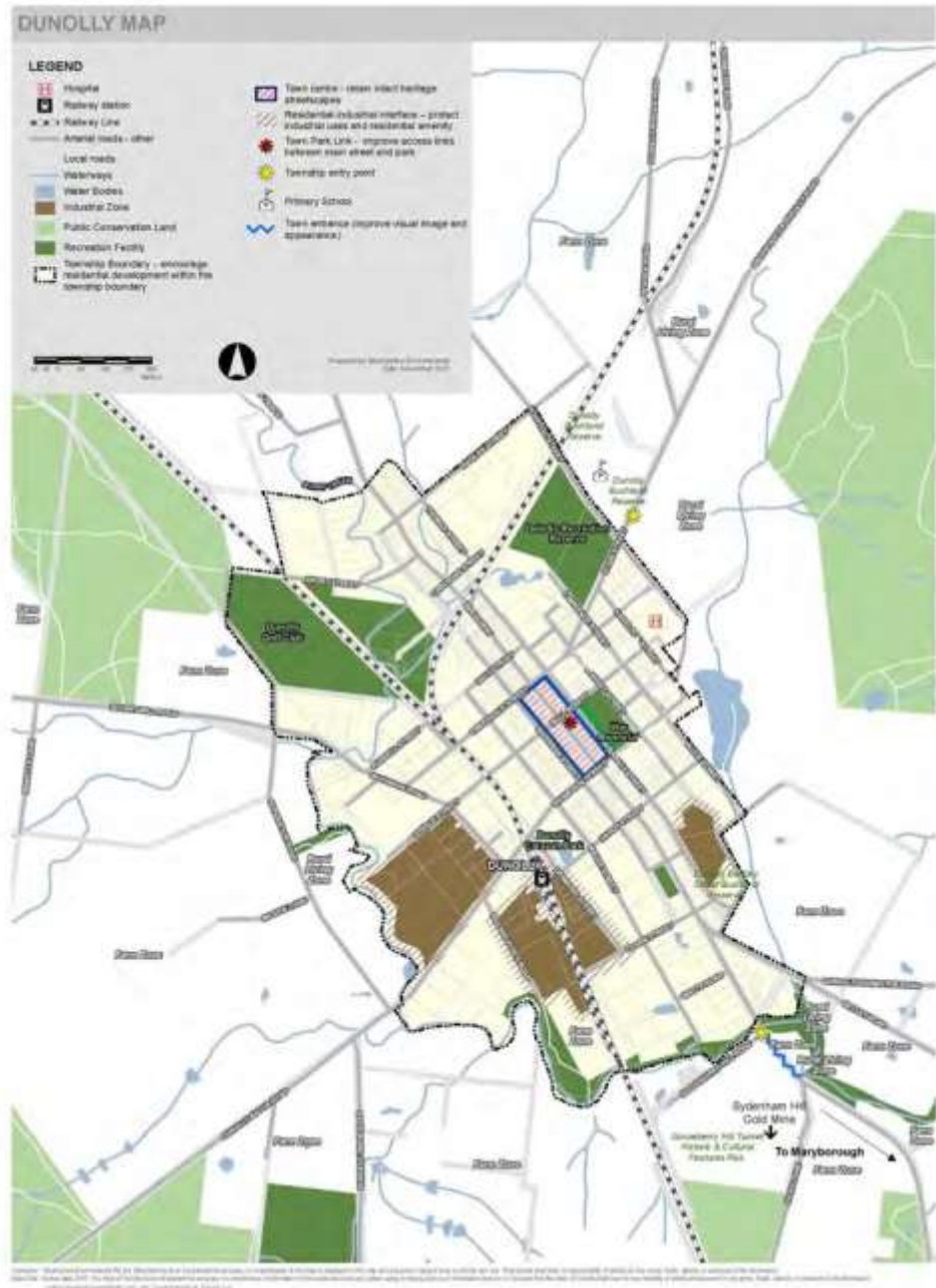
Locate residential development within the Dunolly township boundary.

Protect industrial uses and residential amenity at the interface between residential and industrial areas.

Improve access links between the main street and the Town Park.

CENTRAL GOLDFIELDS PLANNING SCHEME

Dunolly Map



11.03-6L-05 Talbot

07/12/2023
C34cgoi

This policy applies to the local community centre of Talbot shown on the Talbot Map that forms part of this clause.

Strategies

Preserve the heritage significance of the grouping of civic buildings in the heritage civic precinct.

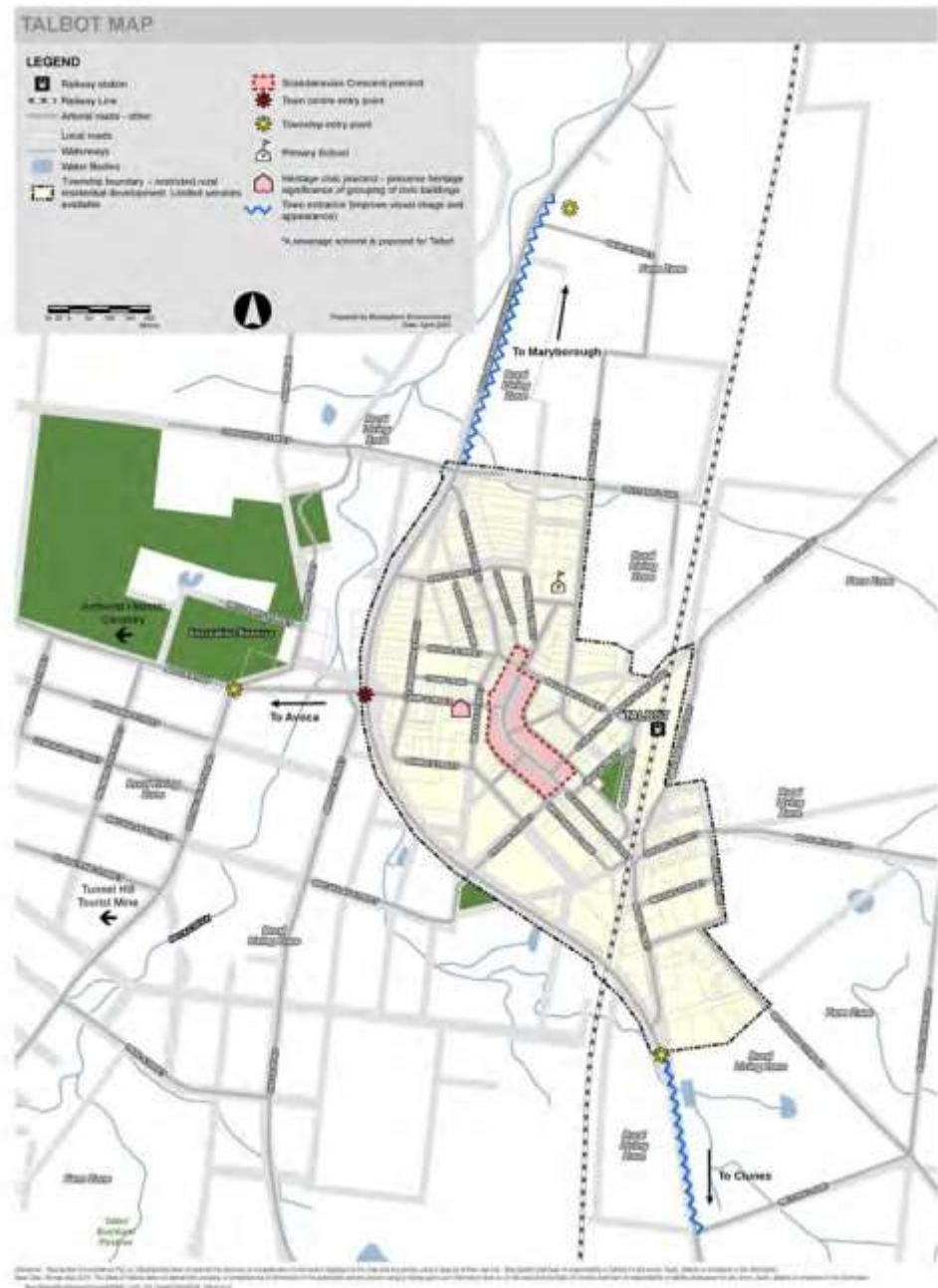
CENTRAL GOLDFIELDS PLANNING SCHEME

Beautify town entrances with landscaping, plantings and artworks.

Improve the accessibility of active transport networks.

Investigate the potential for rezoning of land in Talbot when reticulated sewerage is provided.

Talbot Map



11.03
31/07/2018
VC148

PLANNING FOR PLACES

11.03-1S

03/02/2022
VC199

Activity centres

Objective

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

Strategies

Build up activity centres as a focus for high-quality development, activity and living by developing a network of activity centres that:

- Comprises a range of centres that differ in size and function.
- Is a focus for business, shopping, working, leisure and community facilities.
- Provides different types of housing, including forms of higher density housing.
- Is connected by transport.
- Maximises choices in services, employment and social interaction.

Support the role and function of each centre in the context of its classification, the policies for housing intensification, and development of the public transport network.

Undertake strategic planning for the use and development of land in and around activity centres.

Give clear direction on preferred locations for investment.

Encourage a diversity of housing types at higher densities in and around activity centres.

Reduce the number of private motorised trips by concentrating activities that generate high numbers of (non-freight) trips in highly accessible activity centres.

Improve access by walking, cycling and public transport to services and facilities.

Support the continued growth and diversification of activity centres to give communities access to a wide range of goods and services, provide local employment and support local economies.

Encourage economic activity and business synergies.

Improve the social, economic and environmental performance and amenity of activity centres.

Policy documents

Consider as relevant:

- *Urban Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2017)
- *Apartment Design Guidelines for Victoria* (Department of Environment, Land, Water and Planning, 2021)
- *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021)

11.03-2S04/05/2022
VC210**Growth areas****Objective**

To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.

Strategies

Concentrate urban expansion into growth areas that are served by high-capacity public transport.

Implement the strategic directions in the Growth Area Framework Plans.

Encourage average overall residential densities in the growth areas of a minimum of 15 dwellings per net developable hectare, and over time, seek an overall increase in residential densities to more than 20 dwellings per net developable hectare.

Deliver timely and adequate provision of public transport and local and regional infrastructure and services, in line with a preferred sequence of land release.

Provide for significant amounts of local employment opportunities and in some areas, provide large scale industrial or other more regional employment generators.

Create a network of mixed-use activity centres that are high quality, well designed and create a sense of place.

Provide a diversity of housing type and distribution.

Retain unique characteristics of established areas impacted by growth.

Protect and manage natural resources and areas of heritage, cultural and environmental significance.

Create well planned, easy to maintain and safe streets and neighbourhoods that reduce opportunities for crime, improve perceptions of safety and increase levels of community participation.

Develop Growth Area Framework Plans that will:

- Include objectives for each growth area.
- Identify the long term pattern of urban growth.
- Identify the location of broad urban development types, for example activity centre, residential, employment, freight centres and mixed use employment.
- Identify the boundaries of individual communities, landscape values and, as appropriate, the need for discrete urban breaks and how land uses in these breaks will be managed.
- Identify transport networks and options for investigation, such as future railway lines and stations, freight activity centres, freeways and arterial roads.
- Identify the location of open space to be retained for recreation, and/or biodiversity protection and/or flood risk reduction purposes guided and directed by regional biodiversity conservation strategies.
- Show significant waterways as opportunities for creating linear trails, along with areas required to be retained for biodiversity protection and/or flood risk reduction purposes.
- Identify appropriate uses for constrained areas, including quarry buffers.

Develop precinct structure plans consistent with the *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021) approved by the Minister for Planning to:

- Establish a sense of place and community.
- Create greater housing choice, diversity and affordable places to live.
- Create highly accessible and vibrant activity centres.

CENTRAL GOLDFIELDS PLANNING SCHEME

- Provide for local employment and business activity.
- Provide better transport choices.
- Respond to climate change and increase environmental sustainability.
- Deliver accessible, integrated and adaptable community infrastructure.

Policy documents

Consider as relevant:

- Any applicable Growth Area Framework Plans (Department of Sustainability and Environment, 2006)
- *Precinct Structure Planning Guidelines* (Victorian Planning Authority, 2021)
- *Ministerial Direction No. 12 – Urban Growth Areas*

11.03-3S

31/07/2018
VC148

Peri-urban areas

Objective

To manage growth in peri-urban areas to protect and enhance their identified valued attributes.

Strategies

Identify and protect areas that are strategically important for the environment, biodiversity, landscape, open space, water, agriculture, energy, recreation, tourism, environment, cultural heritage, infrastructure, extractive and other natural resources.

Provide for development in established settlements that have capacity for growth having regard to complex ecosystems, landscapes, agricultural and recreational activities including in Warragul-Drouin, Bacchus Marsh, Torquay-Jan Juc, Gisborne, Kyneton, Wonthaggi, Kilmore, Broadford, Seymour and Ballan and other towns identified by Regional Growth Plans as having potential for growth.

Establish growth boundaries for peri-urban towns to avoid urban sprawl and protect agricultural land and environmental assets.

Enhance the character, identity, attractiveness and amenity of peri-urban towns.

Prevent dispersed settlement and provide for non-urban breaks between urban areas.

Ensure development is linked to the timely and viable provision of physical and social infrastructure.

Improve connections to regional and metropolitan transport services.

11.03-4S20/03/2023
VC229**Coastal settlement****Objective**

To plan for sustainable coastal development.

Strategies

Plan and manage coastal population growth and increased visitation so that impacts do not cause unsustainable use of coastal resources.

Support a network of diverse coastal settlements that provide for a broad range of housing types, economic opportunities and services.

Identify a clear settlement boundary around coastal settlements to ensure that growth in coastal areas is planned and coastal values are protected. Where no settlement boundary is identified, the extent of a settlement is defined by the extent of existing urban zoned land and any land identified on a plan in the planning scheme for future urban settlement.

Minimise linear urban sprawl along the coastal edge and ribbon development in rural landscapes.

Protect areas between settlements for non-urban use.

Limit development in identified coastal hazard areas, on ridgelines, primary coastal dune systems, shorelines of estuaries, wetlands and low-lying coastal areas, or where coastal processes may be detrimentally impacted.

Encourage the restructure of old and inappropriate subdivisions to reduce development impacts on the environment.

Ensure a sustainable water supply, stormwater management and sewerage treatment for all development.

Minimise the quantity and enhance the quality of stormwater discharge from new development into the ocean, bays and estuaries.

Prevent the development of new residential canal estates.

Policy documents

Consider as relevant:

- *G21 Regional Growth Plan* (Geelong Region Alliance, 2013)
- *Gippsland Regional Growth Plan* (Victorian Government, 2014)
- *Great South Coast Regional Growth Plan* (Victorian Government, 2014)
- *Marine and Coastal Policy* (Department of Environment, Land, Water and Planning, 2020)
- *Marine and Coastal Strategy* (Department of Environment, Land, Water and Planning, 2022)
- *Siting and Design Guidelines for Structures on the Victorian Coast* (Department of Environment, Land, Water and Planning, 2020)

11.03-5S

30/04/2021
VC185

Distinctive areas and landscapes

Objective

To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

Strategies

Recognise the unique features and special characteristics of these areas and landscapes.

Implement the strategic directions of approved Localised Planning Statements and Statements of Planning Policy.

Integrate policy development, implementation and decision-making for declared areas under Statements of Planning policy.

Recognise the important role these areas play in the state as tourist destinations.

Protect the identified key values and activities of these areas.

Enhance conservation of the environment, including the unique habitats, ecosystems and biodiversity of these areas.

Support use and development where it enhances the valued characteristics of these areas.

Avoid use and development that could undermine the long-term natural or non-urban use of land in these areas.

Protect areas that are important for food production.

Policy documents

Consider as relevant:

- *Bellarine Peninsula Localised Planning Statement* (Victorian Government, 2015)
- *Macedon Ranges Statement of Planning Policy* (Victorian Government, 2019)
- *Mornington Peninsula Localised Planning Statement* (Victorian Government, 2014)
- *Yarra Ranges Localised Planning Statement* (Victorian Government, 2017)

11.03-6S

31/07/2018
VC148

Regional and local places

Objective

To facilitate integrated place-based planning.

Strategies

Integrate relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and towns.

Consider the distinctive characteristics and needs of regional and local places in planning for future land use and development.

CENTRAL GOLDFIELDS PLANNING SCHEME

11.03-6L-01 Maryborough

07/12/2023
C34cgoi

This policy applies to the sub-regional centre of Maryborough shown on the Maryborough Map that forms part of this clause.

Strategies

Plan in an integrated way for the future development of Maryborough in conjunction with Carisbrook.

Investigate potential constraints prior to any rezoning including but not limited to bushfire risk and the wastewater treatment plant buffer.

Prepare a township level bushfire assessment report for Maryborough to identify low risk areas for future residential expansion and inform any future changes to township boundaries.

Protect industrial uses and residential amenity at the interface between residential and industrial areas on the north side of Maryborough.

Provide for all ability access in recreation reserves in Maryborough.

Support the establishment of compatible industries within the buffer area of the Maryborough Wastewater Treatment Plant.

Support medium density housing, including townhouses, mixed shop-top living and units in Maryborough's residential zones close to the Maryborough Central Business Area.

CENTRAL GOLDFIELDS PLANNING SCHEME

Strategies

Direct private and government offices and civic developments to the Civic and Administrative Precinct in the Maryborough Central Business Area.

Direct retail premises to the Central Retail Core Precinct.

Maintain the compact urban form of the Central Retail Core Precinct around High Street.

Locate major retail facilities within the Maryborough Central Business Area.

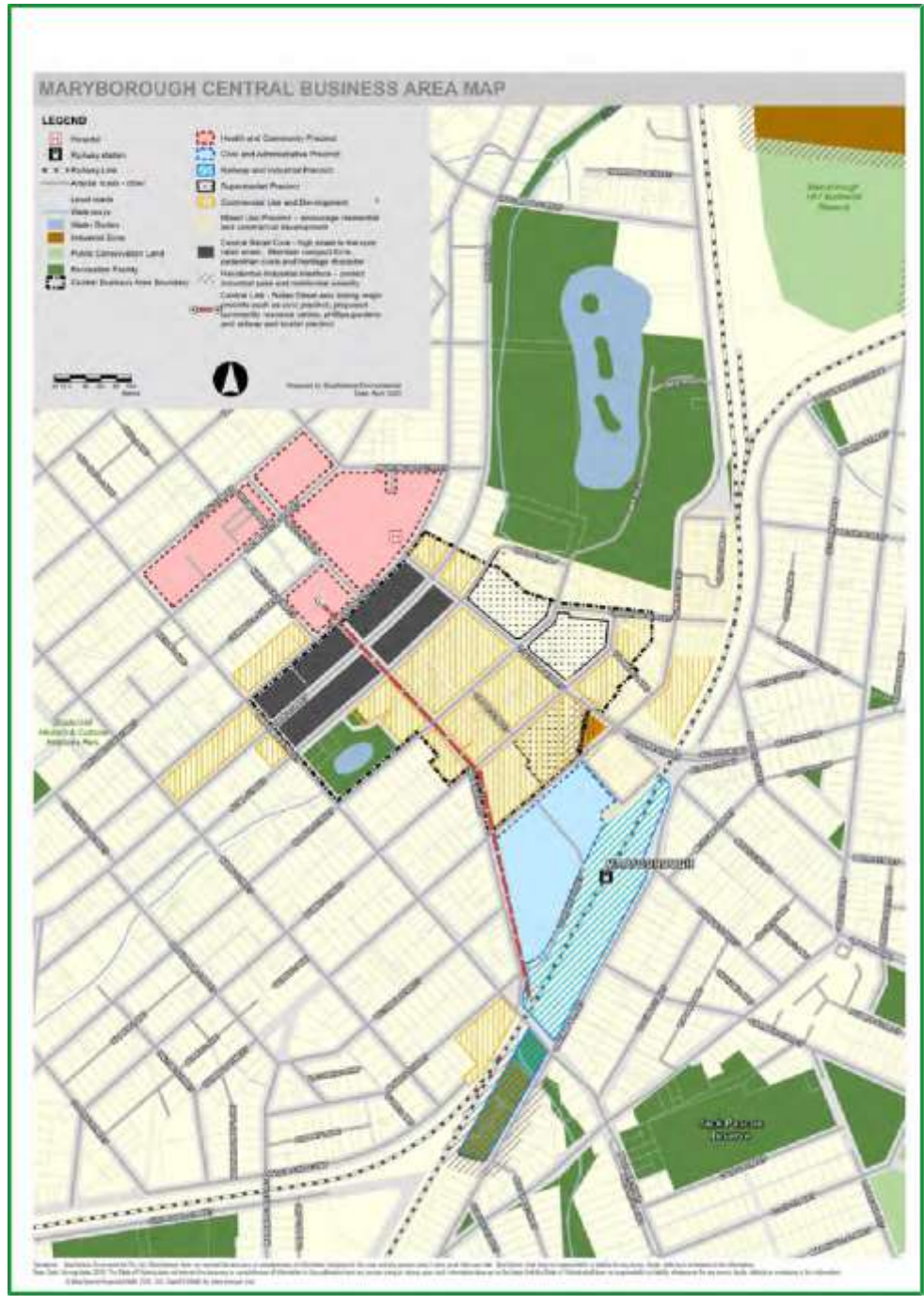
Support residential and commercial development in the Mixed Use Precinct.

~~Maryborough Central Business Area Map~~ Support development that respects the heritage character of significant precincts, places and views to landmark buildings in the Maryborough Central Business Area.

[illegible]

Maryborough Central Business Area Map

CENTRAL GOLDFIELDS PLANNING SCHEME



11.03-6L-03 Carisbrook

07/12/2023
C34cgo1

This policy applies to the district centre of Carisbrook shown on the Carisbrook Map that forms part of this clause.

Strategies

Plan in an integrated way for the future development of Carisbrook in conjunction with Maryborough.

CENTRAL GOLDFIELDS PLANNING SCHEME

Beautify town entrances with landscaping, plantings and artworks.

Ensure new development is consistent with heritage and tourism themes in the Bucknall Street Tourism and Heritage Precinct.

Locate residential development within the Carisbrook township boundary.

CENTRAL GOLDFIELDS PLANNING SCHEME

Carisbrook Map



11.03-6L-04 Dunolly

07/12/2023
C34cgoi

This policy applies to the district centre of Dunolly shown on the Dunolly map that forms part of this clause.

Strategies

Improve accessibility for all abilities in Dunolly and district.

CENTRAL GOLDFIELDS PLANNING SCHEME

Beautify town entrances with landscaping, plantings and artworks.

Retain intact heritage streetscapes in the town centre.

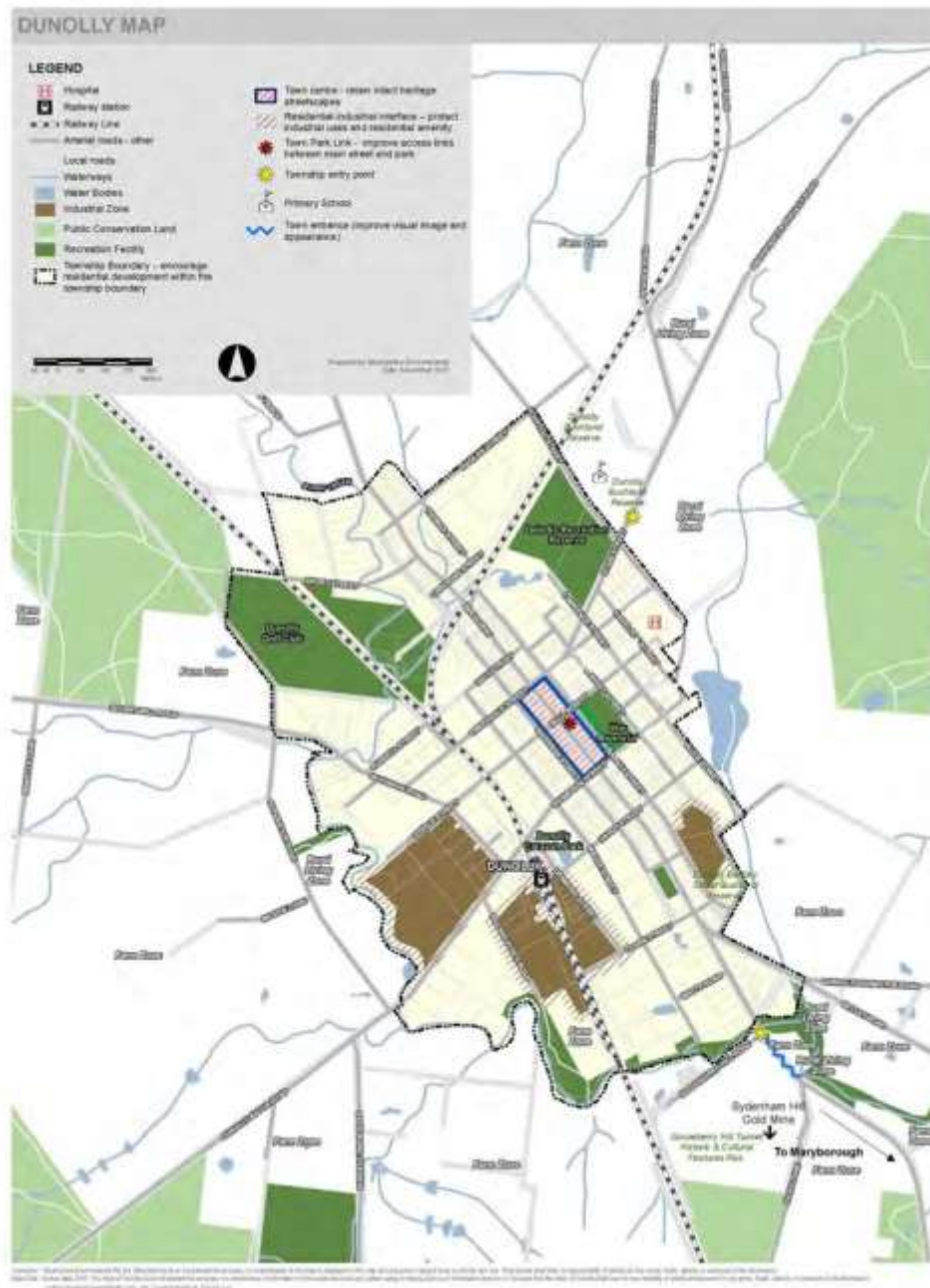
Locate residential development within the Dunolly township boundary.

Protect industrial uses and residential amenity at the interface between residential and industrial areas.

Improve access links between the main street and the Town Park.

CENTRAL GOLDFIELDS PLANNING SCHEME

Dunolly Map



11.03-6L-05 Talbot

07/12/2023
C34cgoi

This policy applies to the local community centre of Talbot shown on the Talbot Map that forms part of this clause.

Strategies

Preserve the heritage significance of the grouping of civic buildings in the heritage civic precinct.

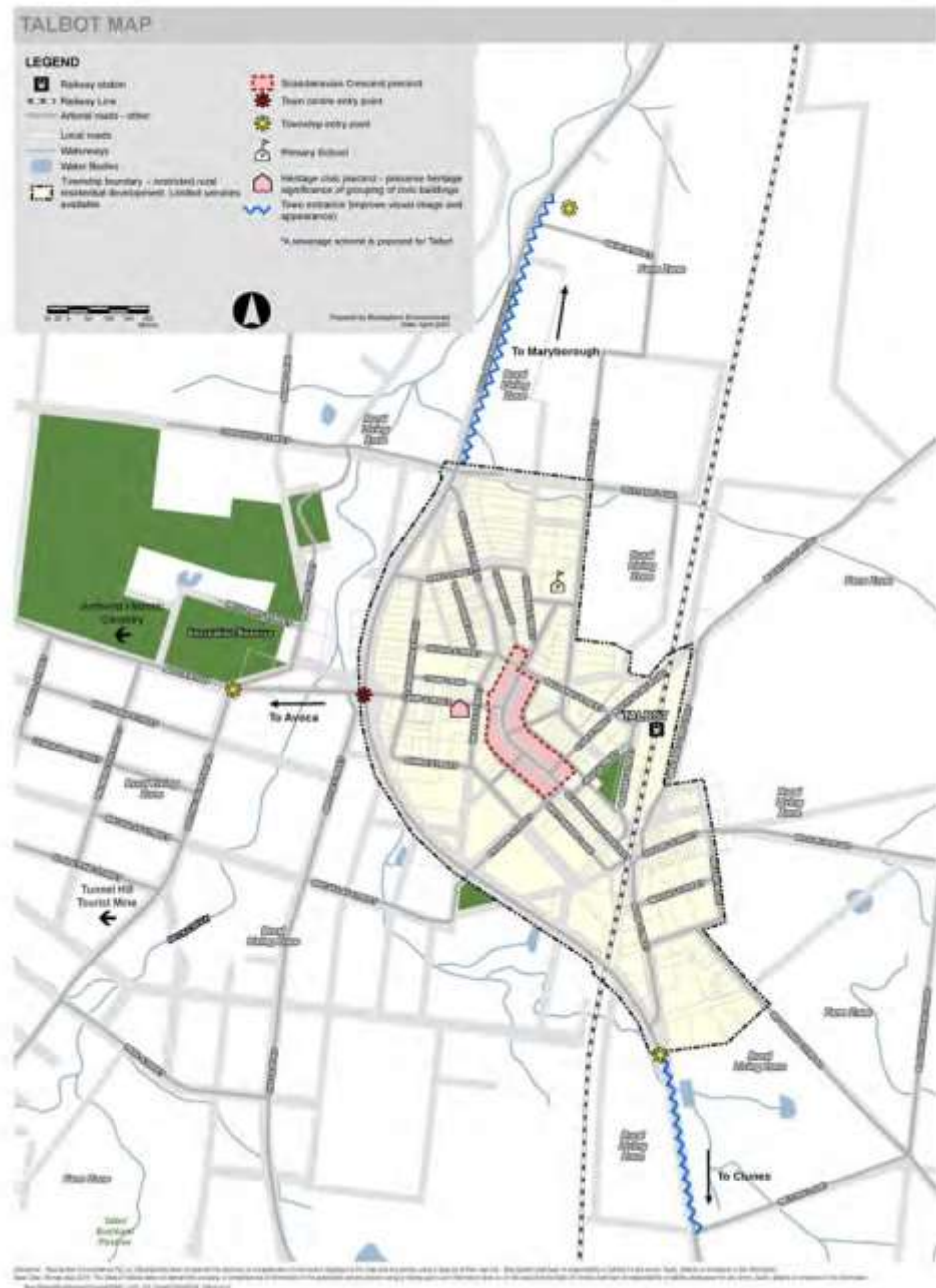
CENTRAL GOLDFIELDS PLANNING SCHEME

Beautify town entrances with landscaping, plantings and artworks.

Improve the accessibility of active transport networks.

Investigate the potential for rezoning of land in Talbot when reticulated sewerage is provided.

Talbot Map



CENTRAL GOLDFIELDS PLANNING SCHEME

15.03

31/07/2018
VC148

HERITAGE

15.03-1S

26/10/2018
VC155

Heritage conservation

Objective

To ensure the conservation of places of heritage significance.

Strategies

Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.

Provide for the protection of natural heritage sites and man-made resources.

Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.

Encourage appropriate development that respects places with identified heritage values.

Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

Support adaptive reuse of heritage buildings where their use has become redundant.

Consider whether it is appropriate to require the restoration or reconstruction of a heritage building in a Heritage Overlay that has been unlawfully or unintentionally demolished in order to retain or interpret the cultural heritage significance of the building, streetscape or area.

Policy guidelines

Consider as relevant:

- The findings and recommendations of the Victorian Heritage Council.
- The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013.

15.03-1L
---|---
Proposed C40cgo1

Central Goldfields Local Heritage

Policy application

This applies to all land within a Heritage Overlay.

Conservation and restoration strategies

Encourage conservation and restoration of original fabric based on physical evidence, including remnant fabric, or documentary evidence, such as plans and photographs.

Avoid adding decorative features unless there is evidence that they were originally present.

Support accurate like for like replacement of significant and contributory fabric if the original fabric is beyond repair.

Demolition and relocation strategies

Encourage the repair, maintenance and retention of significant and contributory places and features over demolition and replacement.

Allow partial demolition of a contributory place if the replacement built form is sympathetic to the scale, setbacks and general heritage significance of the place and heritage precinct.

Support full and partial demolition of a non-contributory place in a heritage precinct if the replacement building responds to the built form, detailing, materials, building envelopes and settings of the broader precinct.

Discourage the relocation of a heritage building or feature, unless relocation is the sole practical means of ensuring the survival and ongoing use of that heritage place.

Addition and alteration strategies

Support alterations and additions that use setbacks, heights and physical separation to ensure new works do not detract from or dominate the principal facade, significant fabric, form and scale of the heritage place and are concealed from view of the street frontage.

Support alterations and additions that use materials, colours, textures and finishes that are sympathetic to significant fabric and complement existing colours on walls, windows and roofs of the heritage place.

New building strategies

Encourage new buildings in heritage precincts to reflect and respond to the height, form, massing, setbacks, siting, materiality, landscaping and heritage setting of nearby significant and contributory places.

Encourage upper floor levels to be setback to the rear of new buildings to minimise the bulk and visual dominance of upper storey development on the streetscape.

Support new buildings in commercial precincts that respect the proportions, setbacks, street wall and parapet heights, roof and verandah forms, entry proportions, openings and framings of adjoining heritage places.

Encourage new buildings on street corners in commercial precincts to incorporate an angled splay where these are present on adjacent or opposite corners.

Encourage new buildings in commercial and civic precincts to be sensitively located to avoid obscuring or overshadowing prominent view lines or impacting areas of open landscape setting.

Environmental performance and services strategies

Support the enhancement of the environmental performance of significant heritage places by encouraging solar energy systems, ancillary services and equipment to be concealed from the principal facade and primary visible roof form.

CENTRAL GOLDFIELDS PLANNING SCHEME

Encourage the installation of electric vehicle charging stations to be fixed to side walls and setback at least 1 metre from the principal façade of significant heritage places.

Trees, gardens and landscape strategies

Encourage the retention of original or early landscaping elements such as trees and gardens, pathways fencing and walls that have been identified as contributing to the significance of a place.

Fences and gates strategies

Encourage the retention of original or early fences and gates that have been identified as contributing to the significance of a place.

Support the construction of new fences and gates at contributory and significance places to complement the architectural style of the heritage building, and the height, form, setback and materials of original fencing in the immediate environs, without reproducing their detail.

Encourage new fences and gates for non-contributory places to maintain a fence height that compliments neighbouring contributory and significant fences in the streetscape.

Vehicle accommodation strategies

Support garages or carports that are visually recessive, less than 3 metres in height from natural ground level, detached from the heritage place and located to the rear or side of the principal part of the building to avoid the obstruction of contributory heritage fabric or intrusion into the front setback of heritage places.

External painting and signage strategies

Discourage the external painting of heritage places in corporate colours, painting over and covering windows to reduce the articulation of heritage features on a building facade.

Encourage signs to be displayed in traditional locations on heritage buildings, including building fascia's and on panels above or below verandahs.

Discourage the illumination of signs that would visually overwhelm the heritage place and its setting.

Subdivision strategies

Encourage subdivision that reflects the pattern of development of the surrounding street or precinct.

Support subdivision that maintains an appropriate curtilage by providing unobstructed views to major elevations of a heritage place.

Encourage subdivision that retains original gardens, trees and or other features that have been identified as contributing to the significance of a place.

Policy documents

Consider as relevant:

- *Central Goldfields Shire Heritage Design Guidelines (Extent Heritage, 2024)*

15.03-2S

31/07/2018
VC148

Aboriginal cultural heritage

Objective

To ensure the protection and conservation of places of Aboriginal cultural heritage significance.

Strategies

Identify, assess and document places of Aboriginal cultural heritage significance, in consultation with relevant Registered Aboriginal Parties, as a basis for their inclusion in the planning scheme.

CENTRAL GOLDFIELDS PLANNING SCHEME

Provide for the protection and conservation of pre-contact and post-contact Aboriginal cultural heritage places.

Ensure that permit approvals align with the recommendations of any relevant Cultural Heritage Management Plan approved under the *Aboriginal Heritage Act 2006*.

Policy guidelines

Consider as relevant:

- The findings and recommendations of the Aboriginal Heritage Council.
- The findings and recommendations of the Victorian Heritage Council for post-contact Aboriginal heritage places.

Policy documents

Consider as relevant:

- *Aboriginal Heritage Act 2006*

CENTRAL GOLDFIELDS PLANNING SCHEME

15.03
31/07/2018
VC148

HERITAGE

15.03-1S

26/10/2018
VC155

Heritage conservation

Objective

To ensure the conservation of places of heritage significance.

Strategies

Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.

Provide for the protection of natural heritage sites and man-made resources.

Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.

Encourage appropriate development that respects places with identified heritage values.

Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

Support adaptive reuse of heritage buildings where their use has become redundant.

Consider whether it is appropriate to require the restoration or reconstruction of a heritage building in a Heritage Overlay that has been unlawfully or unintentionally demolished in order to retain or interpret the cultural heritage significance of the building, streetscape or area.

Policy guidelines

Consider as relevant:

- The findings and recommendations of the Victorian Heritage Council.
- The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013.

15.03-1L

15.03-1L
Proposed_C40cgo1

Central Goldfields Local Heritage**Policy application**

This applies to all land within a Heritage Overlay.

Conservation and restoration strategies

Encourage conservation and restoration of original fabric based on physical evidence, including remnant fabric, or documentary evidence, such as plans and photographs.

Avoid adding decorative features unless there is evidence that they were originally present.

Support accurate like for like replacement of significant and contributory fabric if the original fabric is beyond repair.

Demolition and relocation strategies

Encourage the repair, maintenance and retention of significant and contributory places and features over demolition and replacement.

Allow partial demolition of a contributory place if the replacement built form is sympathetic to the scale, setbacks and general heritage significance of the place and heritage precinct.

Support full and partial demolition of a non-contributory place in a heritage precinct if the replacement building responds to the built form, detailing, materials, building envelopes and settings of the broader precinct.

Discourage the relocation of a heritage building or feature, unless relocation is the sole practical means of ensuring the survival and ongoing use of that heritage place.

Addition and alteration strategies

Support alterations and additions that use setbacks, heights and physical separation to ensure new works do not detract from or dominate the principal facade, significant fabric, form and scale of the heritage place and are concealed from view of the street frontage.

Support alterations and additions that use materials, colours, textures and finishes that are sympathetic to significant fabric and complement existing colours on walls, windows and roofs of the heritage place.

New building strategies

Encourage new buildings in heritage precincts to reflect and respond to the height, form, massing, setbacks, siting, materiality, landscaping and heritage setting of nearby significant and contributory places.

Encourage upper floor levels to be setback to the rear of new buildings to minimise the bulk and visual dominance of upper storey development on the streetscape.

Support new buildings in commercial precincts that respect the proportions, setbacks, street wall and parapet heights, roof and verandah forms, entry proportions, openings and framings of adjoining heritage places.

Encourage new buildings on street corners in commercial precincts to incorporate an angled splay where these are present on adjacent or opposite corners.

Encourage new buildings in commercial and civic precincts to be sensitively located to avoid obscuring or overshadowing prominent view lines or impacting areas of open landscape setting.

Environmental performance and services strategies

Support the enhancement of the environmental performance of significant heritage places by encouraging solar energy systems, ancillary services and equipment to be concealed from the principal facade and primary visible roof form.

CENTRAL GOLDFIELDS PLANNING SCHEME

Encourage the installation of electric vehicle charging stations to be fixed to side walls and setback at least 1 metre from the principal façade of significant heritage places...

Trees, gardens and landscape strategies

Encourage the retention of original or early landscaping elements such as trees and gardens, pathways fencing and walls that have been identified as contributing to the significance of a place.

Fences and gates strategies

Encourage the retention of original or early fences and gates that have been identified as contributing to the significance of a place.

Support the construction of new fences and gates at contributory and significance places to complement the architectural style of the heritage building, and the height, form, setback and materials of original fencing in the immediate environs, without reproducing their detail.

Encourage new fences and gates for non-contributory places to maintain a fence height that compliments neighbouring contributory and significant fences in the streetscape.

Vehicle accommodation strategies

Support garages or carports that are visually recessive, less than 3 metres in height from natural ground level, detached from the heritage place and located to the rear or side of the principal part of the building to avoid the obstruction of contributory heritage fabric or intrusion into the front setback of heritage places.

External painting and signage strategies

Discourage the external painting of heritage places in corporate colours, painting over and covering windows to reduce the articulation of heritage features on a building façade.

Encourage signs to be displayed in traditional locations on heritage buildings, including building fascia's and on panels above or below verandahs.

Discourage the illumination of signs that would visually overwhelm the heritage place and its setting.

Subdivision strategies

Encourage subdivision that reflects the pattern of development of the surrounding street or precinct.

Support subdivision that maintains an appropriate curtilage by providing unobstructed views to major elevations of a heritage place.

Encourage subdivision that retains original gardens, trees and or other features that have been identified as contributing to the significance of a place.

Policy documents

Consider as relevant:

- *Central Goldfields Shire Heritage Design Guidelines (Extent Heritage, 2024)*

15.03-2S

31/07/2018
VC148

Aboriginal cultural heritage

Objective

To ensure the protection and conservation of places of Aboriginal cultural heritage significance.

Strategies

Identify, assess and document places of Aboriginal cultural heritage significance, in consultation with relevant Registered Aboriginal Parties, as a basis for their inclusion in the planning scheme.

CENTRAL GOLDFIELDS PLANNING SCHEME

Provide for the protection and conservation of pre-contact and post-contact Aboriginal cultural heritage places.

Ensure that permit approvals align with the recommendations of any relevant Cultural Heritage Management Plan approved under the *Aboriginal Heritage Act 2006*.

Policy guidelines

Consider as relevant:

- The findings and recommendations of the Aboriginal Heritage Council.
- The findings and recommendations of the Victorian Heritage Council for post-contact Aboriginal heritage places.

Policy documents

Consider as relevant:

- *Aboriginal Heritage Act 2006*

28/02/2019
GC117

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

1.0

Proposed C40cgoi

Application requirements

The following application requirements apply to an application under Clause 43.01, in addition to those specified elsewhere in the planning scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A written report that explains how the application addresses the provisions of Clause 15.03-1L Central Goldfields Heritage.
- Plans and elevations (A3 size), fully scaled or dimensioned including:
 - Elevations and floor plans of existing conditions
 - Elevations and floor plans showing proposed development including demolition, alterations and additions or new buildings.
 - A site plan showing the existing and proposed development including outbuildings, fences and gates, significant trees or vegetation, vehicle accommodation, new cross overs and any other relevant features.
 - Details and samples of materials, finishes and colours.
 - A landscape plan.
- If conservation and restoration is proposed:
 - Physical evidence, such as remnant fabric, or documentary evidence, such as early drawings, plans or photographs.
- If demolition is proposed:
 - A report undertaken by a heritage practitioner that includes a structural assessment demonstrating that repair or restoration is not possible.
 - An application for new development.
- If relocation is proposed:
 - A report undertaken by a heritage practitioner that demonstrates that the building or element is readily removable or has a history of relocation.
 - A detailed description of the site chosen for relocation and the proposed use of the building or element.
- If a solar energy system is proposed:
 - Plans and elevations, fully scaled or dimensioned, showing the location and arrangement of the solar system on the building or site.

CENTRAL GOLDFIELDS PLANNING SCHEME

2.0

Proposed C40cgoi

Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	AMHERST								
HO151	Three Bluestone Culverts, Talbot – Avoca Road, Amherst	No	No	No	Yes	No	No	No	No
HO153	Amherst Hospital site, Blacksmith Gully Road, Amherst	No	No	No	Yes	No	No	No	No
HO152	Amherst Reservoir, off Talbot Avoca Road, Amherst	No	No	No	Yes	No	No	No	No
	ARCHDALE								
HO155	Archdale Bridge, (over Avoca River) Archdale Road, Archdale	No	No	No	Yes	No	No	No	No
HO70	Discharged Soldier Settlement Home, Archdale – Dunolly Road, Archdale	No	No	No	Yes	No	No	No	No
HO69	Sent Farm Site, Cnr Dunolly – Stuart Mill Road and Scent Farm Road, Archdale	No	No	No	Yes	No	No	No	No
HO72	Puzzle Flat Battery, Trowers Lane, Archdale	No	No	No	Yes	No	No	No	No
	BEALIBA								
HO202	Bealiba Area	No	No	No	Yes	No	No	No	No
HO42	Farmhouse Bealiba, Main Street, Bealiba	No	No	No	Yes	No	No	No	No
HO43	Baruto Farm House, St Arnaud – Dunolly Road, Bealiba	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO44	Tunstalls Town, Tunstal Lane, Bealiba	No	No	No	Yes	No	No	No	No
	BETLEY								
HO207	Betley Area	No	No	No	Yes	No	No	No	No
HO120	Duke & Main Lead Consuls Mine, Bet Bet – Betley Road, Betley	No	No	No	Yes	No	No	No	No
HO35	Burn Creek Mine No. 1, Howards Lane, Betley	No	No	No	Yes	No	No	No	No
	BET BET								
HO49	Bet Bet School, Bet Bet	No	No	No	Yes	No	No	No	No
HO47	Duke Extended Mine, Bergers Lane, Bet Bet	No	No	No	Yes	No	No	No	No
HO109	Duke Extended Mine, Bet Bet Creek Road, Bet Bet	No	No	No	Yes	No	No	No	No
HO52	Farmhouse, Dunolly - Timor Road, Bet Bet	No	No	No	Yes	No	No	No	No
HO50	Limestone Reserve, Bet Bet – Mt Hooghly Road, Bet Bet	No	No	No	Yes	No	No	No	No
	BROMLEY								
HO38	Hick's Farm House, Betley Road, Bromley	No	No	No	Yes	No	No	No	No
HO39	Miners Cottage, Betley Road, Bromley	No	No	No	Yes	No	No	No	No
HO37	School No 55, Middle Road, Bromley	No	No	No	Yes	No	No	No	No
	CARISBROOK								
HO209	Carisbrook Area	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO165	Chalks No. 3 - Junction Baringhup and Castlemaine Roads, Carisbrook	No	No	No	Yes	No	No	No	No
HO83	Town Hall 19 Bucknall Street, Carisbrook	No	No	Yes	Yes	No	No	No	No
HO81	Masonic Hall (Former Court House) 25 Bucknall Street, Carisbrook	No	No	Yes	Yes	No	No	No	No
HO111	Chalk's Estate Deep Mine, Camp Street, Carisbrook	No	No	No	Yes	No	No	No	No
HO112	Chalk's No. 1 Deep Lead Mine, Camp Street, Carisbrook	No	No	No	Yes	No	No	No	No
HO74	Junction Lodge, 69 Camp Street, Carisbrook	-	-	-	-	-	Yes Ref No H342	No	No
HO88	Primary School & Residence Camp Street, Carisbrook	No	No	No	Yes	No	No	No	No
HO101	Uniting Church, Simson Street, Carisbrook	No	No	No	Yes	No	No	No	No
	DUNOLLY								
HO205	Dunolly Area	No	No	No	Yes	No	No	No	No
HO36	Dredging Dam, Barkly Street, Dunolly	No	No	No	Yes	No	No	No	No
HO41	Bet Bet Reef Gold Puddling Site, Maryborough-Dunolly Road, Dunolly	-	-	-	-	-	Yes Ref No H1247	No	No
HO1	Dunolly Town Hall, 83 Broadway, Dunolly	-	-	-	-	-	Yes Ref No. H593	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO2	Former Bendigo Hotel 82 Broadway, Dunolly	-	-	-	-	-	Yes Ref No. H863	No	No
HO14	Hansford House 172 Broadway, Dunolly	No	No	No	Yes	No	No	No	No
HO17	Dunolly Court House, 44 Market Street, Dunolly	-	-	-	-	-	Yes Ref No H1468	No	No
HO173	Danns Bridge (over Bet Bet Creek), Dunolly-Eddington Road, Dunolly	-	-	-	-	-	Yes Ref No H1850	No	No
HO32	Toppe Family Farm, Dunolly Eddington Road, Dunolly	No	No	No	Yes	No	No	No	No
HO30	Daly's Winery, off the Dunolly Moliagul Road, Dunolly	No	No	No	Yes	No	No	No	No
HO34	Old Lead Diggings, Rheola Road, Dunolly	-	-	-	-	-	Yes Ref No H2402	No	No
HO15	Dunolly Primary School Elgin Street	No	No	No	Yes	No	No	No	No
HO19	St Mary's Catholic Church Hardy Street, Dunolly	No	No	No	Yes	No	No	No	No
HO26	Wigham's Junction Hotel, Maryborough Road, Dunolly	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO29	Dunolly Railway Station, McDermott Road, Dunolly	-	-	-	-	-	Yes Ref No H1670	No	No
HO24	Old Cemetery, Painkiller Gully Road, Dunolly	No	No	No	Yes	No	No	No	No
HO25	Whittackers Cordial Factory Residence Ravens Lane, Dunolly	No	No	No	Yes	No	No	No	No
HO27	Terminus Hotel Thompson Street, Dunolly	No	No	No	Yes	No	No	No	No
HO8	St Johns Church, 15 Thompson Street, Dunolly	No	Yes	No	Yes	No	No	No	No
	GOLDSBOROUGH								
HO68	Martin's eucalyptus press, Goldsborough	No	No	No	Yes	No	No	No	No
HO65	Goldsborough State School, Old Goldsborough Road, Goldsborough	No	No	No	Yes	No	No	No	No
HO67	Queens Birthday Mine, Old Goldsborough Road, Goldsborough	No	No	No	Yes	No	No	No	No
HO64	Cottage Goldsborough pre-emptive right, St Arnaud – Dunolly Road, Goldsborough	No	No	No	Yes	No	No	No	No
	MAJORCA								
HO95	Stand Pipe Cnr London & Talbot Streets, Majorca	No	No	No	Yes	No	No	No	No
HO115	Gibraltar Deep Lead Mine, Majorca Road, Majorca	No	No	No	Yes	No	No	No	No
HO102	Former Post Office, Queen Street, Majorca	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO97	Bucknall Family Memorial Church, Rodborough Road, Majorca	No	No	No	Yes	No	No	No	No
HO116	Kong Meng Mine, Rodborough Road, Majorca	No	No	No	Yes	No	No	No	No
HO94	Former London Chartered Bank, Talbot Street, Majorca	No	No	No	Yes	No	No	No	No
HO96	Town Hall, Talbot Street, Majorca	No	No	No	Yes	No	No	No	No
	MARYBOROUGH								
HO170	Phillips Gardens, Alma Street, Maryborough	No	No	Yes	Yes	No	No	No	No
HO121	Blucher's Reef Talisman Mine, Bluchers Road, Maryborough	No	No	No	Yes	No	No	No	No
HO133	Maryborough Court House, 67 Clarendon Street, Maryborough	-	-	-	-	-	Yes Ref No H1475	No	No
HO174	Maryborough Town Hall, 71 Clarendon Street, Maryborough	-	-	-	-	-	Yes Ref No H2152	Yes	No
HO146	Maryborough Post Office, 69 Clarendon Street, Maryborough	-	-	-	-	-	Yes Ref No H1754	No	No
HO175	Former Maryborough East Primary School No 2828, 60 Gillies Street, Maryborough	-	-	-	-	-	Yes Ref No H2141	Yes	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO176	Bull and Mouth Hotel, 119-125 High Street and 120 Nolan Street, Maryborough	-	-	-	-	-	Yes Ref No H2150	Yes	No
HO177	Cab Building and House, 177A-179 High Street, Maryborough	-	-	-	-	-	Yes Ref No H2151	Yes	No
HO172	Maryborough Municipal Olympic Swimming Complex, Lake Road, Maryborough	-	-	-	-	-	Yes Ref No H1319	No	No
HO179	Former Maryborough Technical School No. 7225, 12-22 Nolan Street, Maryborough	-	-	-	-	-	Yes Ref No H2142	Yes	No
HO180	Former Maryborough High School, 19-35 Palmerston Street, Maryborough	-	-	-	-	-	Yes Ref No H2143	Yes	No
HO166	Princes Park, Park Street, Maryborough	-	-	-	-	-	Yes Ref No H1880	No	No
HO117	Leviathan Mine, Pekin Road, Maryborough	No	No	No	Yes	No	No	No	No
HO134	Maryborough Railway Station, 38 Victoria Street, Maryborough	-	-	-	-	-	Yes Ref No H1577	No	No
HO210	Former Gaol Precinct, Maryborough	No	No	No	Yes	Yes	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Statement of Significance <i>Former Gaol Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>					Fences at 21, 23, 25, 26 and 31 Barkly Street and 17 Peel Street.			
HO211	Eastern Residential Precinct, Maryborough Statement of Significance <i>Eastern Residential Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Flowering gum (<i>Eucalyptus ficifolia</i>), flame tree (<i>Brachychiton populneus</i>), peppercorn (<i>Schinus areira</i>) and Chinese windmill palm (<i>Trachycarpus fortunei</i>) at 4 Argyle Road; Mature eucalypt at 7 Lowenstein Street; Chinese windmill palm (<i>Trachycarpus fortunei</i>) at 17 Fraser Street; Peppercorn (<i>Schinus areira</i>) at 18 Fraser Street; Two peppercorn (<i>Schinus areira</i>); and Five	Yes	Yes Outbuildings at 7 Lowenstein Street; and 10 Lowenstein Street. Fence at 4 Argyle Road.	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
				pomegranate (<i>Punica granatum</i>) trees at 159 Railway Street					
HO212	Raglan Street Precinct, Maryborough Statement of Significance <i>Raglan Street Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Five mature English Oaks (<i>Quercus Robur</i>) along Raglan Street reserve. Moreton Bay Fig (<i>Ficus macrophylla</i>) at 35 Raglan Street	Yes	No	No	No	No
HO213	Civic Square Precinct, Maryborough Statement of Significance <i>Civic Square Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	Yes	No	No	Yes	No	No	No	No
HO214	Commercial Precinct, Maryborough Statement of Significance <i>Commercial Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	No	No
HO215	Park Road Precinct, Maryborough	No	No	Yes	Yes	Yes	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Statement of Significance: <i>Park Road Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>			Palms (<i>Phoenix canariensis</i>) at 15, 37 and 39 Park Road		Fence at 7 Park Road.			
HO216	Palmerston Street Precinct, Maryborough Statement of Significance <i>Palmerston Street Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Canary Island Palms (<i>Phoenix canariensis</i>) at 97 Clarendon Street, 37 and 41 Palmerston Street, and 3 and 11 Dundas Road. Mexican Hawthorn tree (<i>Crataegus stipulacea</i>) at 42 Palmerston Street	Yes	Yes Fences at 44 Palmerston Street; and 61 Raglan Street.	No	No	No
HO217	Western Residential Precinct, Maryborough Statement of Significance <i>Western Residential Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	No	No
HO218	Maryborough Railway Complex, 27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough Statement of Significance	No	No	No	Yes	No	No	Yes	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Maryborough Railway Complex Statement of Significance, 27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>								
HO219	Industrial Serial Listing, 36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough Statement of Significance <i>Industrial Serial Listing Statement of Significance, 36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	Yes	No
HO220	Methodist and Church of Christ Churches, 63-65 Inkerman Street and 49 Clarendon Street, Maryborough. Statement of Significance <i>Methodist and Church of Christ Churches Statement of Significance, 63-65 Inkerman Street and 49 Clarendon Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	Yes	No
HO221	Bristol Hill, Maryborough Statement of Significance <i>Bristol Hill Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Eucalyptus trees	No	No	No	No	No
HO222	Maryborough Main Drain Statement of Significance	No	No	No	No	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Maryborough Main Drain Statement of Significance (Central Goldfields Shire Council, February 2024)								
HO223	Worsley Cottage, 3 Palmerston Street, Maryborough Statement of Significance <i>Worsley Cottage Statement of Significance, 3 Palmerston Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Mature grapevine and mature pomegranate	Yes	Yes Timber and brick outbuildings to the rear of the property	No	No	No
HO224	Residence and Warehouse (St Carlo House / Elias Cramieri and Sons), 9-13 Tuaggra Street, Maryborough Statement of Significance <i>Residence and Warehouse Statement of Significance, 9-13 Tuaggra Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	Yes Front fence to residence	No	No	No
HO225	Former Maryborough Primary School 404, 18 Palmerston Street, Maryborough Statement of Significance <i>Former Maryborough Primary School Statement of Significance, 18 Palmerston Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	Yes	No
HO226	Tiverton (Sir Edmund Herring House), 16 Peel Street, Maryborough Statement of Significance	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Tiverton Statement of Significance, 16 Peel Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>								
HO227	Bristol Hill Corner Store, 20 Palmerston Street, Maryborough Statement of Significance <i>Bristol Hill Corner Store Statement of Significance, 20 Palmerston Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	No	No
	MOLIAGUL								
HO201	Moliagul Area	No	No	No	Yes	No	No	No	No
HO57	Welcome Stranger Gold Mining Precinct, 246 Monument Road, Moliagul	-	-	-	-	-	Yes Ref No H1241	No	No
HO55	Slab Hut Bendigo – St Arnaud Road, Moliagul	No	No	No	Yes	No	No	No	No
	TALBOT/STONY CREEK								
HO208	Talbot Area	No	No	No	Yes	No	No	No	No
HO125	Former Talbot Police Residence and Lock Up 19 Heales Street, Talbot	-	-	-	-	-	Yes Ref No H533	No	No
HO181	Stony Creek School Reserve, Nuggetty Track, Stony Creek	-	-	-	-	-	Yes Ref No H2341	Yes	No
HO148	Aboriginal maternity Tree, Pollock's Road, Talbot	No	No	Yes	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	TIMOR/BOWENVALE								
HO108	Duke and Timor Deep Lead Gold Mine, Grand Duke Historic Reserve, Timor-Dunolly Road, Timor	-	-	-	-	-	Yes Ref No H1764	No	No
HO103	Stand Pipe, Timor Road, Bowenvale	No	No	No	Yes	No	No	No	No
HO99	Timor School Bet Bet Creek Road, Timor	No	No	No	Yes	No	No	No	No
HO53	Timor West, Bet Bet – Timor West Road, Timor West	No	No	No	Yes	No	No	No	No
HO51	Osage Orange Trees, Cushendon Road, Timor West	No	No	Yes	Yes	No	No	No	No
HO48	North Duke Mine Site, Frogmore Lane, Timor West	No	No	No	Yes	No	No	No	No
HO54	New Pepper, Hickeys Road, Timor West	No	No	No	Yes	No	No	No	No
HO98	Timor Store & Jail, Timor Road, Timor	No	No	No	Yes	No	No	No	No
HO100	Former Craigie School, Albert Street, Craigie	No	No	No	Yes	No	No	No	No
HO113	Havilah Co. Deep Lead Mine, Baringhup Road, Moolort	No	No	No	Yes	No	No	No	No
HO73	Closer Settlement House, Bealiba South Road, Dunluce	No	No	No	Yes	No	No	No	No
HO75	Norwood Homestead, 380 Norwood Road, Wareek	-	-	-	-	-	Yes Ref No H343	No	No
HO156	Aboriginal 'Canoe' Trees, Carisbrook-Eddington Road, Simson	No	No	Yes	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO93	Charlotte Plains Ruins, Carisbrook - Eddington Road, Simson	No	No	No	Yes	No	No	No	No
HO124	Eucalyptus Macrocarpa off Carisbrook – Eddington Road, Simson	No	No	Yes	Yes	No	No	No	No
HO164	Bald Hill Cemetery 1851-1880's (Private Land) Donovans Road, Moolort	No	No	No	Yes	No	No	No	No
HO161	Historic Monument (Blackmans Lead) Dunach – Eddington Road, Golden Point	No	No	No	Yes	No	No	No	No
HO154	Foley's Bridge, Foleys Road, Mt Cameron district	No	No	No	Yes	No	No	No	No
HO123	Cyanide Vats, Gladstone Road, Bowenvale	No	No	No	Yes	No	No	No	No
HO159	Gladstone Bushland Reserve, Gladstone Road, Bowenvale	No	No	Yes	Yes	No	No	No	No
HO110	Madman Hopkins Gold Mine Homebush – Bung Bong Road, Bung Bong	No	No	No	Yes	No	No	No	No
HO118	Tipperary Hill (riot site) Maryborough – St Arnaud Road, Alma	No	No	No	Yes	No	No	No	No
HO130	Woorookoobanya, Plantation Road, West of Majorca	No	No	No	Yes	No	No	No	No
HO178	Glenmona Bridge (over Bet Bet Creek), Pyrenees Hwy, Bung Bong	-	-	-	-	-	Yes Ref No H1846	No	No
HO114	Chalk's Freehold Dump, Tullaroop Creek	No	No	No	Yes	No	No	No	No

28/02/2019
GC117**SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY****1.0****Application requirements**28/02/2019
GC117

Proposed C40c99

~~None specified.~~ The following application requirements apply to an application under Clause 43.01, in addition to those specified elsewhere in the planning scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A written report that explains how the application addresses the provisions of Clause 15.03-1L Central Goldfields Heritage.
- Plans and elevations (A3 size), fully scaled or dimensioned including:
 - Elevations and floor plans of existing conditions
 - Elevations and floor plans showing proposed development including demolition, alterations and additions or new buildings.
 - A site plan showing the existing and proposed development including outbuildings, fences and gates, significant trees or vegetation, vehicle accommodation, new cross overs and any other relevant features.
 - Details and samples of materials, finishes and colours.
 - A landscape plan.
- If conservation and restoration is proposed:..
 - Physical evidence, such as remnant fabric, or documentary evidence, such as early drawings, plans or photographs...
- If demolition is proposed:..
 - A report undertaken by a heritage practitioner that includes a structural assessment demonstrating that repair or restoration is not possible..
 - An application for new development...
- If relocation is proposed:
 - A report undertaken by a heritage practitioner that demonstrates that the building or element is readily removable or has a history of relocation.
 - A detailed description of the site chosen for relocation and the proposed use of the building or element.
- If a solar energy system is proposed:
 - Plans and elevations, fully scaled or dimensioned, showing the location and arrangement of the solar system on the building or site...

CENTRAL GOLDFIELDS PLANNING SCHEME

2.0

Heritage places

20/03/2023
VC229 Proposed C40cao

The requirements of this overlay apply to both the heritage place and its associated land.



PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	AMHERST								
HO151	Three Bluestone Culverts, Talbot – Avoca Road, Amherst	No	No	No	Yes	No	No	No	No
HO153	Amherst Hospital site, Blacksmith Gully Road, Amherst	No	No	No	Yes	No	No	No	No
HO152	Amherst Reservoir, off Talbot Avoca Road, Amherst	No	No	No	Yes	No	No	No	No
	ARCHDALE								
HO155	Archdale Bridge, (over Avoca River) Archdale Road, Archdale	No	No	No	Yes	No	No	No	No
HO70	Discharged Soldier Settlement Home, Archdale – Dunolly Road, Archdale	No	No	No	Yes	No	No	No	No
HO69	Sent Farm Site, Cnr Dunolly – Stuart Mill Road and Scent Farm Road, Archdale	No	No	No	Yes	No	No	No	No
HO72	Puzzle Flat Battery, Trowers Lane, Archdale	No	No	No	Yes	No	No	No	No
	BEALIBA								
HO202	Bealiba Area	No	No	No	Yes	No	No	No	No
HO42	Farmhouse Bealiba, Main Street, Bealiba	No	No	No	Yes	No	No	No	No
HO43	Baruto Farm House, St Arnaud – Dunolly Road, Bealiba	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO44	Tunstalls Town, Tunstal Lane, Bealiba	No	No	No	Yes	No	No	No	No
	BETLEY								
HO207	Betley Area	No	No	No	Yes	No	No	No	No
HO120	Duke & Main Lead Consuls Mine, Bet Bet – Betley Road, Betley	No	No	No	Yes	No	No	No	No
HO35	Burn Creek Mine No. 1, Howards Lane, Betley	No	No	No	Yes	No	No	No	No
	BET BET								
HO49	Bet Bet School, Bet Bet	No	No	No	Yes	No	No	No	No
HO47	Duke Extended Mine, Bergers Lane, Bet Bet	No	No	No	Yes	No	No	No	No
HO109	Duke Extended Mine, Bet Bet Creek Road, Bet Bet	No	No	No	Yes	No	No	No	No
HO52	Farmhouse, Dunolly - Timor Road, Bet Bet	No	No	No	Yes	No	No	No	No
HO50	Limestone Reserve, Bet Bet – Mt Hooghly Road, Bet Bet	No	No	No	Yes	No	No	No	No
	BROMLEY								
HO38	Hick's Farm House, Betley Road, Bromley	No	No	No	Yes	No	No	No	No
HO39	Miners Cottage, Betley Road, Bromley	No	No	No	Yes	No	No	No	No
HO37	School No 55, Middle Road, Bromley	No	No	No	Yes	No	No	No	No
	CARISBROOK								
HO209	Carisbrook Area	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO165	Chalks No. 3 - Junction Baringhup and Castlemaine Roads, Carisbrook	No	No	No	Yes	No	No	No	No
HO83	Town Hall 19 Bucknall Street, Carisbrook	No	No	Yes	Yes	No	No	No	No
HO81	Masonic Hall (Former Court House) 25 Bucknall Street, Carisbrook	No	No	Yes	Yes	No	No	No	No
HO111	Chalk's Estate Deep Mine, Camp Street, Carisbrook	No	No	No	Yes	No	No	No	No
HO112	Chalk's No. 1 Deep Lead Mine, Camp Street, Carisbrook	No	No	No	Yes	No	No	No	No
HO74	Junction Lodge, 69 Camp Street, Carisbrook	-	-	-	-	-	Yes Ref No H342	No	No
HO88	Primary School & Residence Camp Street, Carisbrook	No	No	No	Yes	No	No	No	No
HO101	Uniting Church, Simson Street, Carisbrook	No	No	No	Yes	No	No	No	No
	DUNOLLY								
HO205	Dunolly Area	No	No	No	Yes	No	No	No	No
HO36	Dredging Dam, Barkly Street, Dunolly	No	No	No	Yes	No	No	No	No
HO41	Bet Bet Reef Gold Puddling Site, Maryborough-Dunolly Road, Dunolly	-	-	-	-	-	Yes Ref No H1247	No	No
HO1	Dunolly Town Hall, 83 Broadway, Dunolly	-	-	-	-	-	Yes Ref No. H593	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO2	Former Bendigo Hotel 82 Broadway, Dunolly	-	-	-	-	-	Yes Ref No. H863	No	No
HO14	Hansford House 172 Broadway, Dunolly	No	No	No	Yes	No	No	No	No
HO17	Dunolly Court House, 44 Market Street, Dunolly	-	-	-	-	-	Yes Ref No H1468	No	No
HO173	Danns Bridge (over Bet Bet Creek), Dunolly-Eddington Road, Dunolly	-	-	-	-	-	Yes Ref No H1850	No	No
HO32	Toppe Family Farm, Dunolly Eddington Road, Dunolly	No	No	No	Yes	No	No	No	No
HO30	Daly's Winery, off the Dunolly Moliagul Road, Dunolly	No	No	No	Yes	No	No	No	No
HO34	Old Lead Diggings, Rheola Road, Dunolly	-	-	-	-	-	Yes Ref No H2402	No	No
HO15	Dunolly Primary School Elgin Street	No	No	No	Yes	No	No	No	No
HO19	St Mary's Catholic Church Hardy Street, Dunolly	No	No	No	Yes	No	No	No	No
HO26	Wigham's Junction Hotel, Maryborough Road, Dunolly	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO29	Dunolly Railway Station, McDermott Road, Dunolly	-	-	-	-	-	Yes Ref No H1670	No	No
HO24	Old Cemetery, Painkiller Gully Road, Dunolly	No	No	No	Yes	No	No	No	No
HO25	Whittackers Cordial Factory Residence Ravens Lane, Dunolly	No	No	No	Yes	No	No	No	No
HO27	Terminus Hotel Thompson Street, Dunolly	No	No	No	Yes	No	No	No	No
HO8	St Johns Church, 15 Thompson Street, Dunolly	No	Yes	No	Yes	No	No	No	No
	GOLDSBOROUGH								
HO68	Martin's eucalyptus press, Goldsborough	No	No	No	Yes	No	No	No	No
HO65	Goldsborough State School, Old Goldsborough Road, Goldsborough	No	No	No	Yes	No	No	No	No
HO67	Queens Birthday Mine, Old Goldsborough Road, Goldsborough	No	No	No	Yes	No	No	No	No
HO64	Cottage Goldsborough pre-emptive right, St Arnaud – Dunolly Road, Goldsborough	No	No	No	Yes	No	No	No	No
	MAJORCA								
HO95	Stand Pipe Cnr London & Talbot Streets, Majorca	No	No	No	Yes	No	No	No	No
HO115	Gibraltar Deep Lead Mine, Majorca Road, Majorca	No	No	No	Yes	No	No	No	No
HO102	Former Post Office, Queen Street, Majorca	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO97	Bucknall Family Memorial Church, Rodborough Road, Majorca	No	No	No	Yes	No	No	No	No
HO116	Kong Meng Mine, Rodborough Road, Majorca	No	No	No	Yes	No	No	No	No
HO94	Former London Chartered Bank, Talbot Street, Majorca	No	No	No	Yes	No	No	No	No
HO96	Town Hall, Talbot Street, Majorca	No	No	No	Yes	No	No	No	No
	MARYBOROUGH								
HO206	Maryborough Area	No	No	No	Yes	No	No	No	No
HO170	Phillips Gardens, Alma Street, Maryborough	No	No	Yes	Yes	No	No	No	No
HO121	Blucher's Reef Talisman Mine, Bluchers Road, Maryborough	No	No	No	Yes	No	No	No	No
HO133	Maryborough Court House, 67 Clarendon Street, Maryborough	-	-	-	-	-	Yes Ref No H1475	No	No
HO174	Maryborough Town Hall, 71 Clarendon Street, Maryborough	-	-	-	-	-	Yes Ref No H2152	Yes	No
HO146	Maryborough Post Office, 69 Clarendon Street, Maryborough	-	-	-	-	-	Yes Ref No H1754	No	No
HO158	Main Drain and Bridge, between Tullaroop Road and Harkness Street, Maryborough	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO175	Former Maryborough East Primary School No 2828, 60 Gillies Street, Maryborough	-	-	-	-	-	Yes Ref No H2141	Yes	No
HO176	Bull and Mouth Hotel, 119-125 High Street and 120 Nolan Street, Maryborough	-	-	-	-	-	Yes Ref No H2150	Yes	No
HO177	Cab Building and House, 177A-179 High Street, Maryborough	-	-	-	-	-	Yes Ref No H2151	Yes	No
HO172	Maryborough Municipal Olympic Swimming Complex, Lake Road, Maryborough	-	-	-	-	-	Yes Ref No H1319	No	No
HO179	Former Maryborough Technical School No. 7225, 12-22 Nolan Street, Maryborough	-	-	-	-	-	Yes Ref No H2142	Yes	No
HO180	Former Maryborough High School, 19-35 Palmerston Street, Maryborough	-	-	-	-	-	Yes Ref No H2143	Yes	No
HO166	Princes Park, Park Street, Maryborough	-	-	-	-	-	Yes Ref No H1880	No	No
HO117	Leviathan Mine, Pekin Road, Maryborough	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO134	Maryborough Railway Station, 38 Victoria Street, Maryborough	-	-	-	-	-	Yes Ref No H1577	No	No
HO210	Former Gaol Precinct, Maryborough Statement of Significance <i>Former Gaol Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	Yes Fences at 21, 23, 25, 26 and 31 Barkly Street and 17 Peel Street.	No	No	No
HO211	Eastern Residential Precinct, Maryborough Statement of Significance <i>Eastern Residential Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Flowering gum (<i>Eucalyptus ficifolia</i>), flame tree (<i>Brachychiton populneus</i>), peppercorn (<i>Schinus areira</i>) and Chinese windmill palm (<i>Trachycarpus fortunei</i>) at 4 Argyle Road; Mature eucalypt at 7 Lowenstein Street; Chinese windmill palm (<i>Trachycarpus fortunei</i>) at 17 Fraser Street; Peppercorn	Yes	Yes Outbuildings at 7 Lowenstein Street; and 10 Lowenstein Street. Fence at 4 Argyle Road.	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
				(Schinus areira) at 18 Fraser Street. Two peppercom (Schinus areira) and Five pomegranate (Punicea granatum) trees at 159 Railway Street					
HQ212	Raglan Street Precinct, Maryborough Statement of Significance <i>Raglan Street Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No.	No.	Yes. Five mature English Oaks (Quercus Robur) along Raglan Street reserve, Moreton Bay Fig (Ficus macrophylla) at 35 Raglan Street	Yes	No.	No.	No.	No.
HQ213	Civic Square Precinct, Maryborough Statement of Significance <i>Civic Square Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	Yes	No	No	Yes	No	No.	No.	No.
HQ214	Commercial Precinct, Maryborough	No	No	No.	Yes	No.	No.	No.	No.

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Statement of Significance <i>Commercial Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>								
HQ215	Park Road Precinct, Maryborough Statement of Significance: <i>Park Road Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Palms (<i>Phoenix canariensis</i>) at 15, 37 and 39 Park Road	Yes	Yes Fence at 7 Park Road	No	No	No
HQ216	Palmerston Street Precinct, Maryborough Statement of Significance <i>Palmerston Street Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Canary Island Palms (<i>Phoenix canariensis</i>) at 97 Clarendon Street, 37 and 41 Palmerston Street, and 3 and 11 Dundas Road. Mexican Hawthorn tree (<i>Crataegus stipulacea</i>) at 42 Palmerston Street	Yes	Yes Fences at 44 Palmerston Street; and 61 Raglan Street	No	No	No
HQ217	Western Residential Precinct, Maryborough Statement of Significance	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<u><i>Western Residential Precinct Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i></u>								
HO218	Maryborough Railway Complex, 27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough Statement of Significance <u><i>Maryborough Railway Complex Statement of Significance, 27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough (Central Goldfields Shire Council, February 2024)</i></u>	No	No	No	Yes	No..	No	Yes	No..
HO219	Industrial Serial Listing, 36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough Statement of Significance <u><i>Industrial Serial Listing Statement of Significance, 36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough (Central Goldfields Shire Council, February 2024)</i></u>	No	No	No	Yes	No..	No..	Yes	No..
HO220	Methodist and Church of Christ Churches, 63-65 Inkerman Street and 49 Clarendon Street, Maryborough Statement of Significance <u><i>Methodist and Church of Christ Churches Statement of Significance, 63-65 Inkerman Street and 49 Clarendon Street, Maryborough (Central Goldfields Shire Council, February 2024)</i></u>	No	No	No	Yes	No..	No..	Yes	No..

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO221	Bristol Hill, Maryborough Statement of Significance <i>Bristol Hill Statement of Significance, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Eucalyptus trees	No	No	No	No	No
HO222	Maryborough Main Drain Statement of Significance <i>Maryborough Main Drain Statement of Significance (Central Goldfields Shire Council, February 2024)</i>	No	No	No	No	No	No	No	No
HO223	Worsley Cottage, 3 Palmerston Street, Maryborough Statement of Significance <i>Worsley Cottage Statement of Significance, 3 Palmerston Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	Yes Mature grapevine and mature pomegranate	Yes	Yes Timber and brick outbuildings to the rear of the property	No	No	No
HO224	Residence and Warehouse (St Carlo House / Elias Crameri and Sons), 9-13 Tuaggra Street, Maryborough Statement of Significance <i>Residence and Warehouse Statement of Significance, 9-13 Tuaggra Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	Yes Front fence to residence	No	No	No
HO225	Former Maryborough Primary School 404, 18 Palmerston Street, Maryborough Statement of Significance	No	No	No	Yes	No	No	Yes	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	<i>Former Maryborough Primary School Statement of Significance, 18 Palmerston Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>								
HO226	Tiverton (Sir Edmund Herring House), 16 Peel Street, Maryborough. Statement of Significance <i>Tiverton Statement of Significance, 16 Peel Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	No	No
HO227	Bristol Hill Corner Store, 20 Palmerston Street, Maryborough. Statement of Significance <i>Bristol Hill Corner Store Statement of Significance, 20 Palmerston Street, Maryborough (Central Goldfields Shire Council, February 2024)</i>	No	No	No	Yes	No	No	No	No
	MOLIAGUL								
HO201	Moliagul Area	No	No	No	Yes	No	No	No	No
HO57	Welcome Stranger Gold Mining Precinct, 246 Monument Road, Moliagul	-	-	-	-	-	Yes Ref No H1241	No	No
HO55	Slab Hut Bendigo – St Arnaud Road, Moliagul	No	No	No	Yes	No	No	No	No
	TALBOT/STONY CREEK								
HO208	Talbot Area	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO125	Former Talbot Police Residence and Lock Up 19 Heales Street, Talbot	-	-	-	-	-	Yes Ref No H533	No	No
HO181	Stony Creek School Reserve, Nuggetty Track, Stony Creek	-	-	-	-	-	Yes Ref No H2341	Yes	No
HO148	Aboriginal maternity Tree, Pollock's Road, Talbot	No	No	Yes	Yes	No	No	No	No
	TIMOR/BOWENVALE								
HO108	Duke and Timor Deep Lead Gold Mine, Grand Duke Historic Reserve, Timor-Dunolly Road, Timor	-	-	-	-	-	Yes Ref No H1764	No	No
HO103	Stand Pipe, Timor Road, Bowenvale	No	No	No	Yes	No	No	No	No
HO99	Timor School Bet Bet Creek Road, Timor	No	No	No	Yes	No	No	No	No
HO53	Timor West, Bet Bet – Timor West Road, Timor West	No	No	No	Yes	No	No	No	No
HO51	Osage Orange Trees, Cushendon Road, Timor West	No	No	Yes	Yes	No	No	No	No
HO48	North Duke Mine Site, Frogmore Lane, Timor West	No	No	No	Yes	No	No	No	No
HO54	New Pepper, Hickeys Road, Timor West	No	No	No	Yes	No	No	No	No
HO98	Timor Store & Jail, Timor Road, Timor	No	No	No	Yes	No	No	No	No
HO100	Former Craigie School, Albert Street, Craigie	No	No	No	Yes	No	No	No	No
HO113	Havilah Co. Deep Lead Mine, Baringhup Road, Moolort	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO73	Closer Settlement House, Bealiba South Road, Dunluce	No	No	No	Yes	No	No	No	No
HO75	Norwood Homestead, 380 Norwood Road, Wareek	-	-	-	-	-	Yes Ref No H343	No	No
HO156	Aboriginal 'Canoe' Trees, Carisbrook-Eddington Road, Simson	No	No	Yes	Yes	No	No	No	No
HO93	Charlotte Plains Ruins, Carisbrook - Eddington Road, Simson	No	No	No	Yes	No	No	No	No
HO124	Eucalyptus Macrocarpa off Carisbrook – Eddington Road, Simson	No	No	Yes	Yes	No	No	No	No
HO164	Bald Hill Cemetery 1851-1880's (Private Land) Donovans Road, Moolort	No	No	No	Yes	No	No	No	No
HO161	Historic Monument (Blackmans Lead) Dunach – Eddington Road, Golden Point	No	No	No	Yes	No	No	No	No
HO154	Foley's Bridge, Foleys Road, Mt Cameron district	No	No	No	Yes	No	No	No	No
HO123	Cyanide Vats, Gladstone Road, Bowenvale	No	No	No	Yes	No	No	No	No
HO159	Gladstone Bushland Reserve, Gladstone Road, Bowenvale	No	No	Yes	Yes	No	No	No	No
HO110	Madman Hopkins Gold Mine Homebush – Bung Bong Road, Bung Bong	No	No	No	Yes	No	No	No	No
HO118	Tipperary Hill (riot site) Maryborough – St Arnaud Road, Alma	No	No	No	Yes	No	No	No	No
HO130	Woorookoobanya, Plantation Road, West of Majorca	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO178	Glenmona Bridge (over Bet Bet Creek), Pyrenees Hwy, Bung Bong	-	-	-	-	-	Yes Ref No H1846	No	No
HO114	Chalk's Freehold Dump, Tullaroop Creek	No	No	No	Yes	No	No	No	No

CENTRAL GOLDFIELDS PLANNING SCHEME

31/07/2018
VC148

SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?

1.0

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Proposed C40cgoi

Maps comprising part of this planning scheme:

- 1, 1BMO, 1EMO, 1ESO, 1HO, 1LSIO-FO, 1SMO, 1VPO
- 2, 2BMO, 2EAO, 2EMO, 2HO, 2LSIO-FO, 2SMO, 2VPO
- 3, 3BMO, 3EMO, 3HO, 3LSIO-FO, 3SMO
- 4, 4BMO, 4EMO, 4HO, 4LSIO-FO, 4SMO, 4VPO
- 5, 5BMO, 5HO, 5LSIO-FO, 5SMO, 5VPO
- 6, 6BMO, 6EMO, 6ESO, 6HO, 6LSIO-FO, 6SMO, 6VPO
- 7, 7BMO, 7DDO, 7EMO, 7ESO, 7HO, 7LSIO-FO, 7SMO, 7VPO
- 8, 8BMO, 8EMO, 8ESO, 8HO, 8LSIO-FO, 8SMO, 8VPO
- 9, 9BMO, 9DDO, 9DPO, 9EAO, 9EMO, 9HO, 9LSIO-FO, 9SCO, 9SMO
- 10, 10BMO, 10DDO, 10DPO, 10EAO, 10EMO, 10HO, 10LSIO-FO, 10SMO, 10VPO
- 11, 11BMO, 11EAO, 11HO, 11LSIO-FO, 11SMO
- 12, 12BMO, 12DPO, 12HO, 12LSIO-FO, 12PAO, 12SMO
- 13, 13EMO, 13ESO, 13HO, 13LSIO-FO, 13SMO, 13VPO
- 14, 14BMO, 14EMO, 14ESO, 14HO, 14LSIO-FO, 14SLO, 14SMO, 14VPO
- 15, 15BMO, 15EMO, 15ESO, 15HO, 15LSIO-FO, 15SMO, 15VPO
- 16, 16BMO, 16EMO, 16ESO, 16HO, 16LSIO-FO, 16SLO, 16SMO, 16VPO
- 17, 17BMO, 17EMO, 17HO, 17LSIO-FO, 17SMO
- 18, 18BMO, 18EMO, 18HO, 18LSIO-FO, 18SMO
- 19, 19BMO, 19EMO, 19ESO, 19HO, 19LSIO-FO, 19SLO, 19SMO, 19VPO

CENTRAL GOLDFIELDS PLANNING SCHEME

31/07/2018
VC148

SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?

1.0

Maps comprising part of this planning scheme:

~~22/10/2024~~
~~C34egol~~ Proposed C40cgol

- 1, 1BMO, 1EMO, 1ESO, 1HO, 1LSIO-FO, 1SMO, 1VPO
- 2, 2BMO, 2EAO, 2EMO, 2HO, 2LSIO-FO, 2SMO, 2VPO
- 3, 3BMO, 3EMO, 3HO, 3LSIO-FO, 3SMO
- 4, 4BMO, 4EMO, 4HO, 4LSIO-FO, 4SMO, 4VPO
- 5, 5BMO, 5HO, 5LSIO-FO, 5SMO, 5VPO
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- 17, 17BMO, 17EMO, 17HO, 17LSIO-FO, 17SMO
- 18, 18BMO, 18EMO, 18HO, 18LSIO-FO, 18SMO
- 19, 19BMO, 19EMO, 19ESO, 19HO, 19LSIO-FO, 19SLO, 19SMO, 19VPO



CENTRAL GOLDFIELDS PLANNING SCHEME

15/01/2024
VC249

SCHEDULE TO CLAUSE 72.04 INCORPORATED DOCUMENTS

1.0

Proposed C40cgol

Incorporated documents

Name of document	Introduced by:
1-3 Nightingale Street & 75 Clarendon Street, Maryborough, February 2021	C36cgol
Bristol Hill Corner Store Statement of Significance, 20 Palmerston Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Bristol Hill Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Civic Square Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Commercial Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Eastern Residential Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Former Gaol Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Former Maryborough Primary School Statement of Significance, 18 Palmerston Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Industrial Serial Listing Statement of Significance, 36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Maryborough Heritage Overlay Exemptions, Extent Heritage, February 2024	C40cgol
Maryborough Main Drain Statement of Significance, Central Goldfields Shire Council, February 2024	C40cgol
Maryborough Railway Complex Statement of Significance, 27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Methodist and Church of Christ Churches Statement of Significance, 63-65 Inkerman Street and 49 Clarendon Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Palmerston Street Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Park Road Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Raglan Street Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Rail Gauge Standardisation Project, Integrated Approval Requirements, December 2002	VC17
Residence and Warehouse Statement of Significance, 9-13 Tuagggra Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Tiverton Statement of Significance, 16 Peel Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Western Residential Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Worsley Cottage Statement of Significance, 3 Palmerston Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol

CENTRAL GOLDFIELDS PLANNING SCHEME

15/01/2024
VC249

SCHEDULE TO CLAUSE 72.04 INCORPORATED DOCUMENTS

1.0 Incorporated documents

27/03/2024 - 11:11:11
GC222 Proposed C40cgol

Name of document	Introduced by:
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Bristol Hill Corner Store Statement of Significance, 20 Palmerston Street, Maryborough, Central Goldfields Shire Council, February 2024.	C40cgol
Bristol Hill Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
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Western Residential Precinct Statement of Significance, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol
Worsley Cottage Statement of Significance, 3 Palmerston Street, Maryborough, Central Goldfields Shire Council, February 2024	C40cgol

CENTRAL GOLDFIELDS PLANNING SCHEME

31/07/2018
VC148

SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS

1.0

Proposed C40cgol

Background documents

Name of background document	Amendment number - clause reference
<i>Agenda for Action - Nature Conservation in the Avoca-Loddon-Campaspe Region</i> (B Osborne, 1996)	C1 Clause 2.03
<i>Box-Ironbark Forests & Woodlands Investigation, Final Report</i> (Environment Conservation Council, 2001)	C32cgol Clause 2.03
<i>Carisbrook Flood and Drainage Management Plan</i> (Water Technology, 2013)	C31cgol
<i>Central Goldfields Community Plans</i> (Central Goldfields Shire Council, 2020)	C34cgol Clauses 2.03-1, 2.03-9, 11.03-6L
<i>Central Goldfields Economic Development Strategy</i> (Urban Enterprise, 2020)	C34cgol Clauses 2.01, 2.03-4, 2.03-7, 17.01-1L
<i>Central Goldfields Heritage Design Guidelines</i> (Extent Heritage, 2024)	C40cgol Clauses 2.03, 15.03-1L, 43.01s
<i>Central Goldfields Integrated Transport Strategy</i> (Movement & Place Consulting, 2020)	C34cgol Clauses 2.03-4, 2.03-7, 2.03-8, 18.01-1L
<i>Central Goldfields Population, Housing and Residential Strategy</i> (Spatial Economics, 2020)	C34cgol Clauses 2.01, 2.03-1, 2.03-3, 2.03-6, 11.01-1L, 11.03-6L
<i>Central Goldfields Recreation and Open Space Strategy</i> (Otium Planning Group, 2020)	C34cgol Clauses 2.03-5, 2.03-9, 19.02-4L, 19.02-6L
<i>Central Goldfields Rural Land Capability Study</i> (Golder Associates, 2012)	C34cgol Clauses 2.03-1, 2.03-3, 2.03-4, 14.01-1L, 14.01-2L
<i>Central Goldfields Sustainability Action Plan 2012-2020</i> (Central Goldfields Shire Council, 2013)	C34cgol Clause 2.03-3
<i>Central Goldfields Tourism and Events Strategy</i> (Urban Enterprise, 2020)	C34cgol Clauses 2.01, 17.04-1L, 19.02-4L
<i>Central Goldfields Shire Walking and Cycling Strategy 2017-2026</i> (communityvibe, 2017)	C34cgol Clause 18.02-1L
<i>City of Maryborough Heritage Study</i> (D. Bick, C. Kellaway, P. Milner & J. Patrick, 1992)	C3 Clauses 2.03, 43.01s
<i>Code of Practice – Onsite Wastewater Management Publications 891.4</i> (Environment Protection Authority, 2016)	C34cgol Clauses 2.03-4, 42.01-Schedule 1
<i>Construction Techniques for Sediment Pollution Control Publication 275</i> (Environment Protection Authority, 1991)	C34cgol Clauses 2.03-4, 14.02-2L, 42.01-Schedule 1
<i>DNRE Selected Biodiversity Components - LGA Central Goldfields</i> (Department of Natural Resources and Environment)	C1 Clause 2.03
<i>Dunolly Flood Investigation</i> (Water Technology, 2014)	C31cgol

CENTRAL GOLDFIELDS PLANNING SCHEME

Name of background document	Amendment number - clause reference
<i>Grampians Central West Waste and Resource Recovery Implementation Plan 2017</i> (Grampians and Central West Waste and Resource Recovery Group, 2017)	C34cgol Clause 2.03-7
<i>Infrastructure Design Manual</i> (Local Government Infrastructure Design Association, 2020)	C34cgol Clause 2.03-9, 19.03-2L
<i>Maryborough - A Social History 1854-1904</i> (B Osborne and T Du Borg, 1985)	C3 Clause 2.03, 12.01-1L
<i>Maryborough Heritage Review Study Volume 1 & 2</i> (Extent Heritage, 2024)	C40cgol Clauses 2.03, 15.03-1L, 43.01s
<i>Maryborough Integrated Water Management Plan</i> (E2Designlab and RMCG, 2018)	C34cgol Clauses 2.03-9, 19.03-3L
<i>North Central Regional Catchment Strategy 2021-2027</i> (North Central Catchment Management Authority, 2021)	C34cgol Clauses 2.03-3, 12.01-1L, 42.01-Schedule 1
<i>North Central CMA Region Loddon River System Environment Water Management Plan</i> (North Central Catchment Management Authority, 2015)	C34cgol Clauses 02.03-4, 14.02-2L, 42.01 – Schedule 1
<i>Planning Permit Applications in Open Potable Water Supply Catchment Areas</i> (Department of Sustainability and Environment, 2012)	C34cgol Clauses 02.03-1, 14.02-2L, 42.01 – Schedule 1
<i>Recommended Separation Distances for Industrial Residual Air Emissions</i> (Publication 1518, Environment Protection Authority, 2012)	C34cgol Clauses 02.03-7, 11.01-1L, 14.01-2L, 17.01-1L
<i>Shire of Bet Bet Conservation Study</i> (C. McConville & Associates, 1987)	C3 Clauses 2.03, 43.01s
<i>Talbot & Clunes Conservation Study</i> (Richard Aitken, 1987)	C3 Clauses 2.03, 43.01s
<i>Tullaroop District Heritage Study - Stage One</i> (R. Ballinger & A. Ward, 1999)	C3 Clauses 2.03, 43.01s
<i>Upper Coliban Integrated Catchment Management Plan</i> (North Central Catchment Management Authority and Coliban Water, 2018)	C34cgol Clauses 02.03-4, 14.02-2L, 42.01-Schedule 1
<i>Urban Stormwater – Best Practice Environmental Management Guidelines</i> (Victorian Stormwater Committee, 1999)	C34cgol Clauses 02.03-4, 14.02-2L, 42.01-Schedule 1

CENTRAL GOLDFIELDS PLANNING SCHEME

31/07/2018
VC148

SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS

1.0

Background documents

07/12/2023 --/--/---
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<i>Agenda for Action - Nature Conservation in the Avoca-Loddon-Campaspe Region</i> (B Osborne, 1996)	C1 Clause 2.03
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<i>Central Goldfields Heritage Design Guidelines</i> (Extent Heritage, 2024)	C40cgol Clauses 2.03, 15.03-1L, 43.01s
<i>Central Goldfields Integrated Transport Strategy</i> (Movement & Place Consulting, 2020)	C34cgol Clauses 2.03-4, 2.03-7, 2.03-8, 18.01-1L
<i>Central Goldfields Population, Housing and Residential Strategy</i> (Spatial Economics, 2020)	C34cgol Clauses 2.01, 2.03-1, 2.03-3, 2.03-6, 11.01-1L, 11.03-6L
<i>Central Goldfields Recreation and Open Space Strategy</i> (Otium Planning Group, 2020)	C34cgol Clauses 2.03-5, 2.03-9, 19.02-4L, 19.02-6L
<i>Central Goldfields Rural Land Capability Study</i> (Golder Associates, 2012)	C34cgol Clauses 2.03-1, 2.03-3, 2.03-4, 14.01-1L, 14.01-2L
<i>Central Goldfields Sustainability Action Plan 2012-2020</i> (Central Goldfields Shire Council, 2013)	C34cgol Clause 2.03-3
<i>Central Goldfields Tourism and Events Strategy</i> (Urban Enterprise, 2020)	C34cgol Clauses 2.01, 17.04-1L, 19.02-4L
<i>Central Goldfields Shire Walking and Cycling Strategy 2017-2026</i> (communityvibe, 2017)	C34cgol Clause 18.02-1L
<i>City of Maryborough Heritage Study</i> (D. Bick, C. Kellaway, P. Milner & J. Patrick, 1992)	C3 Clauses 2.03, 43.01s
<i>Code of Practice – Onsite Wastewater Management Publications 891.4</i> (Environment Protection Authority, 2016)	C34cgol Clauses 2.03-4, 42.01-Schedule 1
<i>Construction Techniques for Sediment Pollution Control Publication 275</i> (Environment Protection Authority, 1991)	C34cgol Clauses 2.03-4, 14.02-2L, 42.01-Schedule 1
<i>DNRE Selected Biodiversity Components - LGA Central Goldfields</i> (Department of Natural Resources and Environment)	C1 Clause 2.03

CENTRAL GOLDFIELDS PLANNING SCHEME

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<i>Dunolly Flood Investigation</i> (Water Technology, 2014)	C31cgol
<i>Grampians Central West Waste and Resource Recovery Implementation Plan 2017</i> (Grampians and Central West Waste and Resource Recovery Group, 2017)	C34cgol Clause 2.03-7
<i>Infrastructure Design Manual</i> (Local Government Infrastructure Design Association, 2020)	C34cgol Clause 2.03-9, 19.03-2L
<i>Maryborough - A Social History 1854-1904</i> (B Osborne and T Du Borg, 1985)	C3 Clause 2.03, 12.01-1L
<i>Maryborough Heritage Review Study Volume 1 & 2 (Extent Heritage, 2024)</i>	C40cgol Clauses 2.03, 15.03-1L, 43.01s
<i>Maryborough Integrated Water Management Plan</i> (E2Designlab and RMCg, 2018)	C34cgol Clauses 2.03-9, 19.03-3L
<i>North Central Regional Catchment Strategy 2021-2027</i> (North Central Catchment Management Authority, 2021)	C34cgol Clauses 2.03-3, 12.01-1L, 42.01-Schedule 1
<i>North Central CMA Region Loddon River System Environment Water Management Plan</i> (North Central Catchment Management Authority, 2015)	C34cgol Clauses 02.03-4, 14.02-2L, 42.01 – Schedule 1
<i>Planning Permit Applications in Open Potable Water Supply Catchment Areas</i> (Department of Sustainability and Environment, 2012)	C34cgol Clauses 02.03-1, 14.02-2L, 42.01 – Schedule 1
<i>Recommended Separation Distances for Industrial Residual Air Emissions</i> (Publication 1518, Environment Protection Authority, 2012)	C34cgol Clauses 02.03-7, 11.01-1L, 14.01-2L, 17.01-1L
<i>Shire of Bet Bet Conservation Study</i> (C. McConville & Associates, 1987)	C3 Clauses 2.03, 43.01s
<i>Talbot & Clunes Conservation Study</i> (Richard Aitken, 1987)	C3 Clauses 2.03, 43.01s
<i>Tullaroop District Heritage Study - Stage One</i> (R. Ballinger & A. Ward, 1999)	C3 Clauses 2.03, 43.01s
<i>Upper Coliban Integrated Catchment Management Plan</i> (North Central Catchment Management Authority and Coliban Water, 2018)	C34cgol Clauses 02.03-4, 14.02-2L, 42.01-Schedule 1
<i>Urban Stormwater – Best Practice Environmental Management Guidelines</i> (Victorian Stormwater Committee, 1999)	C34cgol Clauses 02.03-4, 14.02-2L, 42.01-Schedule 1

10/09/2020
C32cgoi

SCHEDULE TO CLAUSE 74.02 FURTHER STRATEGIC WORK

1.0

Proposed C40cgoi

Further strategic work

- Undertake a settlement strategy to review and define township boundaries, review residential zones and investigate the provision of the Low Density Residential Zone near Maryborough and Carisbrook.
- Develop a strategy for encouraging greater urban consolidation and housing diversity while also protecting the amenity and character of Maryborough.
- Prepare a land use framework plan for Maryborough, Carisbrook and Flagstaff that adequately considers bushfire risk to provide guidelines for residential and industrial land development.
- Prepare township level bushfire assessment reports for Maryborough, Carisbrook and Talbot.
- Investigate the preparation of development contributions plans for new growth areas.
- Undertake a rural land strategy to review the application of rural zones and overlays to address the issues of agricultural needs, appropriate locations for rural industries (including intensive animal industries), conservation values and residential uses in rural areas.
- Develop a plan for central Maryborough in response to recommendations of the Maryborough Retail Recovery Program and the Population, Housing and Residential Strategy.
- Review the extent of the Erosion Management Overlay, the Vegetation Protection Overlay and the Salinity Management Overlay and the controls within them.
- Investigate the application of the Environmental Audit Overlay to closed landfills in the Shire with the Department of Energy, Environment and Climate Action (DEECA).
- Investigate the use of a local policy to encourage the provision of renewable energy and mechanisms to support green building design.
- Review areas of significant biodiversity value within the Shire and investigate how the local planning provisions, zones and overlays provide for their protection.
- Prepare and implement heritage studies across Central Goldfields Shire to ensure historic heritage places are identified, assessed and protected based on the recommendations from the *Central Goldfields Shire Heritage Review (2005)* and further investigation sites identified in the *Maryborough Heritage Review Study (2024)*.

CENTRAL GOLDFIELDS PLANNING SCHEME

10/09/2020
C32cgoi

SCHEDULE TO CLAUSE 74.02 FURTHER STRATEGIC WORK

1.0

07/12/2023 - 11/11/2023
C34cgoi Proposed C40cgoi

Further strategic work

- Undertake a settlement strategy to review and define township boundaries, review residential zones and investigate the provision of the Low Density Residential Zone near Maryborough and Carisbrook.
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- Prepare township level bushfire assessment reports for Maryborough, Carisbrook and Talbot.
- Investigate the preparation of development contributions plans for new growth areas.
- Undertake a rural land strategy to review the application of rural zones and overlays to address the issues of agricultural needs, appropriate locations for rural industries (including intensive animal industries), conservation values and residential uses in rural areas.
- Develop a plan for central Maryborough in response to recommendations of the Maryborough Retail Recovery Program and the Population, Housing and Residential Strategy.
- ~~▪ Review existing heritage studies, develop a program to address gaps in implementation and investigate the use of a heritage incorporated plan for the HO206 area in Maryborough.~~
- Review the extent of the Erosion Management Overlay, the Vegetation Protection Overlay and the Salinity Management Overlay and the controls within them.
- Investigate the application of the Environmental Audit Overlay to closed landfills in the Shire with the Department of Energy, Environment and Climate Action (DEECA).
- Investigate the use of a local policy to encourage the provision of renewable energy and mechanisms to support green building design.
- Review areas of significant biodiversity value within the Shire and investigate how the local planning provisions, zones and overlays provide for their protection.
- Prepare and implement heritage studies across Central Goldfields Shire to ensure historic heritage places are identified, assessed and protected based on the recommendations from the Central Goldfields Shire Heritage Review (2005) and further investigation sites identified in the Maryborough Heritage Review Study (2024).

EXTENT



CENTRAL GOLDFIELDS SHIRE

HERITAGE DESIGN GUIDELINES

Prepared for Central Goldfields Shire

November 2023 — Final Draft



SYDNEY

MELBOURNE

BRISBANE

HOBART

**PEOPLE
CENTRED
HERITAGE**



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1. INTRODUCTION

1.1. About the Guidelines

Purpose

The Heritage Design Guidelines (Guidelines) aim to guide the development and management of Central Goldfields Shire (Council) heritage places to ensure that the town's valued heritage is appropriately conserved. The purpose of the Guidelines is to provide both Council and property owners/occupiers with clear guidance for decision making in relation to the conservation and development of heritage places included in the Heritage Overlay of the Central Goldfields Shire Planning Scheme. The intention of these Guidelines is not to provide a solution for every individual design proposal that may arise but to establish overarching guiding principles that can be used with the aim to obtain good heritage design outcomes.

The Guidelines follow the philosophy, principles and processes set out in *the Burra Charter, the Australia ICOMOS Charter for Places of Cultural Significance 2013* (Burra Charter).

Why the guidelines are needed

Heritage places across Central Goldfields Shire are highly valued by Council and the community for providing a meaningful link to the past and for enhancing the current built environment. These places not only make an important contribution to the Shire's heritage landscape but are also central to the town's unique goldfields character and distinct cultural identity.

Heritage places encompass individual heritage places, heritage precincts or heritage group listings, and include residential and non-residential places, parks and gardens, trees, and infrastructure. The aim is not to prevent change to these places, but rather to facilitate change that does not diminish their cultural significance over time.

1.2. How to use the guidelines

Scope

The Guidelines apply to all heritage properties included in Central Goldfield's Shire Schedule to the Heritage Overlay, under the provisions of Clause 43.01 Heritage Overlay.

The Guidelines have been prepared to support interpretation of the heritage policies within Central Goldfield Shire Planning Scheme. The heritage policies are as follows:

- Clause 15.03-1S Heritage conservation



How they are structured

The Guidelines are structured around the following themes, each of which contains approaches and techniques for significant, contributory, and non-contributory heritage places (where relevant), that will support the conservation of heritage places:

- Conservation works
- Demolition and relocation
- Additions and alterations
- New buildings
- Services
- Trees, gardens and landscape
- Fences and gates
- Vehicle accommodation
- Signage
- Subdivision
- Public realm

In using these Guidelines, select the themes that are relevant to the heritage place and proposed development in question. In most instances, more than one theme will apply to the proposed works. The Guidelines are not exhaustive, and it may be the case that other approaches not outlined in this document are appropriate. Definitions of terminology used in these Guidelines is included in the Glossary at the end of this document.

2. CONSERVATION WORKS

Conservation works are essential to conserving heritage places and ensuring their long-term survival. It can include returning the fabric of a heritage place to a known earlier state by removing non-original additions, repairing, or restoring existing original features without the introduction of new material, or the introduction of new materials sympathetically.



Figure 1. Intact residence at 7 Park Road, Maryborough. *Source:* Extent Heritage.

2.1. Key issues

Conservation of original external features is essential to maintaining the significance of the heritage places and precincts. Restoration, reconstruction, repairs, and maintenance are important to conserve the appearance and significance of these features.

Inappropriate conservation works may affect the significance of a heritage place, including:

- Historically inaccurate detailing or external paint schemes.
- Use of inappropriate and/or incompatible materials and methods.
- Painting of previously unpainted surfaces.
- Restoring features without reference to archival materials or existing elements.

2.2. Design guidelines

Conservation and Restoration

Retain, conserve and restore:

- All significant building fabric.
- Contributory elements including ancillary outbuildings, fences, gates, and gardens.
- Facade elements including original openings, decorative elements and joinery to doors and windows.
- Original or early shopfronts.

Works should:

- Retain and restore existing significant and contributory fabric or replace on a like for like basis as a last resort option (for example, if the fabric is beyond repair).
- Not reproduce period detailing to shopfronts or facades unless it aims to restore the building to a known original state.
- Be based on physical evidence, such as remnant fabric, or documentary evidence, such as plans and photographs. If there is not enough evidence for an accurate reconstruction, then a simplified design appropriate for the style and era of the building should be used.
- Avoid adding decorative features that never existed.

Repairs and Maintenance

Works should:

- Match the material, colour, texture, composition, and pattern of the original.
- Prioritise the repair and maintenance of the existing fabric, rather than complete replacement wherever possible.
- Avoid techniques such as sandblasting that could damage heritage features, details, materials or finishes.
- Carry out test works on small areas prior to proceeding with a full scale of conservation work.

Colours and finishes

Works should:

- Retain unpainted brick, masonry, render or roughcast surfaces unpainted.
- Remove paint from surfaces which were not originally intended to be painted through an appropriate method.
- Be in keeping with the character of the heritage place and heritage precinct more broadly (if relevant).
- Replicate original colour schemes, where known (for example, based on archival research or paint investigation undertaken by a suitably qualified specialist).
- Use traditional colour schemes typical of the building period where the original scheme is not known.

Encourage like for like replacement when original fabric is unable to be repaired, for example, preference the use of traditional galvanised iron roof sheets over contemporary products such as Zinalume or

Colorbond.



Figure 2. Intact shopfront at 79 Nolan Street, Maryborough. Source: Extent Heritage.



Figure 3. Intact shopfront at Dunolly. Source: Trove.

3. DEMOLITION AND RELOCATION

Retaining heritage places, and parts of heritage places, is important to sustaining the valued heritage character of Central Goldfields Shire.

3.1. Key issues

- Loss of heritage buildings, or removal of significant building fabric, undermines the heritage values of Central Goldfields Shire.
- Demolition of the front or principal part of heritage places (including facade, roof and side walls) severely degrades the significance of a heritage place. This can result in 'facadism' where only the very front most parts of the heritage place are maintained but the integrity and massing of the place is lost either through demolition or intrusive additions.
- Incremental loss of heritage buildings and contributory fabric within a precinct have a broader cumulative impact on the integrity of a precinct over time.
- Relocation of a heritage place or element from its original physical location can impact its cultural heritage significance.

3.2. Design guidelines

Significant Places

Full demolition is strongly discouraged.

Demolition of parts of buildings is discouraged, unless all of the following apply:

- Significant building fabric and other elements, such as gardens, outbuildings

and fences, identified in the Statement of Significance, are retained.

- The front or principal part of the building is retained.
- It can be proven that the works are required to ensure the long-term conservation of the place.

The poor structural or aesthetic condition of a heritage place should not in itself be a reason for permitting demolition of a significant heritage place or part thereof. Further, poor condition needs to be substantiated by structural evidence to justify that repair/restoration of existing elements is not possible.

Contributory Places

Full demolition of contributory places is discouraged.

Partial demolition of contributory places may be appropriate in more limited circumstances including:

- The demolition will not adversely affect the established significance of the place and heritage precinct more broadly (if relevant).
- The replacement built form is sympathetic to the scale, setbacks and general heritage significance of the place and heritage precinct more broadly (if relevant).

The poor structural or aesthetic condition of a heritage place should not in itself, be a reason for permitting demolition of a contributory heritage place or part thereof.

Non-contributory Places

Full and partial demolition of non-contributory places is supported.



Where full demolition is proposed, the application should be accompanied by a proposed replacement building which responds to the built form, detailing, materials, building envelope and settings of the broader precinct.

Building Relocation

Relocation of a heritage building, work or element is generally unacceptable, unless this is the sole practical means of ensuring the survival of that heritage place.

Some buildings, works or other elements of places were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other elements do not have significant links with their present location, removal may be appropriate.

If any building, work or other element is moved, it should be moved to an appropriate location and given an appropriate use.

4. ALTERATIONS AND ADDITIONS

Central Goldfield's heritage places have been altered over time in response to changing uses, needs and architectural trends.

Alterations and additions should preserve fabric that contributes to the significance of a heritage place. It is important to ensure that any changes respect and do not detract from the assessed significance of a heritage place.

4.1. Key issues

- Unsympathetic alterations and additions that obscure, remove, or detract from significant building fabric are likely to undermine the heritage values of Central Goldfields Shire.
- Obtrusive scale, mass, height and visual dominance of new additions.
- Unsympathetic design details, including inappropriate selection of materials, colours, textures and finishes.
- Imitation or replica heritage styles, creating a false impression of the provenance of the new work.

4.2. Design guidelines

Significant Places

Alterations and additions to significant places should be respectful of the heritage fabric and setting of the heritage place.

They should:

- Not alter, conceal, or remove significant fabric or features, regardless of whether they are visible from the public realm.

- Assist in the long-term conservation of the place.
- Retain external and internal (where applicable) openings, forms, detailing and fabric where they contribute to the assessed significance of the place.
- Be undertaken using appropriate materials, colours, textures and finishes that are sympathetic to significant fabric and complement colour schemes and materiality associated with existing walls, windows and roofs.
- Remove later (non-original) alterations or additions.
- Incorporate design details that honestly admit their modernity while relating to the heritage character of their surroundings.
- Be located and massed in a manner that does not detract from or dominate significant fabric of the heritage place (through siting and massing). This should be achieved utilising a combination of setbacks, heights and physical separation as appropriate.
- Be located to the rear of the heritage place, where possible.

Contributory Places

Alterations and additions to contributory heritage places are permitted, particularly if they are not visible from the public realm.

They should:

- Where possible, be concealed from view of the street frontage (Figure 4).
- Not obscure or overwhelm the façade, original massing, height, contributory form and/or scale.
- Be undertaken using appropriate materials, colours, textures and finishes that are sympathetic to contributory

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fabric and complement existing colours on walls, windows and roofs.

- Use modern materials which are discernible from the existing building fabric without providing a strong visual contrast.
- Discourage new openings in the principal façade.
- Retain external fabric that can be viewed from the public realm.
- Maintain consistency of side setbacks when viewed from the public realm, especially where this is a character element of a broader precinct.
- Not reproduce period detailing unless there is evidence that they were originally present.
- Remove later (non-original) alterations or additions.

the broader heritage setting and character of the place.

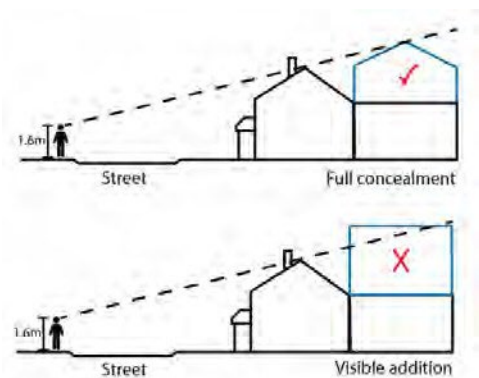


Figure 4. Assessing the visual dominance of a rear addition from a height of 1.6m.

Non-contributory Places

Alterations and additions to non-contributory buildings within a precinct are permissible as they do not contribute meaningfully to the cultural heritage significance of the precinct. However, it is still important to ensure that such alterations and additions do not visually dominate the precinct and are sensitive to

5. NEW BUILDINGS

New buildings within a heritage precinct should be sensitive towards the key attributes that contribute to a precinct's heritage significance. This approach can help ensure that new buildings provide for modern demands and standards while simultaneously respecting the broader heritage character and setting.

5.1. Key issues

- Building scale and form that is not reflective of the predominant scale and form of the heritage properties in the precinct.
- Materials and finishes that are visually obtrusive and do not complement the key characteristics of the precinct.
- Larger scale dwellings including greater site coverage, reduced setbacks and building spacing.
- Inappropriate location and design of carports, garages and parking (see also Section 9 for vehicle accommodation).
- Imitation or replica heritage style buildings, creating a false impression of the provenance of the new work.

5.2. Design guidelines

All areas

In heritage streetscapes, new buildings should broadly reflect the following characteristics of Significant and Contributory places:

- Height, form and massing;
- Front and side setbacks;
- Siting and orientation;
- Window and door openings;

- Details, colours, materials and finishes; and
- Fence height and form (see also Section 8); and
- Landscaping (see also Section 7).

New buildings should not visually dominate or overwhelm a heritage precinct. They should interpret heritage attributes in contemporary manner. Mock, or imitation period detailing should be avoided.

Residential infill

In residential streetscapes, new buildings should:

- Not exceed the maximum height of buildings on adjoining lots, but may incorporate upper storey addition/s at the rear if visually recessive and does not dominate the streetscape.
- Respect the building proportions, wall height, roof and verandah forms, where applicable.
- Ensure that front and side setbacks match the setbacks of adjoining buildings (Figure 5)
- Present minimal bulk from oblique viewpoints from the footpath on the opposite side of the street/s.
- Provide a sympathetic transition between adjoining buildings.
- Interpret the key contributory features of neighbouring places.

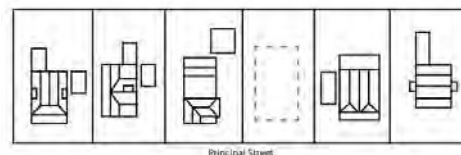


Figure 5. An example of a consistent front setback within a heritage context.

Commercial/retail infill

New buildings in commercial areas should:

- Not exceed the street wall height of heritage buildings on adjoining lots, but may incorporate a higher section at the rear if it is visually recessive and does not visually dominate the streetscape.
- Respect the building proportions, setbacks, street wall and parapet heights, roof and verandah forms, entry proportions, openings and framings (Figure 6).
- Ensure that front and side setbacks match the setbacks of adjoining buildings.
- Setback upper floor levels within a concealment envelope so as to present minimal bulk from oblique view points from the footpath on the opposite side of the street/s or laneways.
- Incorporate an angled splay on street corners where these are present on adjacent or opposite corners.
- Not obscure or overshadow prominent views, settings and terminating vistas.

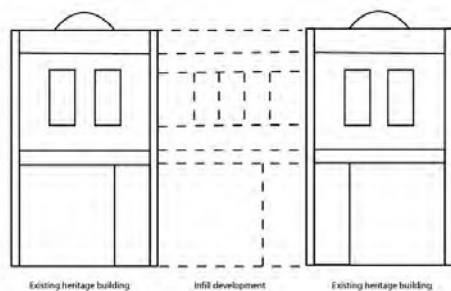


Figure 6. Commercial infill development between heritage buildings at street level.

6. SERVICES

Heritage places were not originally designed to include ancillary services and equipment such as solar energy systems, rainwater tanks, air conditioning units, hot water systems, EV charging stations and satellite dishes found in contemporary buildings.

Some of these ancillary services, such as solar energy systems and rainwater tanks, improve the environmental sustainability of a building and are therefore encouraged. However, their visual impact should be mitigated through a considered approach in the choice of scale, placement and design.

6.1. Key issues

- The scale and placement of ancillary services can have a visual impact on heritage values of a place or precinct.
- The placement of ancillary services can have a physical impact on heritage fabric.

6.2. Design guidelines

Design and placement of ancillary services and equipment

Ancillary services and equipment should:

- Be concealed from the principal façade of a heritage place as viewed from the public realm.
- Be integrated or incorporated into the building design of external additions and new buildings, preferably located to the rear of the heritage place where possible.
- Be installed in a manner where they can be removed without damaging significant fabric.

- Align with the profile of the roof, particularly in the case of roof fixtures.
- Locate solar energy systems away from the primary visible roof form as viewed from the public realm.
- Locate EV charging stations to side walls where possible, setback at least 1 metre from the principal façade.

Ancillary services and equipment, particularly those that will reduce greenhouse gas emissions or water consumption, may be permitted on visible parts of significant or contributory buildings where it can be demonstrated that there is no feasible alternative.

Environmental Performance Upgrades

Encourage the enhancement of the environmental performance of buildings whilst also minimising impacts on the heritage significance of a place and its contributory elements.

Ensure that the installation of solar energy systems does not:

- Dominate or adversely impact upon the heritage values of a place or precinct.
- Diminish the prominence of contributory elements of a place.
- Damage original fabric of a heritage place.

Disabled access

Disabled access should:

- Be lightweight, non-permanent (e.g. portable) construction that does not adversely affect heritage fabric or settings.
- Utilise modern materials that are discernible from original heritage fabric without providing a strong visual contrast.

7. TREES, GARDENS AND LANDSCAPE

Historic trees, gardens and landscaping were generally designed to complement the architectural design and setting of heritage buildings. Built elements such as garages, carports, entrances to basement car parks and areas of hard stand were not typically located within front gardens.



Figure 7. Mature trees and plantings in the front set back of 19 Park Road, Maryborough. *Source:* Extent Heritage.

7.1. Key issues

- Removal of gardens, trees and landscaping which contribute to the heritage significance of a place.
- Removal or alteration to significant landscape design elements such as garden beds and paths.
- Poor ratio between soft and hard landscaping.

7.2. Design guidelines

Restoration of significant gardens and landscaping

Significant heritage gardens and landscaping should be:



- Restored to original designs with regards to plant species and landscape treatment appropriate to the era of development.
- Restoration works should be based on historical documentation such as early drawings, plans, photographs or physical evidence found on site.

Gardens, trees and landscaping

Works should:

- Retain trees listed as having tree controls in the Schedule to the Heritage Overlay.
- Retain original or early landscaping elements, including:
 - trees and gardens which are significant or contributory to a heritage place; and
 - pathways and driveways, garden border tiles or edging, fencing and walls.
- Tree or landscaping replacement should be like for like with regards to species and materials, unless an alternative planting strategy or landscape plan has been approved by Council.
- Ensure that new development is located at a distance that does not adversely damage the health of any contributory or significant graded tree.

Front setback areas

Front setback areas should:

- Retain gardens, trees and landscaped areas and be free from built form such as swimming pools, vehicle parking, large hard stand or paved areas, tennis courts and other permanent recreational structures.

8. FENCES AND GATES

Residential heritage areas in Central Goldfield Shire often feature low brick, timber or iron front and side fences and gates that complement the architectural style of the dwelling. Original, early and/or sympathetic fences and gates are contributory features that enhance the significance of a heritage place and precinct.



Figure 8. Original brick front boundary fence at 21 Barkly Street, Maryborough. *Source:* Extent Heritage.



Figure 9. Brick front boundary fence in keeping with the design of the building, at 35 Barkly Street Maryborough. *Source:* Extent Heritage.

8.1. Key issues

- Removal of fences and gates which contribute to the significance of a place.

- Addition of new fences and gates that do not complement the architectural character of a heritage place or precinct.
- High and impermeable fences that obscure heritage places.
- Lack of consistency in fencing scale, siting and materials.

8.2. Design guidelines

Restoration of original fences and gates

Original fences and gates should be conserved. Works should:

- Restore original fences and gates. If only part of a fence or gate survives, the original elements should be retained and incorporated into a new fence or gate of the same form.

New fences and gates (significant and contributory places)

New fences and gates at a contributory or significant graded heritage place should be sympathetic with the historic streetscape character. Works should:

- Reconstruct fences and gates using plans and details of the original structure where possible.
- Replace or construct new front and side fences and gates consistent within the architectural style of the heritage building, and the height, form, setback and materials of original fencing of heritage places in the immediate environs, without necessarily reproducing their detail.
- Avoid new openings in front fences that impact the character of the heritage place.

New fences and gates (non-contributory places)

New fences and gates at non-contributory places should:

- Be of a fence height that is complementary to fences at neighbouring contributory or significant places within the streetscape.

Painting fences

Unpainted fences should remain unpainted. However, it is permissible to paint a painted contributory fence in a colour scheme that is in keeping with the heritage place.



Figure 10. Contemporary fence sympathetic to its heritage context at 17 Peel Street, Maryborough.

Source: Extent Heritage.

9. VEHICLE ACCOMMODATION

Vehicle access to residential dwellings in heritage areas was typically not provided due to the era of development. However in many cases, vehicle access in the form of crossovers was subsequently established from the mid twentieth century onwards following the advent of the motor vehicle.

9.1. Key issues

- Widening existing crossovers that would require altering a fence, impacting an established tree, or removing original plantings that contribute to the significance or setting of a heritage place.
- Vehicle crossovers may be damaged during building works.
- Siting new on-site vehicle parking within front setbacks that obstructs views to a heritage place and requires construction of large areas of paving/hard surfaces.

9.2. Design guidelines

All areas

Development relating to vehicle access and accommodation should:

- Avoid more than two crossovers to a single site.
- Avoiding widening existing crossovers.
- Avoid crossover works that require the alteration or removal of a feature that contributes to the significance of a heritage place, such as a fence or tree.
- Works to existing crossovers should match the materials of heritage streetscape elements.

- Repair any damage to vehicle crossings caused during construction using like for like materials.

Residential areas

Vehicle accommodation and access in residential areas should:

- Utilise existing crossovers to the side or rear of the dwelling.
- Discourage new on-site parking, garages, carports and vehicle crossovers unless:
 - Car parking is located to the rear of the property, where this is an established characteristic.
 - Any garage or carport is located to the rear or side of the principal part of the building and is visually recessive, does not obscure contributory heritage fabric and is respectful of the form, details and materials of the heritage place.
- Locate ramps to basement or sub-basement car parking to the rear of the property, or to a side street where they do not visually disrupt the setting of the significant or contributory building or impact the streetscape character.
- Avoid the construction of large areas of paving or other hard surfaces in the front setback where this is not responsible to the heritage place.

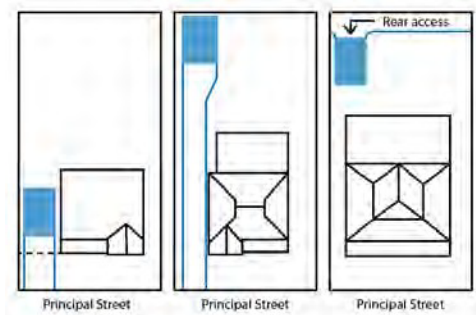


Figure 11. Potential locations for garages and carports.



Commercial areas

Vehicle access in commercial areas should:

- Be located at the rear of the heritage place except where evidence shows the historic location for vehicle access was at the front of the heritage place.
- Not affect significant or contributory building fabric on the building facade.

10. SIGNAGE

Across Central Goldfields Shire, signage in commercial areas were often painted on brick or wood directly on the building fascia or on panels above or below verandahs.



Figure 12. c. 1906 view of commercial signage along High Street, Maryborough. *Source:* State Library of Victoria.

10.1. Key issues

- Few heritage signs, which were typically painted on brick face, remain extant due to changing commercial uses.
- Obscured or altered signage.
- The scale, number and location of non-complementary contemporary signs that obscure building architecture.

10.2. Design guidelines

Heritage signage

Heritage signs should:

- Be retained and restored.
- Not be obscured, covered or painted over.

Type, location and scale of signage

New commercial signage should:

- Be simple in design and minimise visual clutter.
- Be modest in scale and not overwhelm the façade of a heritage place. Sky signs, spot lit signs, animated screens, large freestanding and billboard signs are discouraged.
- Not conceal architectural features or details which contribute to the significance of a heritage place.
- Complement the architectural style, materials and colour scheme of a heritage place and any significant fabric.
- Be positioned in locations where they are traditionally placed, including building fascia's and on panels above or below verandahs. Be easily removed without damaging significant fabric.
- New signs should not be internally illuminated unless this is a characteristic of the heritage place. External lighting should be limited to be consistent with the character of the precinct.
- Discourage painting in corporate colours, painting over and covering windows and the loss of contrast that provides for articulation of heritage features.

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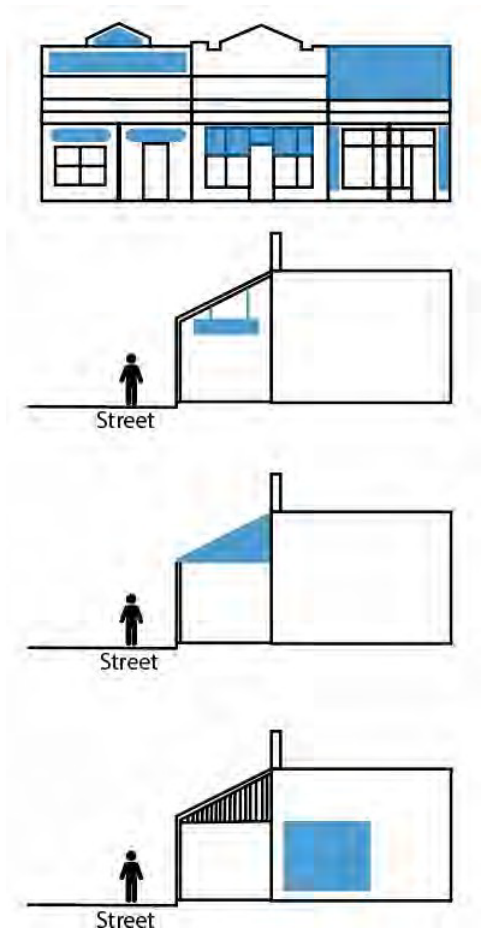


Figure 13. Potential locations of signage on heritage shopfronts.



Figure 14. View of J.W. Washington General Store, Dunolly, c. 1910. *Source:* Australian National University.



Figure 15. View of Talbot Drug Store, Castlemaine c.1858-1863. *Source:* State Library Victoria.

11. SUBDIVISION

Original subdivision and allotments often contribute to the rhythm and character of streetscapes and can provide insight into early patterns of development. In Maryborough, subdivision patterns typically date back to the mid to late nineteenth century.

11.1. Key issues

- Subdivision can result in the loss of historical development patterns.
- Subdivision can disrupt the streetscape rhythm and hinder the visual consistency of a streetscape.
- Subdivision can result in development that visually disrupts the setting and impact on the presentation of significant and contributory buildings.
- Subdivision can result in the loss of significant gardens and trees.

11.2. Design guidelines

Residential

Subdivision patterns in residential areas typically comprise generously sized rectangular lots with consistent dimensions.

Subdivision in residential areas should:

- Reflect the pattern of development in a street or precinct.
- Retain original road layouts.
- Maintain broader settings and contexts for significant and contributory heritage places, including the retention of original gardens, trees and/or other features that have been identified as contributing to the significance of a place.

- Not provide for future development that obscures views to major elevations of a heritage place or creates 'orphan' heritage places that lack an appropriate curtilage

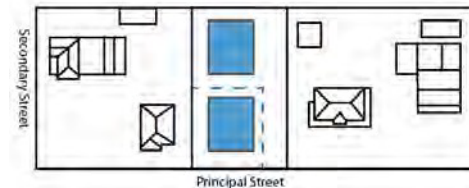


Figure 16. Sympathetic subdivision of residential allotment in a heritage context.

Commercial areas

Subdivision in commercial areas in Maryborough dates back to the original 1855 town survey and the subsequent 1858 alignment of shop fronts. They are typical of nineteenth century commercial streetscapes and comprise modestly sized rectangular lots with consistent dimensions.

Subdivision in commercial areas should:

- Reflect the pattern of development in a street or precinct.
- Retain original road layouts.
- Maintain settings and contexts for significant and contributory heritage places.
- Not provide for future development that may obscure views to major elevations of a heritage place or impact on significant views and settings.
- Ensure that subdivision provides for three-dimensional building envelopes for future built forms.

Civic Square Precinct, Maryborough

The Civic Square Precinct is particularly noted for its distinct municipal character created by its generous and wide, open allotments.

Subdivision in this area should:

- Retain places with multiple elements as a single lot.
- Reflect the pattern of development in the surrounding street.
- Retain original road layouts.
- Maintain settings and contexts for significant and contributory heritage places.



Figure 17. Civic Square Precinct, Maryborough.
Source: Extent Heritage.

12. PUBLIC REALM

In Central Goldfields Shire, significant or contributory elements of the public realm (the spaces between private properties) may include nature strips, mature trees, monuments and/or street furniture such as bollards and drinking fountains. The majority of original masonry kerbing and guttering has since been lost.



Figure 18. c.1930s view of the memorial drinking fountain at the Civic Square, Maryborough. *Source:* State Library of Victoria.



Figure 19. Figure 20. 2023 view of Civic Square, Maryborough. *Source:* Extent Heritage.

Public realm in Dunolly or Talbot etc

12.1. Key issues

- Loss of heritage fabric in the public realm due to loss of relevance of purpose.

- New elements within the public realm, such as contemporary services and street furniture, may adversely impact the character of significant or contributory places and/or views and vistas to significant or contributory places.

12.2. Design guidelines

Street furniture

Existing street furniture that has been identified as significant or contributory should:

- Be retained or conserved.
- Be re-instated if removed for works.

New street infrastructure should:

- Not obscure heritage places or views to significant or contributory places and contributory elements.
- Respect, but not copy the original materials, finishes and details of significant or contributory street furniture.
- Ensure that the original layout, sitting, setting or details of significant or contributory street furniture is retained or remains evident.

Contemporary Services

The installation of contemporary services (e.g. EV charging/parking bays, CTV poles, smart bins) should be located as not to:

- Obscure heritage places or views to significant or contributory places and contributory elements.

Universal access

Universal access should:

- Be lightweight, non-permanent (e.g. portable) construction that does not adversely affect heritage fabric.

EXTENT



- Be sensitively located to avoid obscuring key view lines or impact areas of open landscape setting.
- Utilise modern materials that are discernible from original heritage fabric without providing a strong visual contrast.

13. FURTHER INFORMATION

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14. DEFINITIONS

14.1. Burra Charter

The following definitions have been adapted from the Burra Charter, the *Australia ICOMOS Charter for Places of Cultural Significance 2013* (Burra Charter)

Adaptation: modifying a place to suit the existing use or a proposed use.

Associations: the special connections that exist between people and a place.

Conservation: all the processes of looking after a place so as to retain its cultural significance.

Cultural significance: aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Fabric: all the physical material of the place including components, fixtures, contents and objects.

Interpretation: all the way of presenting the cultural significance of a place.

Maintenance: the continuous protective care of the fabric and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Place: site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Preservation: maintaining the fabric of a place in its existing state and retarding deterioration.

Reconstruction: returning a place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric.

Restoration: returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Setting: the area around a place, which may include the visual catchment, that is part of or contributes to its significance

Use: means the functions of a place, as well as the activities and practices that may occur at that place.

14.2. Other definitions

Alteration: to modify the fabric of a heritage place, without undertaking building works such as an addition.

Building Form: the shape and configuration of a heritage place or infill development, including for example height and massing (as defined under 'massing'), depth and setback (as defined under 'setback').

Context: the context of a heritage place can include: its setting (as defined under 'setting'), the immediate landholding, adjoining significant or contributory places, and the surrounding area.

Contributory heritage place: a contributory heritage place is important for its contribution to a heritage precinct. It is of historical, aesthetic, scientific, social and/or spiritual significance to the heritage precinct. Contributory places are typically externally intact but may have visible changes which do



not detract from the contribution to the heritage precinct.

Fabric: all the physical material of the heritage place.

Front or principal part of a building: This is generally considered to be front two rooms in depth, complete within the structure and cladding to the roof; or part of the building associated with the primary roof form, whichever is greater. For corner sites, the front or principal part of a building includes the side street elevation.

Heritage place: is a place that has identified heritage value and could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land.

Massing: the arrangement of a heritage building or infill development's bulk and its articulation into parts.

Non-contributory heritage place: A non-contributory place does not make a contribution to the cultural significance or historic character of the heritage precinct.

Orientation: how a heritage building or infill development is positioned according to its surroundings.

Setback (front, side or rear): the distance that infill development or a specific portion of it (e.g., an upper storey) must be set back from the property boundary, street line or neighbouring property.

Significant heritage place: a significant heritage place is individually important at the local level, and a heritage place in its own

right. It is of historical, aesthetic, scientific, social or spiritual significance to the municipality. Significant places are typically externally intact, ; and/or has notable features associated with the place type, use, period, method of construction, siting or setting. When located in a heritage precinct a significant heritage place can make an important contribution to the precinct.

Siting: The placement and orientation (as defined under 'orientation') of a heritage building or infill development.

Three-Dimensional Building Envelope: building envelopes set the parameters of a building on a lot and demonstrate the relationship with buildings on adjoining lots. Three-dimensional envelopes demonstrate the preferred heights of the building and associated elements.

EXTENT



MARYBOROUGH HERITAGE REVIEW

VOLUME 1: FINDINGS AND RECOMMENDATIONS

Prepared for Central Goldfields Shire Council

January 2024



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EXECUTIVE SUMMARY

Project Overview

Extent Heritage Pty Ltd ('Extent Heritage') was commissioned by the Department of Environment, Land, Water and Planning ('DELWP') (now Department of Transport and Planning, 'DTP') to prepare a Heritage Review of the HO206 Maryborough Heritage Area ('Heritage Review') on behalf of the Central Goldfields Shire ('the Council'). The Heritage Review is split into two parts; a review of all places within HO206, with a particular focus on the eight new precincts recommended in a 2005 Review previously prepared by Rowe and Jacobs, and the preparation of new statements of significance, citations and supporting documentation for heritage places identified within HO206.

The first component of the Heritage Review involved the preparation of a Stage 1 Review and Recommendations Report outlining proposed heritage places within the HO206 study area. The second component of the Heritage Review involved the preparation of new statements of significance and citations for proposed heritage places within the HO206 study area, as well as the preparation of heritage design guidelines and permit exemptions to inform decision making by Council's statutory team.

Volume 1 of this report provides an explanation of the key findings and recommendations of the Heritage Review, as well as the approach and methodology used in its preparation. Volume 2 of this report provides a copy of all the citations prepared for this study. Volume 3 includes the design guidelines and permit exemptions.

Key Findings and recommendations

Stage 1 – Review of HO206 Maryborough Heritage Area and 2005 findings

The following key changes have been recommended to the HO206 study area:

- The findings of the 2005 Review are generally supported, and the division of HO206 into eight (8) smaller precincts for inclusion in the Heritage Overlay will improve the management of Maryborough's heritage.
- Places that do not fit neatly within the eight (8) recommended precincts but warrant heritage protection should be captured under the Heritage Overlay as additional precincts, individual places or group listings.

Maryborough Stage 2 – Citations and supporting documentation

Citations were prepared for the following number of heritage places that are proposed for inclusion on the Heritage Overlay:

- Eight (8) precincts;
- Two (2) group/serial listings; and

- Eight (8) individual places.

The following supporting documentation was prepared:

- Central Goldfields: Heritage Design Guidelines
- Maryborough Heritage Overlay Exemptions

1. INTRODUCTION

1.1. Project brief

Extent Heritage Pty Ltd ('Extent Heritage') was commissioned by the Department of Environment, Land, Water and Planning ('DELWP') (now Department of Transport and Planning, 'DTP') to prepare a Heritage Review of the HO206 Maryborough Heritage Area ('Heritage Review') on behalf of the Central Goldfields Shire ('the Council').

The current extent of the HO206 Maryborough Heritage Area ('the study area') is the result of the amalgam of eleven (11) precinct areas identified and documented in the 1992 Maryborough Heritage Study (Bick, Kellaway, Milner & Patrick, 1992). HO206 was incorporated into the new format planning scheme in 1999 and has not been updated since its inclusion. A 2005 review of heritage provisions in the shire, Central Goldfields Heritage Review: Stage 1 (Rowe & Jacobs, 2005) ('the 2005 Review') examined the extent of HO206 and noted that not all properties located within the precinct may warrant heritage protection or meet the HERCON significance criteria. This 2005 Review recommended that Council undertake a detailed assessment of HO206 to determine how the Heritage Overlay (HO) should be refined (or removed) and recommended the introduction of eight (8) new precincts to better reflect and protect the heritage significance of these distinct character areas.

The 2005 recommendations were not taken forward by Council and Extent Heritage were engaged to undertake a review of both HO206 and the recommendations contained within the 2005 Review to ensure that appropriate heritage controls are applied through the planning scheme.

1.1.1. Stage 1

The first stage of the Heritage Review involved a comprehensive review of all places within HO206, with a particular focus on the eight new precincts recommended in the 2005 Review. The primary goal of this review process was to determine whether the methodology and recommendations of the 2005 Review are consistent with best practice and with guidance.

This stage was split into several parts:

- Review of existing citation content, curtilage and site gradings for the HO206 Maryborough Heritage Area and the findings detailed in the 2005 Review;
- Physical inspection of all properties within the HO206 Maryborough Heritage Area, with a focus on the eight (8) new precincts recommended in the 2005 Review, and whether alternative and/or additional precinct and individual place boundaries were warranted.
- Community consultation with key stakeholders, including the Maryborough Midlands Historical Society and Central Goldfields Shire Heritage Reference Group.
- Preparation of a Stage 1 Review and Recommendations Report outlining proposed precincts and individual places within the study area, as well as recommendations for the provision of

heritage design guidelines to inform decision making by Council's statutory team. Proposed precincts and individual places within the study area included minor refinements to the eight (8) precincts recommended in the 2005 Review, as well as an additional nine (9) heritage places (either individual sites, precincts, or group listings) that could effectively capture places that do not fit neatly within the eight (8) recommended precincts.

1.1.2. Stage 2

The second stage of the Heritage Review involved the preparation of statements of significance and citations for eight (8) precincts, two (2) group listings and eight (8) individual places. This included refined versions of the eight (8) precincts recommended in the 2005 Review, as well as an additional ten (10) heritage places (either individual sites, precincts, or group listings). As per the table below, not all of the nine (9) additional places detailed in the Stage 1 Report were taken to the statements of significance and citation stage either as a result of community feedback, research findings and/or scope limitations. Two (2) additional places not detailed in the Stage 1 Review and Recommendations Report were also considered following community feedback.

Table 1. Summary of Stage 2 outcomes

Place identified in Stage 1 report	Stage 2 outcome
Industrial Precinct	Citation prepared (now Industrial Serial Listing)
Phelan Homes	Further research determined that Phelan Homes were not well represented within HO206. No citation prepared.
Main Drain	Citation prepared
Worsley Cottage	Citation prepared
Loco Shed, load out and water area	Citation prepared, in associated with other relevant railway sites (Railway Complex)
Railway Precinct	Citation prepared (now Eastern Residential Precinct)
Soldiers Memorial Plot	Removed from Project Scope following feedback from community regarding lack of relevance of this site and its more recent origin.
Residence and Warehouse (St Carlo House / Ellas Crameri and Sons)	Citation prepared
Inkerman Street Precinct	Split into the following citations: <ul style="list-style-type: none"> Former Maryborough Primary School Bristol Hill Corner Store Methodist and Church of Christ churches
Tiverton (Sir Edmund Herring House)*	Citation prepared
Isabella Wharton Homes*	Outside extent of HO206. No citation prepared

*not included in the Stage 1 Report, but considered for Stage 2 after community feedback.

To provide Council with guidance on the scope and character of development that can be supported within the proposed heritage places, Stage 2 also involved the preparation of the following supporting documents:

- Central Goldfields: Heritage Design Guidelines – this document outlines principles around demolition, additions/ alterations and the construction of new built form in relation to sites that are identified as non-significant, contributory and significant.
- Maryborough Heritage Overlay Exemptions – this document established permit exemptions for the proposed heritage places to be included in Central Goldfield's Shire Schedule to the Heritage Overlay, under the provisions of Clause 43.01 Heritage Overlay.

1.2. Study area

HO206 is situated in Central Maryborough and is roughly bound by Gladstone Street to the north-west, Gillies Street to the east and south-east, Clarke Street to the south-west and Lamb Street to the west (Figure 1).

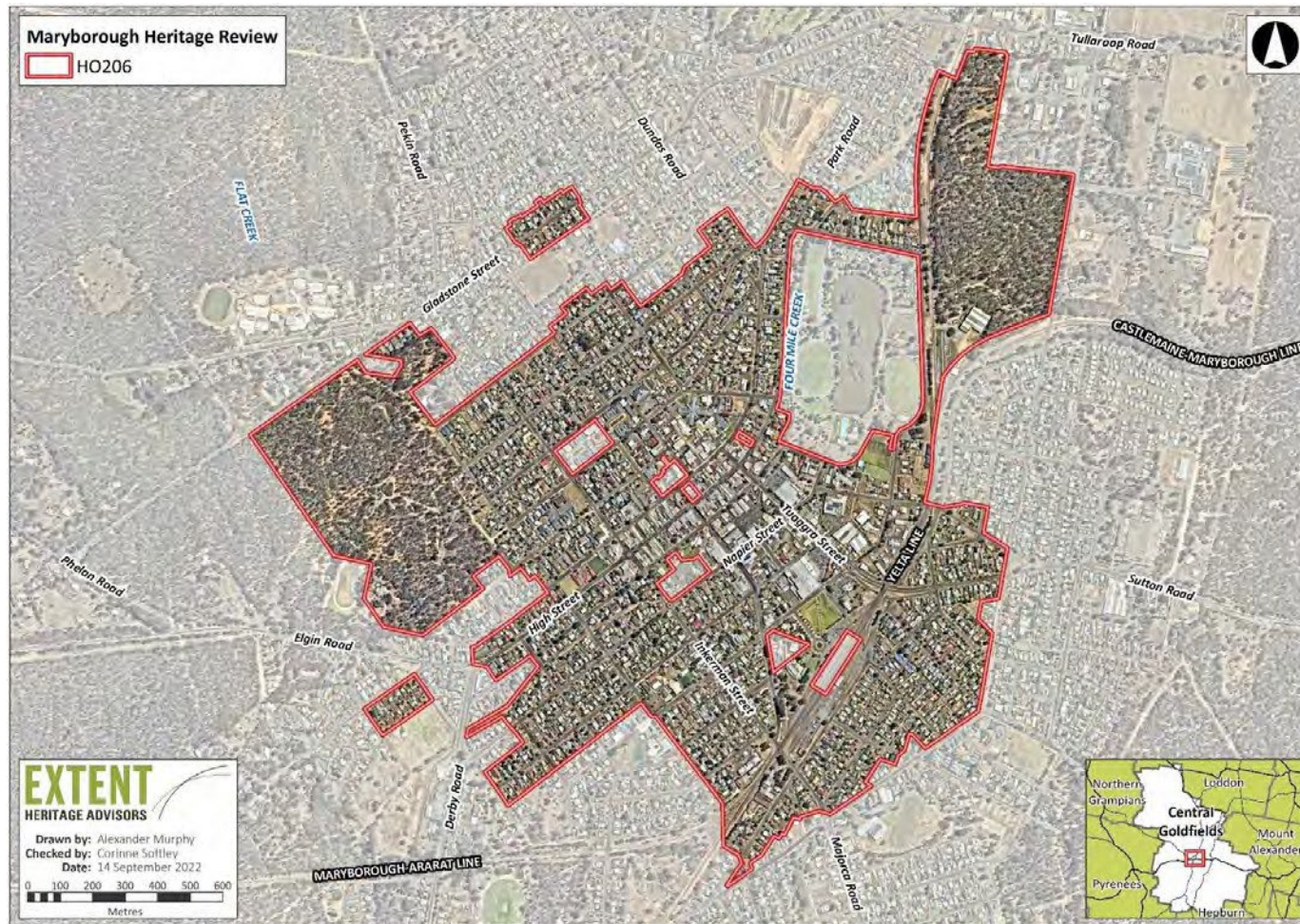


Figure 1: Study area for the Heritage Review of the HO206 Maryborough Heritage Area.

1.3. Project objectives

As per the tender brief the objectives of the project were as follows:

The Maryborough Heritage Review project aims to assess the heritage significance of local heritage places in the study area and prepare a suite of policy and guidance documents to identify and protect the heritage values of central Maryborough and guide appropriate future development in Maryborough's heritage areas.

The Service Provider will prepare up-to-date supporting documentation and heritage planning provisions to guide best-practice heritage conservation and development. The Service Provider will:

- *Examine the significance and extent of Heritage Overlay 206: Maryborough Heritage Area,*
- *Review existing heritage controls,*
- *Prepare heritage citation documentation, heritage design guidelines, local planning policy and ordinance*, to enhance the heritage protection framework for Maryborough in the Central Goldfields Planning Scheme.*

The Maryborough Heritage Review study (the study) is to be carried out in two stages.

*not included in Extent Heritage commissioned scope.

1.4. Limitations

The study was subject to the following limitations:

- Extent Heritage has not been engaged to assess HO places outside of the HO206 study area;
- Extent Heritage has not been engaged to assess historical archaeology or Aboriginal cultural heritage places and values;
- Access to all heritage places was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study;
- Condition and site modification assessment for each place was limited to a visual inspection undertaken from the public domain;
- The historical information provided in the citations are provided only to the extent necessary to enable assessment and should not be considered an exhaustive history of each place.

1.5. Authorship

The consultants at Extent Heritage involved in the preparation of the heritage review and their respective roles are outlined below.

Staff	Role
Dr Leo Martin, Associate Director	Quality assurance review, fieldwork and drafting Stage 1 report
Corinne Softley, Senior Associate	Project management, quality assurance review, drafting design guidelines and permit exemptions
Michelle Bashta, Associate	Project lead Project management, quality assurance review, drafting permit exemptions and design guidelines, fieldwork, heritage assessment, drafting heritage review report
Vivian Lu, Heritage Advisor	Research, fieldwork, heritage assessment, drafting design guidelines, drafting heritage review report
Benjamin Petkov, Heritage Advisor	Research, fieldwork, and heritage assessment
Larika Desai, Research Assistant	Research, fieldwork, and heritage assessment
Isobel Hartley, Research Assistant	Research support
Reuel Balmadres, Graduate Architect	Physical analysis
Alexander Murphy, GIS Specialist	Mapping
Sarah Gyngell, GIS Specialist	Mapping

1.6. Terminology

The terminology in this report follows definitions presented in the *Burra Charter* (Australia ICOMOS 2013). Article 1 provides the following definitions:

Place means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the *place* itself, its *fabric*, setting, *use*, *associations*, *meanings*, records, *related places* and *related objects*. Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including elements, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of a *place* and its *setting*. Maintenance is to be distinguished from repair which involves *restoration* or *reconstruction*.

Preservation means maintaining a *place* in its existing state and retarding deterioration.

Restoration means returning a *place* to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.

Reconstruction means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material.

Adaptation means changing a *place* to suit the existing *use* or a proposed use.

Use means the functions of a *place*, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.

Compatible use means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the immediate and extended environment of a *place* that is part of or contributes to its *cultural significance* and distinctive character.

Related place means a *place* that contributes to the *cultural significance* of another place.

Related object means an object that contributes to the *cultural significance* of a *place* but is not at the place.

Associations mean the connections that exist between people and a *place*.

Meanings denote what a *place* signifies, indicates, evokes or expresses to people.

Interpretation means all the ways of presenting the *cultural significance* of a *place*.

The terminology in this study also follows the definitions below, adopted from Heritage Victoria's reference materials and other guidance documents:

- DELWP (Department of Environment, Land, Water and Planning). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP.

Contributory Element: Contributory Elements are those that contribute to the significance of the Heritage Place. These should be identified in the Statement of Significance or other heritage assessment document, such as a heritage study. Note that some Heritage Places covered by an Individual HO surrounded by an Area HO may be Contributory Elements, while others might not.

Group, Thematic and Serial Listings: Places that share a common history and/or significance but which do not adjoin each other or form a geographical grouping may be considered for treatment as a single heritage place. Each place that forms part of the group might share a common statement of significance; a single entry in the Heritage Overlay Schedule and a single Heritage Overlay number.

- Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment.

Heritage Overlay: A Heritage Overlay is applied to a Heritage Place to conserve its cultural heritage values.

Heritage Place: Under the Victoria Planning Provisions, a Heritage Place can be a: building (e.g. house, shop, factory etc.), structure (e.g. memorial, bridge or tram poles), features (e.g. mine shafts and mullock heaps, street gutters and paving), private garden or public park, single tree or group of trees such as an avenue, group of buildings or sites, landscape, geological formation, fossil site, or habitat or other place of natural or Cultural Heritage Significance and its associated land.

Heritage Study: A Heritage Study is a research and survey based document prepared by a suitably qualified professional that identifies Heritage Places of Cultural Heritage Significance based on a defined range of criteria.

Individual HO: An Individual HO is a single Heritage Place that has Cultural Heritage Significance independent of its context. Some places covered by an Individual HO also make a contribution to the significance of an Area HO. There should be a Statement of Significance for every Individual HO.

Non-contributory Element: Elements that do not make a contribution to the significance of the Heritage Place covered by an HO.

Statement of Significance: A guide to understanding the Cultural Heritage Significance of a place. These are often divided into three parts: what, how and why.

- DELWP (Department of Environment, Land, Water and Planning). August 2017. Review of Heritage Provisions in Planning Schemes. Advisory Committee Report. The Way Forward for Heritage. Melbourne: DELWP.

Threshold: The level of cultural significance that a place must have before it can be recommended for inclusion in the planning scheme. The question to be answered is 'Is the place of sufficient import that its cultural values should be recognised in the planning scheme and taken into account in decision-making?' Thresholds are necessary to enable a smaller group of places with special architectural values, for example, to be selected out for listing from a group of perhaps hundreds of places with similar architectural values.

1.7. Abbreviations

A number of abbreviations have been used for the Heritage Review. These are outlined below.

Table 2. Summary of abbreviations.

Abbreviation	Full term
C	Contributory
HERCON	National Heritage Convention
HO	Heritage Overlay
NC	Non-contributory
S	Significant
VHD	Victorian Heritage Database
VHI	Victorian Heritage Inventory
VHR	Victorian Heritage Register

2. METHODOLOGY

2.1. Best practice resources

This heritage review was prepared by consulting with best practice documentary resources, including the following:

- Australia ICOMOS. 2013. The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance. Burwood, Vic.: Australia ICOMOS.
- Department of Environment, Land, Water and Planning (DELWP). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP.
- Heritage Victoria. 2010. Heritage Victoria Model Consultants Brief for Heritage Studies. Melbourne: DELWP.
- Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment
- Planning Panels Victoria. 2018. *Heritage Issues Summary of Panels Reports*. Melbourne: Department of Transport and Planning.

2.2. Stage 1: Review and recommendations

The following tasks were undertaken to support stage 1.

2.2.1. Review of existing documentation

The following documentation pertaining to HO206 was reviewed during the preliminary phase:

- Bick, C., Kellaway, C., Milner, P., and Patrick, J. 1992. Maryborough Heritage Study 1992. Maryborough: Central Goldfields Shire.
- Rowe, David and Jacobs, Wendy. 2005. Central Goldfields Shire Heritage Review Stage 1. Maryborough: Central Goldfields Shire.
- Jean, Amanda. 2014. Heritage Strategy 2014-2018. Maryborough: Central Goldfields Shire.

Particular attention was paid to the content in Rowe, David and Jacobs' Central Goldfields Shire Heritage Review Stage 1 (2005), which reviewed the existing HO206 extent and recommended the introduction of eight (8) new precincts to better reflect and protect the heritage significance of properties within HO206. The proposed areas were as follows:

- Barkly Street Heritage Area
- Civic Square Heritage Area
- Maryborough Commercial Heritage Area
- Princes Park Heritage Area
- Phillips Gardens Heritage Area

- Palmerston Street Heritage Area
- Raglan Street Heritage Area
- Bristol Hill Heritage Area

2.2.2. Preliminary research

Following a review of existing documentation, preliminary research was undertaken to clarify both the overarching history and context of the HO206 area, as well as the site-specific history of each of the eight precincts proposed in the 2005 Review. This research was critical for understanding the threshold for inclusion on the Heritage Overlay in the Central Goldfields Shire, and also provided high-level indicators for potential recommended changes to the 2005 Review. More targeted research was also undertaken following the fieldwork phase (see Part 2.2.3) to clarify any observations made during physical inspections.

Primary and secondary sources were reviewed from organisations such as the State Library of Victoria, Public Records Office Victoria, Landata, the National Trust of Australia (Victoria), and the Maryborough Midlands Historical Society. Two local history books, *Against the Odds: Maryborough 1905-1961* (Osborn 2005) and *Maryborough: A Social History 1854-1905* (Osborn and DuBourg 2011) were also extensively consulted. Information that was unearthed from these resources included early maps, photographs, subdivision plans, architectural plans, newspaper articles, and rate books.

2.2.3. Fieldwork

Following a review of relevant documentation and preliminary research, Extent Heritage physically inspected all properties within the HO206 Maryborough Heritage Area from the 7 November 2022 – 11 November 2022, and from 27 January – 3 February 2023. All inspections were undertaken from the public domain on foot.

This component of the project provided Extent Heritage with an opportunity to ground truth the findings of the 2005 report and identify whether alternative and/or additional precinct and individual place boundaries are warranted. Specific attention was paid to the proposed eight (8) precincts, as well as places of potential heritage value that do not fall within any of the proposed precinct areas. During fieldwork, every property within the HO206 boundary was recorded digitally on 'Fulcrum', a field data collection application. Fulcrum includes a series of customised dropdown menus and an open field text, as well as GIS mapping.

2.2.4. Community consultation

To ensure that the views and local knowledge of the Maryborough community were considered throughout the duration of the Heritage Review, a Stakeholder Engagement Plan was prepared at the commencement of the project. This plan identified key community stakeholders, methods of engagement and the proposed consultation materials. As per the accepted Stakeholder Engagement Plan, community consultation during Stage 1 involved the following tasks:

- In-person attendance and participation in one (1) Public Information Session on the 10 October 2023. This session provided community members to ask questions, give initial feedback and raise any concerns about the Heritage Review and the eight precincts proposed in the 2005 report.
- Attendance and participation in one (1) consultation session with the Maryborough Midlands Historical Society.
- Online attendance and participation in one (1) Central Goldfields Shire Heritage Reference Group meeting convened by Council on 15 December 2022. This meeting provided members of the Heritage Reference Group the opportunity to give feedback and ask questions on the preliminary Stage 1 Findings proposed by Extent Heritage.
- In-person attendance and participation in one (1) in person Central Goldfields Shire Heritage Reference Group meeting convened by Council on 1 February 2023. This meeting provided members of the Heritage Reference Group the opportunity to give feedback and ask questions on revised Stage 1 Findings proposed by Extent Heritage.

Detailed notes were taken at each meeting, and any provided feedback was subsequently reviewed and considered for integration into the Stage 1 report.

2.2.5. Stage 1 findings

Following the desktop review, fieldwork components and community consultation, Extent Heritage prepared the Stage 1 findings as a Review and Recommendations Report. This report was presented to Council officers and Central Goldfields Shire Heritage Reference Group meeting for feedback before being finalised.

The summary findings of the review of the existing HO206 area were as follows:

Extent Heritage has reviewed the extent of HO206 focussing, in particular, on the recommendations contained in the 2005 Review. While our conclusions differ in some respects, overall, we consider that the methodology adopted in the 2005 Review is consistent with best practice and with guidance that has been developed by Planning Panels Victoria (PPV), particularly their Heritage Issues Summaries.

Extent Heritage conducted fieldwork from 7 November 2022 – 11 November 2022 and again from 27 January 2023 – 3 February 2023 and can confirm that we are also generally supportive of the 2005 Review's conclusions and, in particular, the recommendation to break HO206 into smaller discrete precincts. The smaller precincts will allow for the preparation of more relevant and refined citations and encourage the better management of significant fabric. We also note that each precinct identified generally demonstrates "a consistency of built form" and is "able to be described in a statement of significance", the test applied by PPV in Yarra C173. Each precinct proposed in the 2005 Review is also considered to represent "a distinguishable, cohesive unit..." again in accordance with the test outlined in the PPV report for Yarra C177.

The above notwithstanding, Extent's has proposed some changes to the precincts identified in the 2005 Review. The changes reflect:

- The loss or alteration of some fabric.
- A re-appraisal of the significance of other areas of HO206 excluded from the 2005 recommended precincts;
- A greater focus on ensuring a consistency of function within each respective precinct; and
- Improvements in mapping accuracy

This Review and Recommendations Report detailed the following key recommendations:

- Conclusions in relation to each of the eight (8) precincts identified in the 2005 Review, including GIS mapping.
- In line with discussions with Council and DELWP and the provision of additional funding, the identification of an additional ten (10) places (either individual sites, precincts or group listings) for heritage protection that do not fall within the proposed either (8) precincts and would otherwise be removed from the Heritage Overlay.
- Recommendations for Stage 2 identification, assessment and documentation.
 - Barkly Street Heritage Area (now Former Gaol Precinct)
 - Civic Square Heritage Area (now Civic Square Precinct)
 - Maryborough Commercial Heritage Area (now Commercial Precinct)
 - Princes Park Heritage Area (now Park Road Precinct)
 - Phillips Garden Heritage Area (now Western Residential Precinct)¹
 - Palmerston Street Heritage Area (now Palmerston Street Precinct)
 - Raglan Street Heritage Area (now Raglan Street Precinct)
 - Bristol Hill Heritage Area (now Bristol Hill (individual place))

2.3. Stage 2: Citation preparation

The tasks involved in the Stage 2 assessments were as follows:

2.3.1. Research

Detailed research was undertaken to clarify the history and context of each of the proposed heritage places. This research was critical for updating and elaborating on the information already provided in the 1992 and 2005 reports and formed the basis for the preparation of the citations.

As with the Stage 1 preliminary research phase, primary and secondary sources were reviewed from organisations such as the State Library of Victoria, Public Records Office Victoria, Landata, the National Trust of Australia (Victoria), and the Maryborough Midlands Historical Society. Two local history books, *Against the Odds: Maryborough 1905-1961* (Osborn 2005) and *Maryborough: A Social*

¹ Note Phillips Garden to be retained as an individual HO (HO170).

History 1854-1905 (Osborn and DuBourg 2011) were also extensively consulted. Information that was unearthed from these resources included early maps, photographs, subdivision plans, architectural plans, newspaper articles, and rate books.

In addition to this, the HERMES Orion database and existing heritage review reports in comparable Victorian goldfields townships were also utilised for sourcing comparative examples. To assist with the description and identification of architectural styles and materials, generalist architectural resources available online and in the Extent Heritage office library were also utilised as needed to inform the physical and comparative analyses.

2.3.2. Comparative analysis

Comparative analysis is an important part of the heritage assessment process, allowing one to properly benchmark the place against similar examples to establish its relative significance.

The key resources utilised for the comparative analysis included:

- Heritage Victoria database, HERMES Orion;
- Central Goldfields Shire Planning Scheme – Schedule to the Heritage Overlay;
- Previous heritage studies prepared for the Central Goldfields Shire, Mount Alexander Shire, Rural City of Ararat and the City of Ballarat;
- Victorian Heritage Database (VHD); and
- Generalist architectural resources available online and in the Extent Heritage office library, in particular *A Pictorial Guide to Identifying Australian Architecture: Styles and Terms from 1788 to the Present* (Apperly, Irving and Reynolds 1989)

The comparative analysis considered four broad categories for assessment, as follows:

- Comparison by type (HERCON criteria A, B, and D): This compares places based on their specific class or typology and the importance of that factor in their historical, rarity or representative value.
- Comparison by style/design (HERCON criteria B, E, and F): This compares places based on architectural style and detailing, including consideration of the integrity.
- Comparison by architect/designer (HERCON criteria B and H): This compares places to other places of the same type (ideally) of place by the same architect.
- Comparison by historical narrative (HERCON criteria A): This compares places to other places with the same thematic context.

2.3.3. Assessment of each place against the HERCON criteria

Each existing place and precinct was assessed for its potential to meet one or more of the HERCON criteria. The Heritage Victoria standard brief for heritage studies states that 'It is expected that a heritage study will include a holistic assessment in terms of place types, periods, and heritage values. Where a place is identified, a coherent and coordinated assessment against the HERCON

criteria is expected' (DELWP 2010, 2). The National Heritage Convention (HERCON) criteria are defined as follows:

Criterion A: Importance to the course or pattern of our cultural or natural history (*historical significance*).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (*rarity*).

Criterion C: Potential to yield information that will contribute to understanding our cultural or natural history (*research potential*).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (*representativeness*).

Criterion E: Importance in exhibiting particular aesthetic characteristics (*aesthetic significance*).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (*technical significance*).

Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (*social significance*).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (*associative significance*). (DELWP 2018, 1–2)

It should be noted that meeting more than one criterion does not make a place more significant, it simply means that the place is significant for a variety of reasons.

Where a criterion was met, the reasons for this were provided as relevant to the specific criterion being addressed. The results of the tabulated assessment were used to formulate the full Statement of Significance and to confirm the level of significance.

2.3.4. Revised statements of significance

Following an assessment of each place against the HERCON criteria, an updated Statement of Significance was developed following guidelines of Planning Practice Note 1 which states:

What is significant?

This section should be brief, usually no more than one paragraph or a series of dot points. There should be no doubt about the elements of the place that are under discussion. The paragraph should identify features or elements that are significant about the place, for

example, house, outbuildings, garden, plantings, ruins, archaeological sites, interiors as a guide to future decision makers. Clarification could also be made of elements that are not significant. This may guide or provide the basis for an incorporated plan which identifies works that may be exempt from the need for a planning permit.

How is it significant?

Using the heritage criteria above, a sentence should be included to the effect that the place is important. This could be because of its historical significance, its rarity, its research potential, its representativeness, its aesthetic significance, its technical significance and/or its associative significance. The sentence should indicate the threshold for which the place is considered important.

Why is it significant?

The importance of the place needs to be justified against the heritage criteria listed above. A separate point or paragraph should be used for each criterion satisfied. The relevant criterion reference should be inserted in brackets after each point or paragraph, for example '(Criterion G)'. (DELWP 2018, 2)

2.3.5. Assessment of Schedule to the Heritage Overlay controls

Outbuildings or fences not exempt under Clause 43.01-4 (Fence/outbuilding controls)

In some cases, fences, garages or other outbuildings on heritage sites were deemed to be significant in relation to the wider site through archival research and physical analysis. In this scenario, the fence or outbuilding was usually identified as contemporary with the original building and of high integrity. Where these controls were applied, the statement of significance clearly identified the particular structure under "What is significant?" and why it is important under "Why is it significant?" (DELWP 2018, 4). It is important to note that demolition or construction of most fencing and outbuildings triggers the need for a planning permit in the HO, though the planning application is usually exempt from public notice requirements or appeal rights. 'Turning on' or triggering fence or outbuilding controls removes the exemption from notice and appeal rights, giving neighbours the right to object and appeal a planning application of this type. Within this heritage review, fence/outbuilding controls were applied to Park Road Precinct, Palmerston Street Precinct, Worsley Cottage, Eastern Residential Precinct, Residence and Warehouse (St Carlo House / Ellas Crameri and Sons) and Tiverton.

Tree controls

Where tree controls were applied to a heritage place, an individual tree, collection of trees or a garden was deemed to be significant in relation to the wider site through archival research and physical analysis. The plantings were generally contemporary with the structures on site, pre-dated the structures and were representative of an earlier phase of development, or contributed to the heritage setting of the place. Where tree controls were applied, the statement of significance clearly identified the particular tree or trees under "What is significant?" and why they are important under

“Why is it significant?” (DELWP 2018, 4). Within this heritage review, tree controls have only been applied in a limited way to Bristol Hill, Raglan Street Precinct, Park Road Precinct, Palmerston Street Precinct, Eastern Residential Precinct and Tiverton (Sir Edmund Herring House).

Internal controls

Internal controls are required to be applied sparingly and on a selective basis to special interiors of high interest. In terms of this heritage review, no places were selected for internal controls.

Paint controls

Paint controls were applied in instances where an original colour scheme was identified as extant through archival research. Where paint controls were applied, the statement of significance clearly identified the relevant element – either the colour scheme or material to be protected – under “What is significant?” and why it is important under “Why is it significant?” (DELWP 2018, 4). In terms of this heritage review, paint controls were applied to the Civic Precinct and Residence and Warehouse (St Carlo House / Ellas Crameri and Sons).

Prohibited uses may be permitted

It is possible to make a prohibited use permitted at a specific place under Clause 43.01. This can aid in encouraging adaptive reuse of heritage structures. The Planning Practice Note requires that this provision is applied to individual places only and not large areas (precincts). In terms of this heritage review, this provision was applied to the Former Primary School and Industrial Serial Listing.

Solar energy system controls

Solar energy system controls are a relatively recent introduction to the Schedule to Clause 43.01 and at the time of the review the Planning Practice Note had not been updated to provide direction on the application of these controls. Where solar energy controls are turned on a permit is required for a visible solar energy system unless specified as exempt. In the case of the heritage review, solar energy system controls were applied to all precincts and individual places where visible roof forms contribute to the significance of the place.

2.3.6. Curtilage assessment

Heritage curtilages are generally formed by the property boundary for individual places. For more complex sites that are surrounded by non-contributory fabric such as the Maryborough Knitting Mills Tower, the curtilage does not include the whole site but instead is limited to include the key elements of significance at the place.

Where precincts intersected directly with existing VHR places these were generally included in the precinct curtilage as Significant places as these places were also considered to contribute to the heritage significance of the overall precinct (in particular the Civic Square Precinct, Commercial Precinct and Maryborough Railway Complex). The exception to this approach was the Park Road Precinct which excluded Princes Park (VHR H1880) as the residential character of the precinct was distinct from the park itself.

2.3.7. Revised precinct designations

The designation of properties within precincts formed part of the citation preparation process. In accordance with per best practice detailed in PPN01, properties were identified as either significant, contributory or non-contributory to the precinct. The following definitions were adopted:

Significant: The place is individually important at the local level, and a heritage place in its own right. It is of historical, aesthetic, scientific, social or spiritual significance to the municipality. Significant places are typically externally intact, and/or has notable features associated with the place type, use, period, method of construction, siting or setting. When located in a heritage precinct a significant heritage place can make an important contribution to the precinct.

Contributory: The place is important for its contribution to a heritage precinct. It is of historical, aesthetic, scientific, social and/or spiritual significance to the heritage precinct. Contributory places are typically externally intact but may have visible changes which do not detract from the contribution to the heritage precinct.

Non-Contributory: The place does not make a contribution to the cultural significance or historic character of the heritage precinct.

2.3.8. Group/serial listings

In some instances, a series of thematically related heritage places that did not fall within the same physical location were proposed for inclusion on the Heritage Overlay as a group. As per PPN01, places that share a common history and/or significance, but which do not adjoin each other or form a geographical grouping may be considered for treatment as a single heritage place. In these cases, it is appropriate that each place that forms part of the group might share a common statement of significance; a single entry in the Heritage Overlay schedule and a single Heritage Overlay number. This approach was applied to the following places:

- Industrial Serial Listing – an industrial area with a shared history on either side of the railway line;
- Methodist and Church of Christ Churches – a group of religious buildings within the original township boundary that illustrate the early settlement of the Maryborough township following the onset of the Gold Rush, and the initial growth of various Christian denominations.

2.3.9. Mapping

Revised curtilage maps were prepared using ArcGIS mapping software. This included precinct designation maps.

2.3.10. Consultation

Following the completion of the final draft Heritage Review Report, community consultation was undertaken. This included a mail-out to all effected residents/property owners, a town hall meeting and limited one on one meetings with effected residents. Consultation outcomes were incorporated into the final Heritage Review documentation for Council adoption.

2.4. Stage 2: Guidelines

To provide Council with practical guidance on the scope and character of development that can be supported within the proposed heritage places, two supporting documents were prepared as part of Stage 2. The tasks included design guidelines and permit exemptions which are described in the sections below.

2.4.1. Design guidelines

In order to provide Council with guidance on the scope and character of development that can be supported within heritage areas, a series of heritage design guidelines were prepared to help inform decision making by Council's statutory planning team. The guidelines consist of a short and accessible document that outlines principles around demolition, additions/alterations, and the construction of new built form in relation to sites that are identified as non-significant, contributory and significant. In formulating this, Extent Heritage drew from existing Heritage Design Guidelines prepared by other municipalities (both urban and regional) and adapted them to suit the Central Goldfields Shire context. It is intended that this document also be used to guide decision making as it applies to heritage in the wider municipality.

2.4.2. Permit Exemptions

To provide an effective and time efficient way of managing the proposed heritage places, a document establishing permit exemptions for the proposed heritage places to be included in Central Goldfield's Shire Schedule to the Heritage Overlay, under the provisions of Clause 43.01 Heritage Overlay, was prepared. This document outlines general exemptions in relation to repairs and maintenance, new roofing, painting, minor modifications and alterations, as well as specific exemptions relating to the Main Drain, Bristol Hill and the Maryborough Railway Complex.

3. BRIEF HISTORY OF MARYBOROUGH

The Review also included primary and secondary research into the developmental history of Maryborough. Initially, this was carried out by Extent Heritage to assess whether the 2005 recommendations adequately captured the cultural history of the township and/or if there were any gaps. This research was collated into a generic history and is included below. This history is also reproduced in the citations for each heritage place identified in the Review.

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklind area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens—however, these sites were primarily situated in Chinese encampments just outside of the

main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 2. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FEB86214ED5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146/VHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174/VHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134/VHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

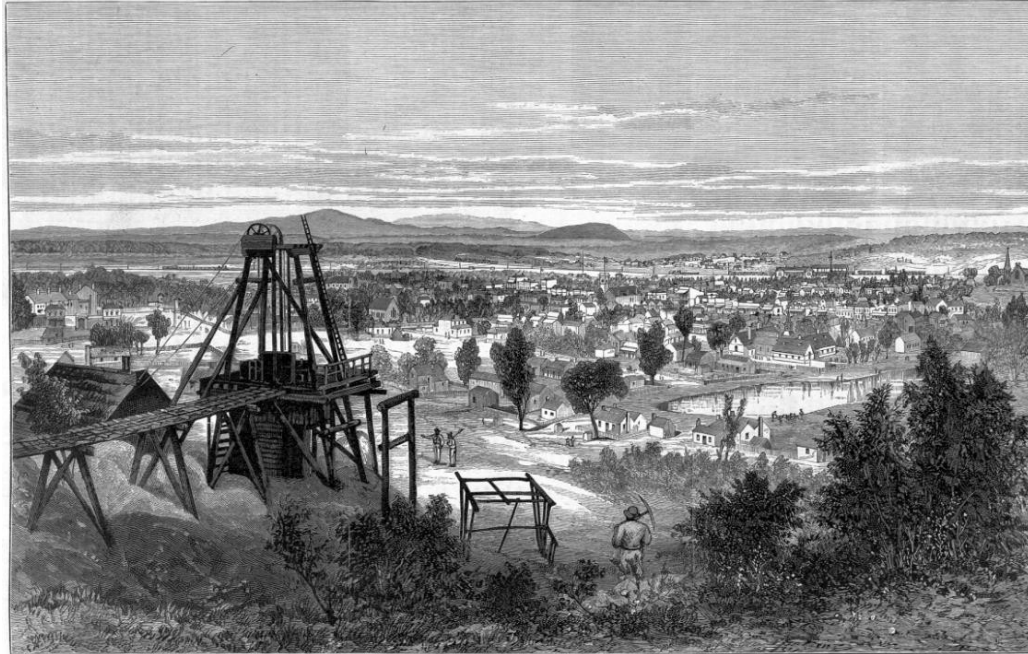


Figure 3. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Pty Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

4. RECOMMENDATIONS

As depicted in Figure 4 below, the majority of places currently included within the HO206 Heritage area will remain protected either under existing individual HOs, refined versions of the eight (8) precinct areas recommended in the 2005 Review, or under the additional two (2) group listings and eight (8) individual places proposed in this Review. The Heritage Overlay will be removed from several areas currently included within the HO206, which were determined to be of no or limited heritage value, of low integrity and/or physically isolated from the proposed precinct areas. A list of the individual properties proposed to be removed from the HO is provided at section 4.2.

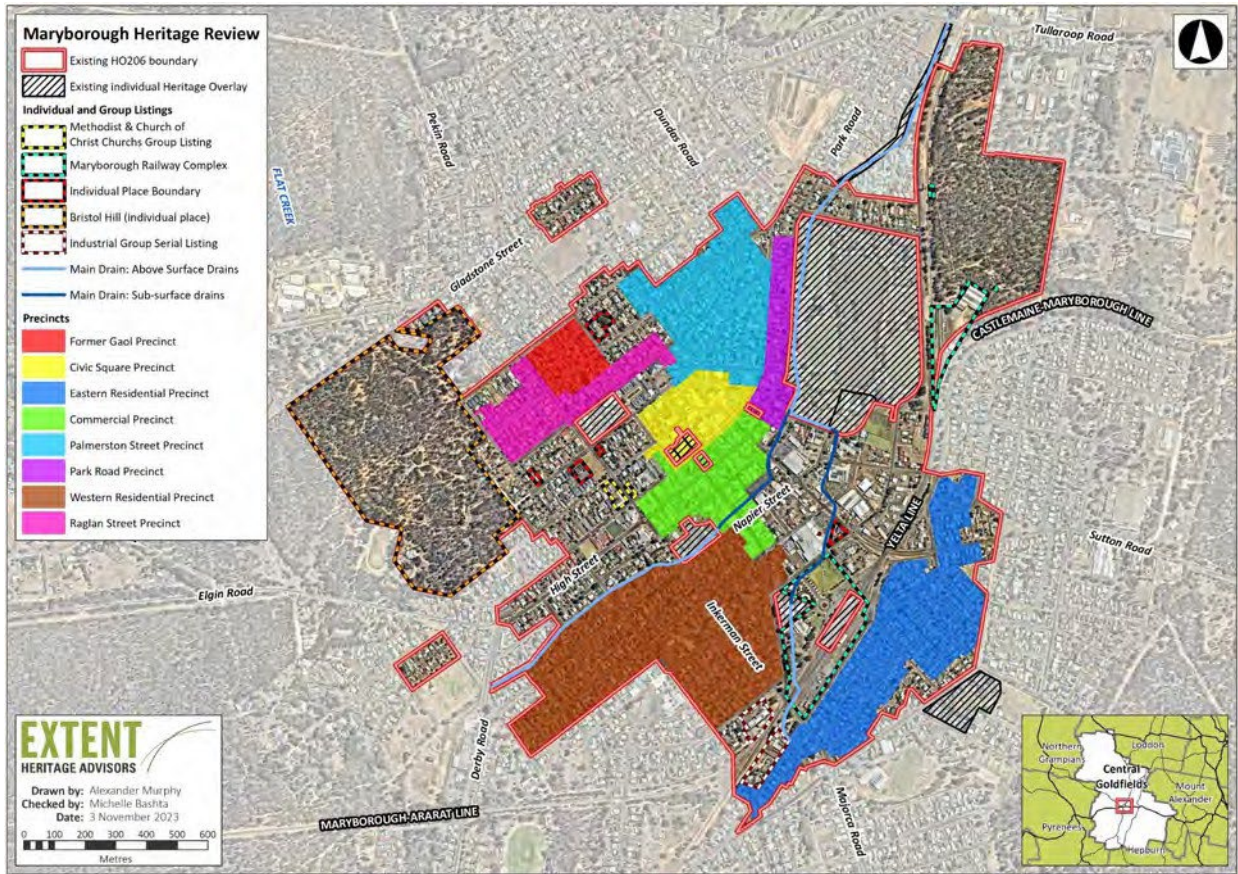






Figure 4. Map showing existing HO206 area, existing individual HO places, and precinct areas, group listings and individual places proposed in this Review.



4.1. Retain in HO (with revised citations/boundaries)


4.1.1. Precincts

Name	Address(es)	Recommendation	Image
Former Gaol Precinct	18-30 Goldsmith Street, 5-17 Peel Street, 21-35 & 24-36 Barkly Street, 92-102 Inkerman Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> 21 Barkly Street; 23 Barkly Street; 25 Barkly Street; 31 Barkly Street; 17 Peel Street; and 26 Barkly Street. Apply solar energy system controls. 	 <p>Figure 5. Former Gaol Building.</p>
Eastern Residential Precinct	4-42 & 5-37 Argyle Road, 1-5 & 8 Carrick Street, 2-12 & 3 Casey Street, 1-25 & 12-30 Fraser Street, 4-12 Golden Wattle Drive, 3-23 & 4 Higham Street, 1-31 & 4-38 Logan Street, 2-4 & 5-7 Lowenstein Street, 1-13 & 2-8 Majorca Road, 2-18 & 3-15 McKean Street, 146-220 & 153-159 Railway Street, 2-28 & 11-29 Sutton Road, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply tree controls to: <ul style="list-style-type: none"> Flowering gum (<i>Eucalyptus ficifolia</i>), flame tree (<i>Brachychiton populneus</i>), peppercorn (<i>Schinus areira</i>) and Chinese windmill palm (<i>Trachycarpus futurei</i>) at 4 Argyle Road; Mature eucalypt at 7 Lowenstein Street; Chinese windmill palm (<i>Trachycarpus futurei</i>) at 17 Fraser Street; 	 <p>Figure 6. Houses along Railway Street.</p>


Name	Address(es)	Recommendation	Image
		<ul style="list-style-type: none"> • Peppercorn (<i>Schinus areira</i>) at 18 Fraser Street; • Two peppercorn (<i>Schinus areira</i>); and • Five pomegranate (<i>Punicea granatum</i>) trees at 159 Railway Street <ul style="list-style-type: none"> ▪ Designate the following outbuildings as not exempt under Clause 43.01: <ul style="list-style-type: none"> • 7 Lowenstein Street; and • 10 Lowenstein Street. ▪ Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> • 4 Argyle Road. ▪ Apply solar energy system controls. 	
Raglan Street Precinct	2-4 & 3 Peel Street, 11-57 & 54-58 Raglan Street, 82-88 Kars Street, 1-19 & 2-20 Barkly Street, 83-101 & 86-90 Inkerman Street, Maryborough	<ul style="list-style-type: none"> ▪ Include on the Heritage Overlay as a Precinct. ▪ Apply tree controls to: <ul style="list-style-type: none"> • The five mature English Oaks (<i>Quercus Robur</i>) along Raglan Street reserve. • The Moreton Bay Fig (<i>Ficus macrophylla</i>) at 35 Raglan Street]. ▪ Apply solar energy system controls. 	 <p>Figure 7. View along Raglan Street.</p>


Name	Address(es)	Recommendation	Image
Civic Square Precinct	Palmerston Street, 9 Nightingale Street, Florence Lane, 67-71 Clarendon Street, 1-9 & 2-10 Neill Street, Havelock Street, 1/14, 14-20 Campbell Street, Maryborough	<ul style="list-style-type: none"> ▪ Include on the Heritage Overlay as a Precinct. ▪ Apply external paint controls. ▪ Apply solar energy system controls. 	 <p>Figure 8. Maryborough Civic Square.</p>
Commercial Precinct	1-3 Havelock Street, Clarendon Street, 57-177A & 70-212 High Street, 54-86 Alma Street, Napier Street, 39 -45 Tuaggra Street, 35-95 & 38-108 Nolan Street, Maryborough	<ul style="list-style-type: none"> ▪ Include on the Heritage Overlay as a Precinct. ▪ Apply solar energy system controls. 	 <p>Figure 9. Intersection of High Street and Nolan Street.</p>
Park Road Precinct	1-2 Nightingale Street, 1-55 Park Road, 183-195 & 232-244 High Street, Maryborough	<ul style="list-style-type: none"> ▪ Include on the Heritage Overlay as a Precinct. ▪ Apply tree controls to: <ul style="list-style-type: none"> • Palms (<i>Phoenix canariensis</i>) at 15, 37 and 39 Park Road ▪ Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> • 7 Park Road ▪ Apply solar energy system controls. 	 <p>Figure 10. View along Park Road.</p>

Name	Address(es)	Recommendation	Image
Palmerston Street Precinct	1-21 & 6-18 Dundas Road, 91-109 Clarendon Street, 1-7 & 6-10 Nightingale Street, 1-37 & 6-28 Newton Street, 1-15 & 2-10 Wills Street, 53-75 & 52-78 Barkly Street, 61-71A & 60-62 Raglan Street, 37-69 & 40-62 Palmerston Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply tree controls to: <ul style="list-style-type: none"> Canary Island Palms (<i>Phoenix canariensis</i>) at 97 Clarendon Street, 37 and 41 Palmerston Street, and 3 and 11 Dundas Road; and Mexican Hawthorn tree (<i>Crataegus stipulacea</i>) at 42 Palmerston Street Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> 44 Palmerston Street; and 61 Raglan Street Apply solar energy system controls. 	 <p>Figure 11. View along Nightingale Street.</p>
Western Residential Precinct	13-29 Albert Street, 12, 16-24, 15-31 & 32B Brougham Street, 11-85 & 12-86 Burke Street, 18-44 & 21-45 Burns Street, 16 Clarke Street, 24 Hilton Street, 2-44 & 3-49 Inkerman Street, 8-32 & 27-43 Kars Street, 15-65 & 16-86 Napier Street, 3-33 & 24-36 Nolan Street, 12-36 & 19-43 Victoria Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply solar energy system controls. 	 <p>Figure 12. Houses along Victoria Street.</p>


Name	Address(es)	Recommendation	Image
Maryborough Railway Complex	27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Permit prohibited uses. 	 <p>Figure 13. Looking towards Maryborough Railway Station.</p>



4.1.2. Group/serial listings


Name	Address(es)	Recommendation	Image
Industrial Serial Listing	36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Group Listing. Permit prohibited uses. 	 <p>Figure 14. Patience and Nicholson Ltd Factory.</p>


Name	Address(es)	Recommendation	Image
Methodist and Church of Christ Churches	63-65 Inkerman Street and 49 Clarendon Street, Maryborough.	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Group Listing. Apply solar energy system controls. 	 <p>Figure 15. 63 and 65 Inkerman Street.</p>

4.1.3. Individual places

Name	Address	Recommendation	Image
Bristol Hill	Area bounded by Gladstone Street, Inkerman Lane, Kars Street, Weller Street, Wellington Street, Clarendon Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply tree controls to: <ul style="list-style-type: none"> Eucalyptus trees. Review whether a VHI listing related to the cemetery is warranted. 	 <p>Figure 16. Mine tailings on Bristol Hill.</p>

Name	Address	Recommendation	Image
Main Drain	Central Maryborough	<ul style="list-style-type: none"> ▪ Include on the Heritage as an Individual Place, including incorporating the HO158 extension to the north of the HO206 curtilage. ▪ No additional controls required. 	 <p>Figure 17. Main Drain within Phillips Gardens.</p>
Worsley Cottage	3 Palmerston Street, Maryborough	<ul style="list-style-type: none"> ▪ Include on the Heritage Overlay as an Individual Place. ▪ Apply tree controls to: <ul style="list-style-type: none"> • Mature grapevine and pomegranate tree ▪ Designate timber and brick buildings to the rear of the property as not exempt under Clause 41.03-4. ▪ Apply solar energy system controls. 	 <p>Figure 18. Worsley Cottage façade and original grapevine.</p>

Name	Address	Recommendation	Image
Residence and Warehouse (St Carlo House / Elias Crameri and Sons),	9-13 Tuaggra Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Designate front fence as not exempt under Clause 41.03-4. Apply solar energy system controls. 	 <p>Figure 19. St Carlo House / Elias Crameri and Sons.</p>
Former Primary School	18 Palmerston Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply solar energy system controls. 	 <p>Figure 20. Former Maryborough Primary School 404.</p>
Tiverton (Sir Edmund Herring House)	16 Peel Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply tree controls to: <ul style="list-style-type: none"> Mature ironbark tree (<i>Eucalyptus sideroxylon</i>) Designate outbuildings (detached kitchen building and weatherboard stable) as not exempt under Clause 41.03-4. 	 <p>Figure 21. Tiverton.</p>

Name	Address	Recommendation	Image
		<ul style="list-style-type: none"> Apply solar energy system controls. 	
Briston Hill Corner Store	20 Palmerston Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply solar energy system controls. 	 <p>Figure 22. Briston Hill Corner Store.</p>

4.2. Remove from the HO

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<ul style="list-style-type: none"> ▪ 102 Burns Street Maryborough 3465 ▪ 104 Burns Street Maryborough 3465 ▪ 106 Burns Street Maryborough 3465 ▪ 1 - 15 Campbell Street Maryborough 3465 ▪ 7 Carrick Street Maryborough 3465 ▪ 9 Carrick Street Maryborough 3465 ▪ 10 Carrick Street Maryborough 3465 ▪ 12 Carrick Street Maryborough 3465 ▪ 14 Carrick Street Maryborough 3465 ▪ 16 Casey Street Maryborough 3465 ▪ 3 Christian Street Maryborough 3465 ▪ 4 Christian Street Maryborough 3465 ▪ 8 - 12 Christian Street Maryborough 3465 ▪ 14 Christian Street Maryborough 3465 ▪ 16 Christian Street Maryborough 3465 ▪ 16 Clarendon Street Maryborough 3465 ▪ 26 Clarendon Street Maryborough 3465 ▪ 29 Clarendon Street Maryborough 3465 ▪ 31 Clarendon Street Maryborough 3465 ▪ 33 Clarendon Street Maryborough 3465 ▪ 39 Clarendon Street Maryborough 3465 ▪ 41 Clarendon Street Maryborough 3465 ▪ 43 Clarendon Street Maryborough 3465 ▪ 45 Clarendon Street Maryborough 3465 ▪ 47 Clarendon Street Maryborough 3465 ▪ 51 Clarendon Street Maryborough 3465 ▪ 53 Clarendon Street Maryborough 3465 ▪ 55 - 61 Clarendon Street Maryborough 3465 ▪ 63 Clarendon Street Maryborough 3465 ▪ 113 Clarendon Street Maryborough 3465 ▪ 115 Clarendon Street Maryborough 3465 ▪ 51 Clarke Street Maryborough 3465 ▪ 53 Clarke Street Maryborough 3465 	<ul style="list-style-type: none"> ▪ 67 Kars Street Maryborough 3465 ▪ 69 Kars Street Maryborough 3465 ▪ 71 Kars Street Maryborough 3465 ▪ 73 Kars Street Maryborough 3465 ▪ 75 - 77 Kars Street Maryborough 3465 ▪ 81 Kars Street Maryborough 3465 ▪ 83 Kars Street Maryborough 3465 ▪ 85 Kars Street Maryborough 3465 ▪ 87 Kars Street Maryborough 3465 ▪ 89 Kars Street Maryborough 3465 ▪ 90 Kars Street Maryborough 3465 ▪ 94 Kars Street Maryborough 3465 ▪ 6 Lake Road Maryborough 3465 ▪ 8 Lake Road Maryborough 3465 ▪ 1 Linton Drive Maryborough 3465 ▪ 3 Linton Drive Maryborough 3465 ▪ 5 Linton Drive Maryborough 3465 ▪ 7 Linton Drive Maryborough 3465 ▪ 2 Logan Street Maryborough 3465 ▪ 3 Lowenstein Street Maryborough 3465 ▪ 8 Lowenstein Street Maryborough 3465 ▪ 10 Lowenstein Street Maryborough 3465 ▪ 10 -12 Majorca Road Maryborough 3465 ▪ 9 Mark Twain Drive Maryborough 3465 ▪ 60 McClure Street Maryborough 3465 ▪ 17 McKean Street Maryborough 3465 ▪ 85 Napier Street Maryborough 3465 ▪ 87 - 94 Napier Street Maryborough 3465 ▪ 98 Napier Street Maryborough 3465 ▪ 103 Napier Street Maryborough 3465 ▪ 105 Napier Street Maryborough 3465 ▪ 11 Neill Street Maryborough 3465 ▪ 13 Neill Street Maryborough 3465
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4.3. Further investigations and next steps

4.3.1. Phelan Homes

4.3.1.1. Introduction

During the course of the Review, Extent Heritage also investigated the provenance of Phelan Homes and their potential heritage values to Maryborough and the Central Goldfields Shire. The importance of the homes and the associated factory to the local community was communicated during the course of consultation with the Heritage Reference Group.

Extent Heritage considers that there is a strong basis to include known Phelan Homes in the Heritage Overlay for their historical associations and representative designs of post-war prefabricated housing. Unfortunately, the research undertaken as part of the scope for the Maryborough Heritage Review has established that the areas that are likely to best reflect the heritage values of these homes lie outside the extent of HO206. The potential examples of Phelan Homes within HO206 represent individual examples of residences potentially purchased by private buyers rather than representing the precincts of these homes constructed by Phelan for the State Government. The identification of these properties as potential Phelan Homes is also based on physical characteristics only and has not been substantiated with documentary archival evidence.

The consideration of Phelan Homes beyond the existing boundaries of HO206 falls outside the scope of this project engagement. Accordingly, it is Extent Heritage's recommendation that protection of the potential Phelan Homes within the existing HO206 curtilage is not pursued and that further work is undertaken on the known areas of Phelan Homes in the east of Maryborough with a view to potentially pursuing new heritage controls for these areas.

The following findings are provided to substantiate this recommendation.

4.3.1.2. History

As with the remainder of Victoria, Maryborough was faced with a housing crisis in the post-war period. Catalysed by the lack of residential development during the downturn of the 1930s Depression followed by World War II, as well as the township's growing population stemming from the continued prosperity of industrial revival, there was an acute demand for housing in Maryborough by the 1940s (Osborn 1995, 321; The Argus 1944, 3).

The shortage soon came to the attention of the Housing Commission of Victoria, which was initially established in 1938 to improve housing conditions and provide housing for persons of limited means in Melbourne (Howe 1988; The Argus 1945, 5). By the post-war period however, the Housing Commission was also overseeing housing developments in both the suburban fringes and in regional Victoria. Against this backdrop, Maryborough was ultimately included in the Housing Commission's 1945 Country Housing Programme, which saw an initial twenty-five houses constructed on land bounded by Clarke, Dodds and Crimea Streets in 1946 and 1948, and an

additional fifteen houses constructed on Park Road in 1948, the latter of which were constructed by the firm William Phelan & Sons (The Argus 1945, 5; The Argus 1945, 3; Osborn 1995, 322).

As a result of the successful completion of the Park Road dwellings under Phelan & Sons, the Housing Commissions provided Phelan & Sons with a factory on the former Royal Australian Air Force stores in Carisbrook for the purpose of providing prefabricated transportable houses to the western half of Victoria (Osborn 1995, 322). The first prefabricated houses were produced by 1950 and delivered to Macaulay Street, Maryborough, and another twenty-five were supplied in 1952 to the Housing Commission Estate that was bounded by Railway Crescent, Spring Street, Kennedy Street and Primrose Street in East Maryborough (Osborn 1995, 322). A further fifteen homes were also built on the newly subdivided Railway Housing Estate adjacent to the Housing Commission era east of Primrose Street and Roscholler Park in December 1954 (Osborn 1995, 323). Erected on railway land, these homes were developed specifically for Maryborough Railway employees. By this period, Phelan had assumed full control and ownership of the Carisbrook factory buildings, having purchased them from the Housing Commission earlier in January 1954 (Osborn 1995, 323).

Reflecting Maryborough's post-war expansion, these prefabricated houses were predominantly located in greenfield areas east of the railway line and towards the outer areas away from the original central township area. They consisted of weatherboard dwellings with hipped and/or gabled roof forms of corrugated iron, grouped timber framed sash windows and brick chimneys (see Figure 23 and Figure 24). By 1954, the Phelan & Sons factory was producing one house per day, which were either shipped to Housing Commission Estates in Victoria and New South Wales or made available for purchase by private buyers (The Argus 1954, 19).



Figure 23. 1961 photograph of a Phelan home being transported from the Carisbrook factory. *Source:* Unknown. 1961. Photograph. A 'Phelan' ready built home loaded for transport, Maryborough, 1961. In collection: John Young Collection. Natural Resources Conservation League of Victoria.



Figure 24. 1950 photograph of the first Phelan prefabricated home leaving the factory at Carisbrook. Source: Osborn, B 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough: Central Goldfields Shire Council.

4.3.1.3. Fieldwork

Given the lack of historical information relating to the potential Phelan Homes within HO206, fieldwork was undertaken to identify potential examples. Features that were identified as potentially being related to Phelan Home design and construction included:

- Low pitched hipped roof forms;
- Weatherboard and brick materials;
- Expressed brick chimney;
- Single hung timber sash windows with central horizontal mullion, often grouped;
- Weatherboard construction;
- Corrugated iron roofs supported by exposed rafter tails.

It is noted that many of these features are not unique to Phelan Homes only and are also found in other modest post-war housing within Maryborough. This makes it difficult to be certain that a building is a Phelan design in the absence of archival evidence.

Potential Phelan Homes within the existing boundaries of HO206 that were identified during fieldwork include:

- 220 Railway Street;
- 51 Inkerman Street;
- 33 Victorian Street;
- 35 Victorian Street; and
- 240 Gladstone Street.

4.3.1.4. Potential Phelan homes outside HO206

Historical research indicates that there were Phelan homes concentrated in East Maryborough along Macaulay Street, the Former Housing Commission Estate bounded by Railway Crescent, Spring Street, Kennedy Street and Primrose Street, and on the former Railway Housing Estate east of Primrose Street and Roscholler Park. An initial site visit, coupled with contemporary aerial photographs and 2008 Google Streetview imagery, confirmed that there is a large concentration of houses with features related to Phelan Home design and construction. These include:

Macaulay Street

- 5 Macaulay Street.

Former Railway Housing Estate

- 86-98 Golden Wattle Drive;
- 48-64 Golden Wattle Drive;
- 19-25 Spring Street;
- 1-7 Porter Avenue; and
- 2-8 Porter Avenue.

Railway Housing Estate

- 102-116 Golden Wattle Drive;
- 2-8 Michael Street;
- 9-11 Michael Street;
- 27-39 Spring Street; and
- 23 and 26 Porter Avenue.

4.3.1.5. Findings and recommendations

As a result of the research and inspections undertaken during the course of the Maryborough Heritage Review, it is clear that the proposed Phelan Homes Serial Listing to capture potential Phelan Homes within HO206 would not be well founded from a methodological perspective and, as a result, would not appropriately capture the significance of these places. The potential examples of Phelan Homes within the precinct are unable to be fully authenticated in the absence of archival material and are isolated infill examples rather than reflective of post-war housing development in Maryborough and the important role Phelan played in the provision of housing in this era. It is also noted that sympathetic post-war development, of the type typified by Phelan homes, has been identified as being of contributory value to several of the revised heritage precincts included in the Maryborough Heritage Review, including the Western Residential Precinct, the Eastern residential Precinct and the Palmerston Street Precinct. Accordingly, infill examples of post-war development in Central Maryborough, whether Phelan Homes or other examples would be appropriately protected even without the Serial Listing.

The following recommendations are provided in relation to Phelan Homes:

- Do not proceed with the proposed Phelan Homes Serial Listing for properties within HO206, noting that sympathetic post-war development is identified as contributory in relevant precincts; and
- Undertake a review of the known areas of Phelan development in East Maryborough with a view to progressing heritage listing for these areas.

4.3.2. Places within HO206 for further investigation

While the Heritage Review aimed to provide as comprehensive review as possible of the HO206 area, there were some sites that were not able to be fully investigated due to scope constraints. On balance these were places that were well-represented elsewhere in the proposed heritage places identified within the study area or were on a *prima facie* basis considered less likely to meet the threshold for inclusion in the HO.

In the event that further investigation of the Maryborough area was to occur, it is recommended that the following places are investigated:

- 8 Campbell Street for the association with prominent local business man (*Criterion H*);
- Campbell Street as a discrete residential precinct characterised by a relatively cohesive streetscape of intact and representative freestanding Victorian, Federation, and interwar era residences (*Criterion A and Criterion D*); and
- Maryborough Highland Society for potential social significance (*Criterion A and Criterion G*).
- 27 High Street as an intact Victorian villa following Community Consultation (*Criterion A and Criterion E*).

4.3.3. Places outside HO206 for further investigation

During the course of consultation undertaken as part of the Heritage Review a number of places were identified that were outside the HO206 boundary and therefore outside the scope of the study, however on a *prima facie* basis appear to warrant a review to determine whether their inclusion in the HO would be warranted. These include:

- Phelan Homes (refer 4.3.1);
- Isabella Wharton Homes, Dundas Street;
- Simson Brother Memorial Lookout; and
- Roscholler Park.

It is noted that this is not a comprehensive list as the Heritage Review did not undertake fieldwork or historical review of the areas outside HO206.

4.3.4. Other recommendations

It is recommended that the following investigations and assessments occur that were outside the scope of the Heritage Review:

- Investigate the archaeological potential of the former Chinese Camp area (area roughly bounded by Napier Street, Burns Street/the railway, Chirstian Street and Tuaggra Street), with a view to potential inclusion in the VHI, if warranted; and
- Consider the preparation and adoption of a local heritage policy.

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APPENDIX A – STAGE 1 REVIEW AND RECOMMENDATIONS REPORT

EXTENT



MARYBOROUGH HERITAGE REVIEW

VOLUME 2: CITATIONS

Prepared for Central Goldfields Shire

January 2024



SYDNEY
MELBOURNE
BRISBANE
HOBART

**PEOPLE
CENTRED
HERITAGE**



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Document Control

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APPENDIX A – INDIVIDUAL PLACE CITATIONS

HOX - Bristol Hill

Heritage Place: Bristol Hill

HO Reference: TBA

Date updated: 8 January 2024

Address: Area bounded by Gladstone Street, Inkerman Lane, Kars Street, Weller Street, Wellington Street, Clarendon Street, Maryborough



Figure 1. Mine tailings on Bristol Hill.

Item Group: Landscape - Cultural

Key Theme: Transforming and managing land and natural resources

Item Type: Historic Landscape

Key Sub-theme: Gold mining

Designer: N/A

Construction: N/A

Builder: N/A

Style: N/A

Significance Level: Local

Controls:	Q	External paint controls	0	Internal alteration controls	Tree controls (Eucalyptus)
	0	Included on Victorian Heritage Register	0	Incorporated Plans	Outbuildings and fence not exempt
	0	Prohibited uses may be permitted	0	Aboriginal Heritage Place	0 Solar energy system controls

Extent Heritage Pty Ltd | Heritage Citation: Individual Place
Bristol Hill, Maryborough

Curtilage

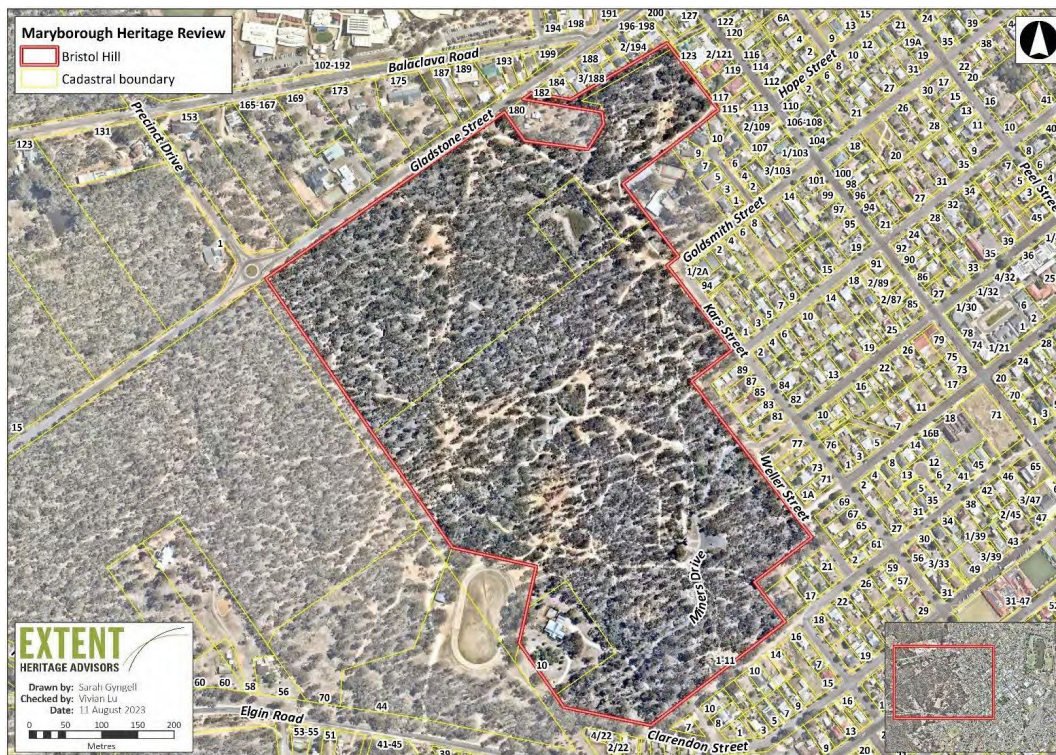


Figure 2. Aerial map showing boundary of Bristol Hill, Maryborough.

Statement of Significance

What is significant?

Bristol Hill bound by Gladstone Street, Inkerman Lane, Kars Street, Weller Street, Wellington Street and Clarendon Street; Maryborough is locally significant. The mid to late-nineteenth to early twentieth century mining landscape, bluestone Pioneers' Memorial Tower, and the Pioneer Cemetery, Maryborough's first official cemetery, are of significance to the Central Goldfields Shire. The broader revegetated *Eucalyptus* landscape is of contributory significance to Bristol Hill, as are all elements attributed to the mining use of the site, including dams, mullock heaps, shafts and any remnant infrastructure associated with historical mining.

How is it significant?

Bristol Hill is of local historical significance to the Central Goldfields Shire.

Why is it significant?

Bristol Hill is of historical significance to the township of Maryborough and Central Goldfields Shire more broadly as a substantial late nineteenth and early twentieth century mining landscape with tangible landscape features that reflect the historical use of the site in the colonial exploitation of natural resources. One such feature is the pioneer cemetery in the southeastern corner of the site which includes the graves of both European miners and Chinese miners. This historical narrative is further reflected and commemorated by the historically significant Pioneers' Memorial Tower located onsite, which was completed in 1933 and constructed using materials from the disassembled Maryborough Gaol. Bristol Hill is also of local historical significance to the township of Maryborough, having fostered the development of the town directly on the boundaries of the mining landscape. This represents the historical developmental pattern of mining townships growing on the boundaries of mining landscapes across the broader Central Victorian Goldfields. (Criterion A)

Bristol Hill is of representative significance to the Central Goldfields Shire as an intact alluvial and deep lead mining landscape. Bristol Hill includes the key characteristics of large-scale nineteenth century mining landscapes, as evidenced by the remnant features which include dams, mullock heaps, shafts, spoil from cyanide tailings, elements associated with historical mining practices that were predominant across the central Victorian goldfields in the nineteenth century. These features are representative of mining trends in the Central Goldfields Shire, as well as the broader central Victorian goldfields. The landscape also reflects the twentieth century revegetation and reclamation as public land which commonly occurred at such mining sites following the cessation of mining activities. Accordingly, the subsequent landscape layer, predominantly comprised of *Eucalyptus* trees and scrub, further demonstrates the key characteristics of a mining landscape in the post Gold Rush period. (Criterion D)

HERCON Criteria Assessment

<i>A</i>	<i>Importance to the course, or pattern of our cultural or natural history</i>	<p>Bristol Hill is of historical significance to the township of Maryborough and Central Goldfields Shire more broadly as a substantial late nineteenth and early twentieth century mining landscape with tangible landscape features that reflect the historical use of the site in the colonial exploitation of natural resources. One such feature is the pioneer cemetery in the southeastern corner of the site which includes the graves of both European miners and Chinese miners. This historical narrative is further reflected and commemorated by the historically significant Pioneers' Memorial Tower located onsite, which was completed in 1933 and constructed using materials from the disassembled Maryborough Gaol. Bristol Hill is also of local historical significance to the township of Maryborough, having fostered the development of the town directly on the boundaries of the mining landscape. This represents the historical developmental pattern of mining townships growing on the boundaries of mining landscapes across the broader Central Victorian Goldfields.</p>
<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	<p>Bristol Hill is of representative significance to the Central Goldfields Shire as an intact alluvial and deep lead mining landscape. Bristol Hill includes the key characteristics of large-scale nineteenth century mining landscapes, as evidenced by the remnant features which include dams, mullock heaps, shafts, spoil from cyanide tailings, elements associated with historical mining practices that were predominant across the central Victorian goldfields in the nineteenth century. These features are representative of mining trends in the Central Goldfields Shire, as well as the broader central Victorian goldfields. The landscape also reflects the twentieth century revegetation and reclamation as public land which commonly occurred at such mining sites following the cessation of mining activities. Accordingly, the subsequent landscape layer, predominantly comprised of</p>

		Eucalyptus trees and scrub, further demonstrates the key characteristics of a mining landscape in the post Gold Rush period. (Criterion D)
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics</i>	The place does not meet this criterion.
<i>F</i>	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
<i>G</i>	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
<i>H</i>	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

Bristol Hill covers an irregular extent of land occupying part of the Bristol Hill Reserve. The area is located along the western side of the town and is generally bounded by Gladstone Street to the northwest, Kars Street and Inkerman Lane to the northeast, and Wellington Street and Clarendon Street to the southeast and south.

The landscape consists of regenerated bushland of land formerly used for gold mining in the mid-nineteenth to early twentieth century. Remnant tailings from the past mining operations have been left in-situ throughout the landscape. The hilly topography provides expansive views of the town, particularly from the vantage point at the Bristol Hill Pioneer Memorial Tower. The reserve and wider landscape is crossed by various walking and cycling tracks. The reserve is primarily accessed via Miners Drive which extends south from Raglan Street and Weller Street to the junction of Clarendon Street, Wellington Street and Archer Street.

Bristol Hill includes a number of historic built features. Constructed in 1933 from material of the old Maryborough Gaol, the Bristol Hill Pioneer Memorial Tower is located on a vantage point off Miners Drive. The tower includes a paved parking area and is accessed via concrete steps. The memorial tower consists of a rendered masonry structure painted white. The centred tower with internal spiral stairs provides access to the lookout on the top of the tower. Surrounding the tower is a sheltered portico and raised platform above, also accessible from the tower. The portico is detailed with a pediment and moulded lettering reading 'Pioneers' Memorial'. Several polished granite memorial plaques with inscribed lettering painted gold are inset to the base of the tower.

The Bristol Hill Pioneer Cemetery is located approximately 150 metres east of the Bristol Hill Pioneer Memorial Tower. Used as an active cemetery in the mid to late 1850s, it is estimated the cemetery contains a minimum 486 burials. However, there are no headstones located within the cemetery. Early cemetery remnants include a boulder engraved with the words 'Pioneer Cemetery Early 1850s' and embedded stones forming a cross on the ground. A stone memorial plaque erected in 2004 lists the names of the known burials within the cemetery. The 2004 memorial includes a single early sandstone memorial stone with engraved lettering dated 26 March 1858.

Bristol Hill remains in fair to good condition as a regenerated bushland landscape. Alterations to the site include the paved roadway, unpaved tracks and other minor elements that facilitate the contemporary community use of the area. Bristol Hill is in good condition and with moderate integrity.

Alterations and Additions

Establishment of the paved roadway, unpaved tracks, treated timber perimeter boundaries on Weller Street, and metal balustrade on the terrace steps from the Memorial Tower carpark to the base of the tower. These features are considered to facilitate the contemporary community use of the area.

Installation of metal grating over open mine shafts to the general public from injury.

In addition to the above alterations and additions, the mining landscape is used by recreational four-wheel drivers and dirt bike enthusiasts, which has had an impact on the integrity of the terrain. *

** Denotes element that detracts from the cultural significance of the place.*

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A. Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002,

DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

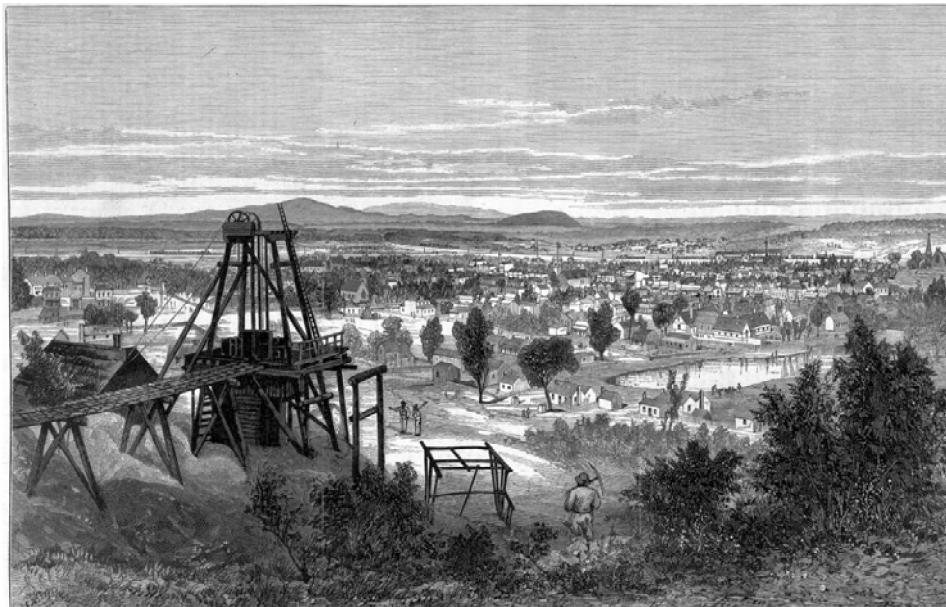


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and

Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

Bristol Hill, northwest of the main township of Maryborough, is historically recognised as one of the main locations for Maryborough gold extraction in the nineteenth century. Historically, the place underwent several name changes after European colonisation. Initially, the Pioneer Cemetery was known as the Quartz Hill Cemetery, and the hill is labelled as 'Reef Hill' on some early maps of Maryborough (Roberts 2022, 10). The hill was eventually named 'Bristol Hill' after the main gold-bearing quartz 'Bristol Reef' running through the hill (see Figure 5) (Roberts 2022, 10).



Figure 5. Map detail showing central Maryborough and the location and orientation of Bristol Reef.
Source: De Gruchy & Leigh. 1861. *Mining district of Maryborough*. Map, 106.2 x 75.8cm. MAP RM 1730. National Library of Australia. <https://nla.gov.au/nla.obj-231571787/view>.

Mining on Bristol Hill

The following overview of Bristol Hill's mining history is largely drawn from Craig Roberts' detailed research in his publication, *Quartz Hill: The Gold Mining History of Bristol Hill, Maryborough* (Roberts 2022). Where other sources are utilised, they have been cited.

The first Gold Rush in Maryborough occurred in 1854. Four years later, a pair of miners discovered the southern end of the gold-bearing quartz reef on Bristol Hill and began to extract the quartz, triggering others to take up claims and mine Bristol Hill (Roberts 2022, 13-14). At this stage, the reef was known as California Reef. The surfacing type of mining required the upper slopes to be stripped of topsoil up to 31cm. In addition to the quartz mining opportunities, the hill also yielded alluvial gold from the gullies.



Figure 6. 1905 Map detail showing Bristol Hill, the old cemetery reserve and surrounding streets.

Source: McGauran, T. 1905. *Maryborough, Parish of Maryborough, County of Talbot*. Map, 57 x 69cm.

Parish maps of Victoria Record ID 9920191753607636. State Library of Victoria.

<https://viewer.slv.vic.gov.au/?entity=IF7029573&mode=browse>.

The reef was renamed Bristol Reef by 1859, likely after the Bristol Arms Hotel, which was located close by at the southern end of the reef (Roberts 2022, 14). Consequently, the hill's name was changed to match. By 1860, there were many quartz miners in Maryborough, however only one quartz-crushing machine. Quartz mining required greater capital than alluvial,

and heavy equipment, a situation which limited the early quartz mining at Bristol Hill to relatively shallow mining and limited success in general. In 1864, more heavy machinery was brought in. The yields from the reefs improved due to the mining having become more accessible. Similar to other Victorian goldfields, alluvial gold was exploited first due to its accessibility.

In 1870, the discovery of new reefs on Bristol Hill, such as one off the Coleman's Reef on the eastern side of the hill, meant payable quantities of ore continued to be mined (Roberts 2022, 34). By the late 1870s, the gold yields from quartz mining had increased in quantity and importance in relation to alluvial mining. In the following decade, yields began to decline, with the closure of the most significant mine on Bristol Hill, Bristol Hill Extended Company, due to reduced yields and incurred losses (Roberts 2022, 52). Much of the equipment, stonework from the boilers, and any quality bricks were sold and removed to a mine at Hepburn (*The Argus*, 26 October 1881, 11). The quartz-crushing battery from the mine was sold and removed to a claim west of Ballarat. By the 1890s, mining had declined in the Maryborough mining district, with the remaining miners, mainly individuals, working small claims or small co-operatives (Roberts 2022, 55). Quartz-crushing continued, with Ivor Davies installing another battery at Bristol Hill to process quartz from the Maryborough district. The battery was later expanded with the addition of a cyanide plant to extract gold from mine tailings, a relative new technique. Davies also operated an open-cut mine on the slope above the Pioneer Cemetery, however the operation did not pay and was abandoned by 1904 (Roberts 2022, 55). The Bristol Hill and Cyanide Plant was advertised for sale in 1914. Small mining operations continued into the twentieth century and the last claim was lodged in 1946, but no evidence has been found of the claim being worked (Roberts 2022, 79). The minimum recorded quantities of gold yielded from Bristol Hill are shown in Table 1.

Table 1. Total gold retrieved from Bristol Hill from the 1850s to 1910s (Table 9 in Roberts 2022, 81).

Decade	Tons Crushed	Gold (Oz)
1850s	30	50
1860s	1603	1965
1870s	15972	6200
1880s	5538	1621
1890s	2762	416
1900s	292	81
1910s	156	94
Totals	26353	10427

Pioneer Memorial Tower and improvements to the Hill

The mining legacy left Bristol Hill 'a mass of holes everywhere' by 1920, a local resident recalled, with little vegetation remaining (Roberts 2022, 71). During 1924, the Maryborough Progress Association initiated a revegetation scheme, which included school children replanted deserted mining areas of Bristol Hill. Dangerous holes were filled in the 1930s and the hill was set aside

as a site for public purposes (see Figure 8). During the Great Depression (1929-1939) suitable projects were sought to provide employment. In this climate when many businesses serving miners still existed, the town desired a memorial to the colonial pioneers who established the town (Roberts 2022, 74). Unemployment Relief Committee funds were used to secure employment for men and to build a memorial. The memorial was constructed and opened in 1933, as shown in Figure 7. Even in the 1930s, the level hill remained sparsely vegetated.



Figure 7. View of the Pioneer Memorial on opening day, 1933. *Source:* Carisbrook Historical Society, Pioneer Memorial Tower. Digitised photograph. Facebook (website). Accessed 8 August 2023. <https://www.facebook.com/photo/?fbid=4390607364325119&set=qm.2879420362309022>.



Figure 8. Extract from 1948 Parish plan showing land reserved for Bristol Hill. *Source:* Department of Lands and Survey. 1948. *Town of Maryborough Sheet 2*. Parish plan. Regional Land Office Parish and Township Plans Digitised Reference Set VPRS 16171/P0001/6. Public Records Office Victoria. https://mapwarper.prov.vic.gov.au/maps/2365#Preview_Rectified_Map_tab.

Work on the Pioneer Memorial Tower began in 1932, with Mr. E. J. Peck as the Honorary Architect. The foundation stone was laid in 1932 and the tower was completed in 1933. According to Roberts, much of the bluestone was sourced from the old Maryborough Gaol site, with 'the main structure [of the memorial] constructed around the internal spiral stairway from a warder's tower' (2022, 74). An early view of the memorial tower is shown in Figure 9. Inscribed on plaques in the bottom wall of the memorial are poems by Henry Lawson, who died ten years prior. The following extract from Lawson's *The Roaring Days* was based on his boyhood memories of the Gulgong and Pipeclay goldfields in New South Wales:

The yellow mounds of mullock,
With spots of red and white
The scattered quartz that glistened.

Like diamonds in light

The azure line of ridges

The bush of darkest green

The little homes of calico

That dotted all the scene. (Henry Lawson 1889)



Figure 9. Bristol Hill Tower, a memorial to pioneers. *Source:* Rose Stereograph Co. c. 1920-1954. Negative: glass. In Rose series. Accession No.: H32492/4381. State Library of Victoria. <https://viewer.slv.vic.gov.au/?entity=1F894488&mode=browse>.

Pioneer Cemetery

Located in the southeastern corner of Bristol Hill is Maryborough's first official cemetery, which was in use between 1854 and 1859. Any wooden markers once in place have now rotted away, however many burial mounds remain clearly outlined (Figure 10, Figure 11). The extant base of one headstone remains (Figure 12). A minimum of 486 possible graves were identified in Roberts' 2022 text, *Quartz Hill: The Gold Mining History of Bristol Hill, Maryborough*, of which 40 have been named on a plaque at the front of the cemetery, which was constructed in 2004. A large cross of white stones is set into the ground within the cemetery (Figure 13).

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across

the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar development associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

Bristol Hill is a mining landscape associated with the historical development of the township of Maryborough and is broadly associated with overarching mining of the Central Victorian Goldfields in the mid-late nineteenth century. Mining landscapes are present across all of central Victoria, however due to the scale of Bristol Hill, mining landscapes in neighbouring municipalities have been addressed below to elicit more meaningful comparisons.

Comparable examples include:

- **Maldon Historic Reserve, Mount Alexander Shire Council (H0443).** The Maldon Historic Reserve comprises approximately 663 hectares of bushland, and both alluvial and deep lead gold mining landscape. The Maldon Historic Reserve is located on Mount Tarrengower, a highly significant geological formation which was extensively mined during the nineteenth century. The Maldon Historic Reserve is comparable with the Bristol Hill Precinct as two examples of substantial nineteenth century mining landscapes with remnant alluvial and deep lead workings. Both sites are substantial geological reserves located on large rises, with both sites visible from the other. Key differences however include the scale of each site, with the Maldon Historic Reserve being 663 hectares, and the Bristol Hill Precinct being thirty-four hectares. The Maldon Historic Reserve also has a greater variety of remnant mining infrastructure and evidence showing technical variety that is not as well represented at Bristol Hill. Bristol Hill however does have identified miner's graves that are not represented at the Maldon Historic Reserve. Both mining landscapes are also landscape memorials, although where the Maldon Historic Reserve and ANZAC Hill were planted to commemorate Maldon servicemen and women who were killed in WWI, the Bristol Hill Memorial includes a stone tower constructed in 1932 using materials from the demolished Maryborough Gaol and several plaques commemorating Maryborough pioneers who perished on the goldfields. With this, though the Maldon Historic Reserve is larger and includes evidence of a greater variety of mining techniques, the Bristol Hill Memorial includes the Pioneer Memorial and Pioneer Cemetery which more deeply represents the mining narrative of the Central Victorian Goldfields than the Maldon Historic Reserve. With this, whilst both sites are different, they are still comparable as two substantial mining landscapes and memorial sites in relatively close proximity with each other, being separated by approximately thirty kilometres.
- **Port Phillip and Colonial Gold Mining Co. and Clunes Co-operative Quartz Mining Co. Site, off Station Flat Road, Clunes, Hepburn (H0155).** The mining landscape in Clunes is a historically significant landscape, with Clunes being the site of the first European gold find marking the catalyst for the Gold Rush in 1850. With the establishment of the Port Phillip

Company and their battery comprising eighty stampers, the Clunes gold workings were some of the largest in world during the mid-nineteenth century. The site is comparable with the Bristol Hill Precinct as two early mining landscapes approximately twenty-seven kilometres away from each other. In terms of scale of workings, the Clunes site is larger than Bristol Hill, with Bristol Hill being approximately thirty-four hectares and the Clunes example being approximately forty hectares. However, the integrity of the Clunes mining landscape is significantly less than the integrity of Bristol Hill, as the Clunes landscape has been extensively worked by contemporary prospectors. Bristol Hill has a greater variety of contributing elements as well, being located in reforested bushland, including alluvial workings as well as open shafts, marked and unmarked graves, dams, mullock heaps as well as the Bristol Hill Pioneer Memorial Tower. In terms of the scale of each town that the mining landscapes are associated with, the township of Clunes is significantly smaller than the township of Maryborough, with Clunes closer resembling the township of Maldon or Talbot to the north. Overall, Bristol Hill is considered to be of greater significance than the Clunes mining landscape, owing to the tangible remains of the Bristol Hill mining operations.

- Duke and Timor Deep Lead Gold Mine, Grand Duke Historic Reserve, Timor-Dunolly Road, Timor, Central Goldfields Shire Council (H1764, and HO108).** The Grand Duke and Timor Deep Lead Gold Mine in Timor is a Victorian Heritage Register mining landscape comprising open alluvial workings and a substantial engine house constructed in granite and brick. During operation, the Cornish pumping engine was one of the largest in the world, with only two other examples of equal scale located in Cornwall. The Timor site is comparable to Bristol Hill as two remnant mining landscapes located in Central Goldfields Shire. However, though of comparable scales, the Grand Duke mining showing a greater emphasis on deep lead mining, and whilst Bristol Hill does have remnant shafts, historically the Grand Duke mine was a far more lucrative business endeavour. In terms of physical fabric, both sites have historically significant structures which reflect the use or memorialisation of site use, with the Grand Duke site occupied by the engine house, and Bristol Hill occupied by the Pioneer Memorial tower. With this, though Bristol Hill does have the cemetery, mullock heaps, dams and evidence of workings, the Grand Duke site is arguably of higher significance as a rare example of a private company's enterprise and a historically significant engine house; this is evidenced in its Victorian Heritage Register status. Yet, though the Grand Duke site is of greater significance to the State of Victoria, Bristol Hill is arguably of equal relative significance to the township of Maryborough due its proximity and its connection with the development of the town.

The above comparable sites are all located within the same broader geographical landscape as each other, contextualising the development and historical use of each site. The use of each site is legible in the remnant fabric and landscape features, however the Maldon Historic Reserve, like Bristol Hill, was subject to extensive twentieth century revegetation practices. These practices are well represented historically across the central Victorian Goldfields region. Of the sites chosen to complete the above comparative analysis, the Grand Duke mine in Timor is the only site located in the Central Goldfields Shire on account of limited representation of similar sites within the municipality. The above examples all represent historical mining landscapes that historically acted as catalysts for the development of their associated townships, with the Port Phillip Mining Company spurring the development of Clunes, the Grand Duke site encouraging the rise and fall of Timor, and the Mount Tarrengower Maldon Historic

Area assisting in the development of Maldon. With this, Bristol Hill can be recognised as being of equal significance to other locally significant sites located in neighbouring municipalities, whilst not exhibiting the unique characteristics that make the Grand Duke mine in Timor significant to the State of Victoria. This analysis highlights the local significance of Bristol Hill to the Central Goldfields Shire Council, and more specifically, the township of Maryborough.

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The Argus (Melbourne).

The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. **All** photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 10. Burial plot mounds, Maryborough Pioneer Cemetery.



Figure 11. Burial plot mounds, Maryborough Pioneer Cemetery.



Figure 12. Extant headstone base fragment, Maryborough Pioneer Cemetery.



Figure 13. Cross of quartz rocks set in the earth, Maryborough Memorial Cemetery.



Figure 14. View of Bristol Hill from the top of the Pioneers' Memorial Tower, looking North.



Figure 15. View of Bristol Hill from the top of the Pioneers' Memorial Tower, looking West.



Figure 16. View of Pioneer Memorial tower and surrounds.



Figure 17. Detail view of Pioneer Memorial Tower.



Figure 18. View of Bristol Hill landscape.



Figure 19. View of Maryborough from the Pioneer Memorial Tower.

Bristol Hill Corner Store

Heritage Place: Bristol Hill Corner Store

HO Reference: TBA

Date updated: 9 January 2024

Address: 20 Palmerston Street, Maryborough



Figure 1. Bristol Hill Corner Store

Item Group: Commercial building

Key Theme: Building Victoria's industries and workforce

Item Type: Former hotel and corner store

Key Sub-theme: Marketing and retailing

Designer: unknown

Construction: 1877

Builder: unknown

Style: Victorian era commercial

Significance Level: Local

Controls:	Q	External paint controls	0	Internal alteration controls	Tree controls
	0	Included on Victorian Heritage Register	0	Incorporated Plans	Outbuildings and fence not exempt
	0	Prohibited uses may be permitted	0	Aboriginal Heritage Place	Solar energy system controls

Curtilage



Figure 2. Aerial map showing boundary of 20 Palmerston Street, Maryborough.

Statement of Significance

What is significant?

Bristol Hill Corner Store, located at 20 Palmerston Street, Maryborough is significant. The 1877 ground floor commercial property and 1890s upper story residential addition are both significant to the Central Goldfields Shire. The garage, along with other later alterations and additions are not significant.

How is it significant?

Bristol Hill Corner Store is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

Bristol Hill Corner Store is of historical significance as a commercial building that was constructed as part of the rapid development of Maryborough during the gold rush period, and the evolution of the town thereafter. It was established to serve the growing local community as a conveniently located hotel and later corner store due to the burgeoning gold mining industry in the area. Its strategic corner location within the township links the building to the general urban expansion in Maryborough in the second half of the nineteenth century, as the need for convenient amenities in growing residential areas increased. Bristol Hill Corner Store's varied functions over the years illustrate further phases of Maryborough's broader history. The building's transition from hotel to residences in 1920 is associated with the widespread delicensing that took place in Victoria in the early decades of the twentieth century, and its function as a convenience store and accommodation illustrates the evolving needs of the local community over time. (Criterion A)

Bristol Hill Corner Store is of aesthetic significance as an intact Victorian era commercial building characterised by Flemish bond red brick construction with face brick finish to the upper floor and gable end, four face brick profiled chimneys, the tall red brick chimney breast in the courtyard, small corner parapet, timber framed sash windows with expressed rendered sills to the ground floor, timber framed sash windows with expressed rendered sills and flat gauged arch lintels to the first floor, timber framed doors with top and side lights, hipped and gabled roof forms clad with corrugated sheet metal, and a wide return verandah with a skillion roof, and timber valance. Elements such as the dentil moulding to the Inkerman facade and corbel detailing to the chimneys further add to aesthetic significance. Bristol Hill Corner Store forms a significant streetscape feature, as it is one of very few two-storey buildings on Palmerston Street, is located on a prominent corner position fronting both Palmerston and Inkerman Streets and is situated within a predominantly residential area. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	Bristol Hill Corner Store is of historical significance as a commercial building that was constructed as part of the rapid development of Maryborough during the gold rush period,
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		and the evolution of the town thereafter. It was established to serve the growing local community as a conveniently located hotel and later corner store due to the burgeoning gold mining industry in the area. Its strategic corner location within the township links the building to the general urban expansion in Maryborough in the second half of the nineteenth century, as the need for convenient amenities in growing residential areas increased. Bristol Hill Corner Store's varied functions over the years illustrate further phases of Maryborough's broader history. The building's transition from hotel to residences in 1920 is associated with the widespread delicensing that took place in Victoria in the early decades of the twentieth century, and its function as a convenience store and accommodation illustrates the evolving needs of the local community over time.
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The place does not meet this criterion.
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	Bristol Hill Corner Store is of aesthetic significance as an intact Victorian era commercial building characterised by Flemish bond red brick construction with face brick finish to the upper floor and gable end, four face brick profiled chimneys, the tall red brick chimney breast in the courtyard, small corner parapet, timber framed sash windows with expressed rendered sills to the ground floor, timber framed sash windows with expressed rendered sills and flat gauged arch lintels to the first floor, timber framed doors with top and side lights, hipped and gabled roof forms clad with corrugated sheet metal, and a wide return verandah with a skillion roof, and timber valance. Elements such as the dentil moulding to the Inkerman facade and corbel detailing to the chimneys further add to aesthetic significance. Bristol Hill Corner Store forms a significant streetscape feature, as it is one of very few two-storey buildings on Palmerston Street, is located on a prominent corner position fronting both Palmerston and Inkerman Streets and is situated within a predominantly residential area.

F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Bristol Hill Corner Store comprises a two-storey former hotel building constructed in 1877. It is located on a corner allotment fronting Palmerston Street to the northwest and Inkerman Street to the southwest. The masonry structure is laid with a Flemish bond. It is finished with bagged brick with a cream colour on the ground level and face red brick on the upper level, including to the gable end. The hipped roof is clad with red corrugated sheet metal with four face brick chimneys with varied heights and corbelled detailing.

The street front facade at ground level is punctuated by neatly arranged timber sash windows with an expressed rendered sill and doorway. The main entrance door is situated on the corner face with painted lettering on the fanlight reading 'Bristol Hill Corner Store'. A double window on the Inkerman Street front also includes similar lettering. The facade fronting Palmerston Street includes a painted shield motif reading 'Bristol House'. The facade fronting Inkerman Street features dentil moulding. The street front facades are situated under a wide verandah over the footpath, featuring concrete footings and a timber valence, clad with a similar red corrugated sheet metal.

Above the verandah level includes a corner parapet with a painted sign also reading 'Bristol Hill Corner Store'. The roof above the verandah level comprises a gable form but a parapet extension partially obscures the roof profile from view. The parapet includes a faded painted advertisement. The main upper level extends over the northern side of the structure. Timber sash windows with an expressed sill and flat gauged arch lintel punctuate the upper-level facades.

An enclosed courtyard is located at the side southern elevation of the main building, fronting Inkerman Street. The garage of the neighbouring property, 70 Inkerman Street, abuts the courtyard. The entrance to the neighbouring property is via the courtyard and a tall face red brick wall with contrasting yellow brick string courses connects the two. The courtyard features a tall red brick chimney breast, potentially formerly part of an external kitchen as was common in Victorian era hotels.

The Bristol Hill Corner Store is presently used as a private residence. It is in good condition overall and is of moderate integrity.

Alterations and Additions

Historical internal alterations from its former use as a hotel to flats, a corner store, and residence.

Refurbishment of the verandah structure such as the addition of concrete footings.

Painting of some windowsills and lintels on the upper level.

New rainwater goods and wall mounted services.

- Contemporary commercial advertisement painted onto the parapet fronting Palmerston Street, which has then been overpainted.
- Overpainting in white of the bagged brick, below verandah level, at the street facing facade.

Modern accretions including aerial and electricals.

The Bristol Hill Corner Store remains in good condition and with moderate to high integrity.

• Denotes element that detracts from the cultural significance of the place.

History

Historical context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Oja Oja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murnong), possums and kangaroos. Meanwhile, the Oja Oja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Oja Oja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinton area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Oja Oja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and

Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s

and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

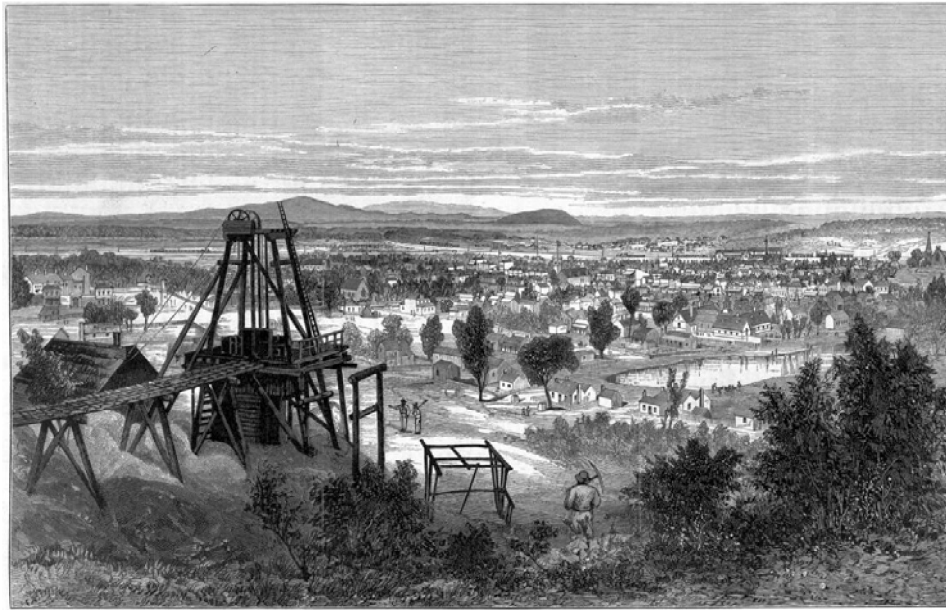


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's

streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The brick building on the street corner at 20 Palmerston Street was originally named the Bristol Hill Hotel, constructed in 1877. Following the discovery of new quartz reefs on Bristol Hill in the 1870s, in addition to the main Bristol reef, gold yields from quartz mining increased significantly (Roberts 2022, 34). The strategic street corner location was chosen to serve the Bristol Hill gold miners and surrounding local community (Figure 5) (Bick et al. 1992). According to the 1992 Maryborough Heritage Study, the location of the Bristol Hill Hotel was also chosen in order to attract trade over rival businesses, a common practice in the nineteenth century (Bick et al. 1992).

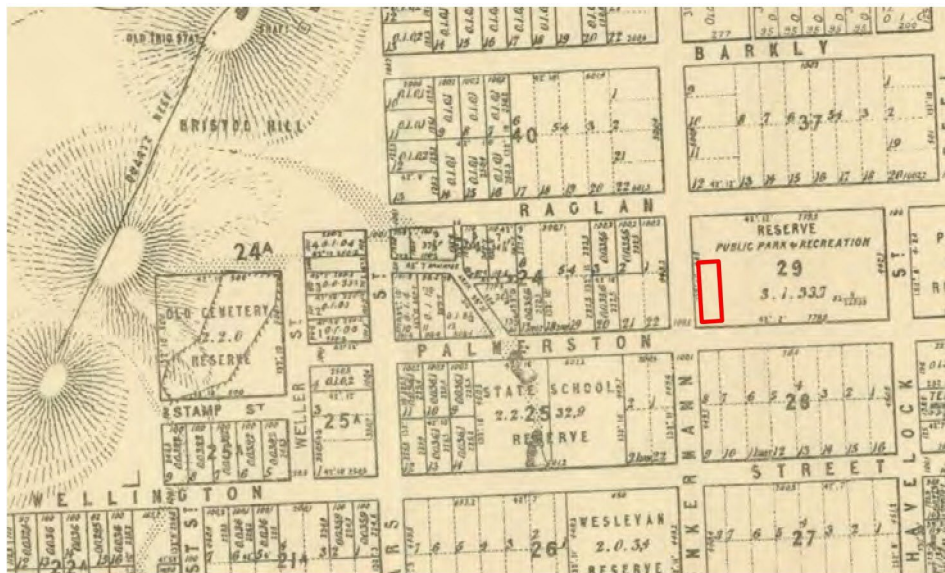


Figure 5. 1905 Parish plan of Maryborough, showing the proximity of Bristol Hill to the Bristol Hill Corner Store site, the allotment of which is outlined in red. *Source:* McGauran, T. 1905. Maryborough, Parish of Maryborough, County of Talbot. Department of Lands and Survey. State Library of Victoria.
<http://handle.slv.vic.gov.au/10381/109181>.

In 1893, the hotel owner's will listed eight bedrooms, one parlour, two dining rooms, a kitchen and a washhouse, all contained within the main building (PROV 1893; The Age, 31 May 1893, 1). The alcohol stock was listed as beer, ales, wines and spirits. It is likely that the two-storey section of the hotel was added in the 1890s, due to the hipped roof form, roof pitch, twin symmetrical chimneys, and size and scale of the addition.

In 1920, the Licences Reduction Board made the decision to delicense the Bristol Hill Hotel (The Avoca Mail, 12 June 1891, 2; The Ballarat Star, 12 July 1920, 3) potentially due to the high number of hotels in Maryborough centred around High Street



Figure 6. View of the east facade of the building in c.1926, showing the two-storey Victorian addition and tall red brick chimney breast in the courtyard. Source: Pratt, C. D. c.1926. Marlborough with park in foreground. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/20364>.

Following the delicensing of the hotel, the building was used as a residence, and then let as flats until at least 1964, when the residence was described as a brick house of twelve rooms (Maryborough Rate Book 1964, no. 9250). In 1992, the building was used as a corner store and residence (Bick et al. 1992). As of 2023, the property is used as rental accommodation in conjunction with the neighbouring property at 70 Inkerman Street, known collectively as 'Bristol House'.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale gold rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar development associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

The Bristol Hill corner store is located in the centre of Maryborough, just outside of the commercial hub, in close proximity to main civic buildings. Corner stores such as this served

the immediate local communities and developed throughout the eighteenth and nineteenth centuries, in hand with urban expansion due to growing gold mining communities.

In lieu of comparable examples of corner stores withing Maryborough or Central Goldfields Shire, examples have been drawn from neighbouring gold field municipalities. Comparable examples have been chosen for their locations outside of main shopping streets, thus distinguishing neighbourhood convenience stores form high street shops.

Examples include:

- **Newstead General Store, 11 Lyons Street, Newstead (HO1190).** The Newstead General Store is a single-storey commercial building constructed in circa 1859, which is of architectural and historical significance to Mount Alexander Shire. Similar to the subject site, it demonstrates design qualities of a Victorian era stores such as red brick construction, hipped roof clad with corrugated sheet metal, parapets featuring commercial signage, timber framed shop window and door openings, a return timber skillion verandah, as well as its corner location. Like Bristol Hill Corner Store, Newstead General Store originally functioned as a hotel for approximately the first 10 years of its life, after which it operated as a general store. Unlike Bristol Hill Corner Store, Newstead General Store has retained its function as a general store. Also notably different are the locations; Newstead is much smaller than Maryborough, and Newstead General Store is located on the outskirts of this considerably smaller town.
- **Guildford Store, 1 Templeton Street, Guilford (HO1161).** Guildford Store is a single-storey commercial building constructed in 1864, which is of architectural, social, and historical significance to Mount Alexander Shire. It retains many features typical of its era, similar to the Briston Hill Corner store, such as brick construction, hipped roof form, parapet with commercial signage, and a return timber skillion awning verandah. In addition, it is also located on a prominent street corner. It is socially significant for its role as a community place within the town, which, like Bristol Hill General Store, was first a hotel and after 1916 operated as the local general store. Unlike the Bristol Hill General Store, Guildford Store is the last extant of many stores in Guildford and it maintains its commercial function to date.

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The Age (Melbourne).

The Argus (Melbourne).

The Avoca Mail (Avoca).

The Ballarat Star (Ballarat).

The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. **All** photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 7. View of the corner parapet from the junction of Palmerston and Inkerman Streets.



Figure 8. View from Inkerman Street.

Former Maryborough Primary School 404

Heritage Place: Former Maryborough Primary School 404

HO Reference: TBA

Date updated: 9 January 2024

Address: 18 Palmerston Street, Maryborough

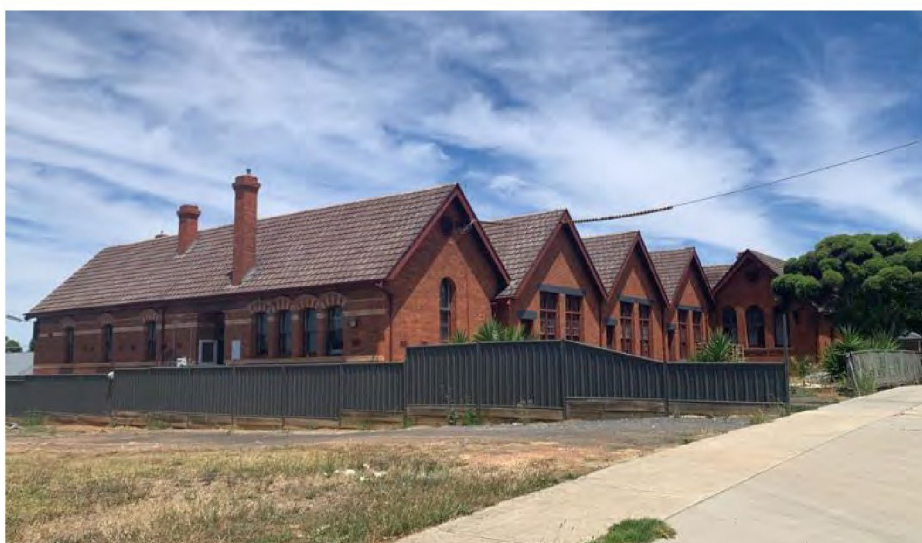


Figure 1. Former Maryborough Primary School 404.

Item Group: Educational building

Key Theme: School building, primary school

Item Type: Former school building

Key Sub-theme: Making regional centres

Designer: H. R. Bastow

Construction: 1864, 1874

Builder: John Dobbie

Style: Victorian Gothic

Significance Level: Local

Controls:	Q External paint controls	0 Internal alteration controls	Tree controls
	0 Included on Victorian Heritage Register	0 Incorporated Plans	Outbuildings and fence not exempt
	● Prohibited uses may be permitted	0 Aboriginal Heritage Place	● Solar energy system controls

Curtilage



Figure 2. Aerial map showing boundary of 18 Palmerston Street.

Statement of Significance

What is significant?

The former Maryborough Primary School 404 at 18 Palmerston Street, Maryborough, is significant. The schoolhouse building, constructed in c.1864 and altered in 1874, is significant. Contemporary additions including the addition of HVAC units to the roof, water troughs to the rear northern elevation, fencing to the site perimeter, and paving of the site with asphalt, are not significant.

How is it significant?

The former Maryborough Primary School 404 is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The former Maryborough Primary School 404 is of historic significance for its association with the establishment, development, and expansion of Maryborough as well as with the passing of the Education Act of 1872. The Education Act made primary education both compulsory and free in the state of Victoria and led to a significant increase in the construction of school buildings across the state. In Maryborough this also coincided with the consolidation and growth of the local community following the initial Gold Rush period. The existing building was constructed in 1874, incorporating an older building dating to 1864. The original, timber schoolhouse was first established to serve the growing local community, less than a decade after the first European encounter with gold in Maryborough. The number of pupils increased steadily over the following decade so much so that by 1873 many children had to be refused, demonstrating the consolidation of Maryborough as a permanent township in the mid to late nineteenth century. (Criterion A)

The former Maryborough Primary School 404 is historically significant for its association with the Government Education Department. The 1874 building was designed by government architect H.R Bastow and was constructed in the early years of the Education Department (established in 1872). Furthermore, Maryborough Primary School 404 is significant as Maryborough's first ever State school, which it became in 1874 when it merged with Maryborough No.411. (Criterion A)

The former Maryborough Primary School 404 is of aesthetic significance as an intact Victorian gothic schoolhouse building characterised by face red clinker brick construction laid with a Flemish Bond, rusticated bluestone foundation course and multi-gabled, high-pitched roof clad with terracotta Marseilles tiles. Details such as the dichromatic brick detailing, utilised with the white string and sill course and lintel detailing, and tall face red brick and corbelled chimneys further add to the aesthetic significance. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	<p>The former Maryborough Primary School 404 is of historic significance for its association with the establishment, development, and expansion of Maryborough as well as with the passing of the Education Act of 1872. The Education Act made primary education both compulsory and free in the state of Victoria and led to a significant increase in the construction of school buildings across the state. In Maryborough this also coincided with the consolidation and growth of the local community following the initial Gold Rush period. The existing building was constructed in 1874, incorporating an older building dating to 1864. The original, timber schoolhouse was first established to serve the growing local community, less than a decade after the first European encounter with gold in Maryborough. The number of pupils increased steadily over the following decade so much so that by 1873 many children had to be refused, demonstrating consolidation of Maryborough as a permanent township in the mid to late nineteenth century.</p> <p>The former Maryborough Primary School 404 is historically significant for its association with the Government Education Department. The 1874 building was designed by government architect H.R Bastow and was constructed in the early years of the Education Department (established in 1872). Furthermore, Maryborough Primary School 404 is significant as Maryborough's first ever State school, which it became in 1874 when it merged with Maryborough No.411.</p>
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The place does not meet this criterion.
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	<p>The former Maryborough Primary School 404 is of aesthetic significance as an intact Victorian gothic schoolhouse building characterised by face red clinker brick construction laid with a Flemish Bond, rusticated bluestone foundation course and multi-gabled, high-pitched roof clad with terracotta Marseilles tiles. Details such as the</p>

		dichromatic brick detailing, utilised with the white string and sill course and lintel detailing, and tall face red brick and corbelled chimneys further add to the aesthetic significance.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Former Maryborough State School 404 comprises a single-storey Victorian era school building with a number of sympathetic Federation era additions. It fronts Palmerston Street to the north and Inkerman Street to the east, separated by a vacant allotment. It comprises face red clinker brick construction laid with a Flemish Bond on a rusticated bluestone foundation course. Dichromatic brick detailing can be observed in the contrasting face cream brick utilised with the string and sill course and lintel detailing. It presents a distinct massing comprising multiple gable bays and a corresponding high-pitched roof clad with terracotta Marseilles tiles. Tall, simple, face brick and corbelled chimneys extend from the roof.

The principal front facade is located off the southern elevation and does not address the street front. It presents a symmetrical arrangement comprising two stepped open gables flanking the facade with a centred recessed bay. Each side features a smaller projecting inner gable with a centred door with arched fanlight accessed via steps with a brick balustrade and timber strapwork to the gable. The outer, wider gable presents two paired timber sash windows under a centred circular vent window with dichromatic brick lintel detailing. The middle bay features a centred gable dormer.

The side eastern and western elevation includes neatly arranged timber sash windows with a dichromatic arched lintel, and a recessed secondary door entrance. The street facing north facade comprises four arranged gables fronting the street and a cross gable bay. The leftmost gable is set slightly back with a single arched window and circular timber louvred vent window. The remaining three gables each comprise two paired window bays and a rear entrance door to the left of the windows. The cross-gable wing is set forward of the elevation and comprises four equally spaced arched windows on the northern elevation. The side elevations include a

set of three arched sash windows and a circular timber louvred vent window with dichromatic lintel detailing.

The surrounding landscape around the school building has been paved over with asphalt. The street front boundary is demarcated with contemporary fencing. Apart from three mature trees located along the northern boundary with Palmerston Street and some interposed shrub planting along the perimeter, the site lacks any landscaping features of note.

Alterations and Additions

Historical demolition, additions, and alterations to the original Victorian structure. Including the addition of twin porches, demolition of a timber classroom in 1899, demolition of the original central bay in 1907, addition of three classrooms in 1907.

- Additional alterations in 1922-1935, new toilets in c.1947-49, and the central library in 1968.

Historical alterations to window forms from timber sash with arched top lights and dichromatic lintel detailing to the present sash windows observed in the flanking side bays to the front southern facade.

Demolition of the original centred bell tower with a pyramidal roof.

Relandscaping and paving of the site with asphalt.

- Addition of contemporary fencing to the site perimeter.
- Water troughs added to the rear northern elevation.

HVAC added to the roof.

The former primary school buildings have undergone a series of historical demolitions, additions, and alterations. Historical alterations and additions have remained largely sympathetic to the overall massing, form, fenestration, applied detailing, and materiality. Contemporary alterations comprise the landscaping works and some visible HVAC additions to the roof. The school building is considered in good condition and with high integrity overall.

• Denotes element that detracts from the cultural significance of the place.

History

Historical context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

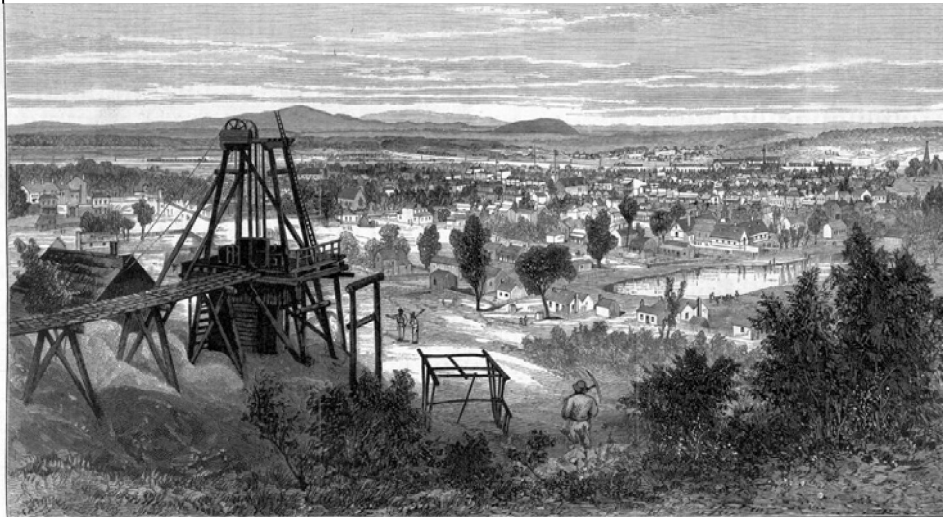


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The former Maryborough Primary School at 18 Palmerston Street, Maryborough, originates from a small timber school building dating to 1864. The original school established on the Palmerston Street site was founded by teacher and former sea captain John Gardiner (Bick et al. 1992a). Gardiner was head teacher at Maryborough's Church of England (Anglican) School in 1855 and led the school until 1860 (Bick et al. 1992a). Many of Gardiner's students followed his departure, and he and his wife set up a new school, regarded as 'Mr Gardiner's School', in a local hall (*Maryborough and Dunolly Advertiser* 1861, 2). By 1861 he claimed to have amassed the largest school in the district (Bick et al. 1992a). At this time Gardiner was trying to establish a National School in Maryborough and claimed his school was conducted on the principles of the National Schools of Victoria (*Maryborough and Dunolly Advertiser* 1861, 2). However, his school became known as Common School No.404 on 1 June 1862, following the 'Common Schools Act (1862)' (Bick et al. 1992a).

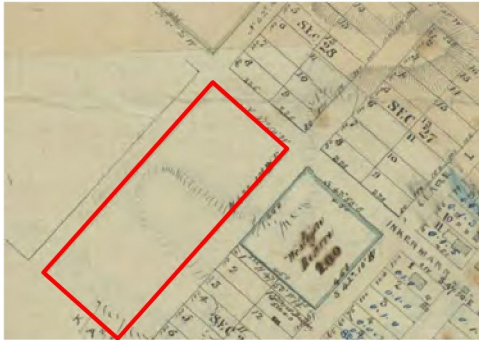


Figure 5. Extract from 1856 map of Maryborough (surveyed in 1855 by W.A. Taylor) showing the land encompassing the later 18 Palmerston Street, Maryborough, property prior to subdivision. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FEB86214ED5/content?image=1>.

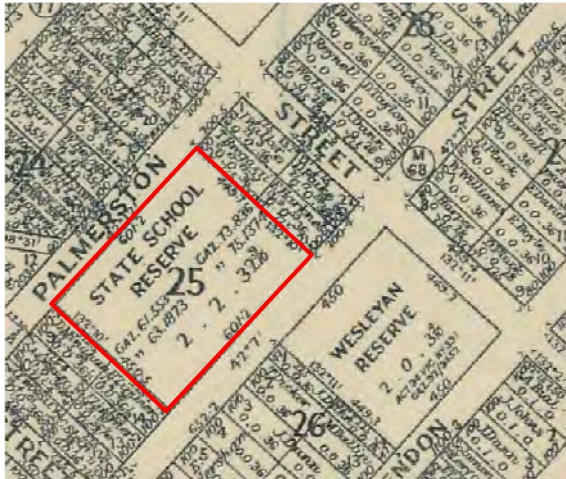


Figure 6. The 1942 town plans depict a 'State School Reserve' block in section 25 of the Maryborough town lots, outlined in red. The school building at 18 Palmerston Street stands in the Northern corner of this block. *Source:* Department of Lands and Survey. 1942. Town of Maryborough, Parish of Maryborough, County of Talbot. BC 110/85526.

The school became overcrowded and in 1864 the Board of Advice allotted land on the present site (Aussie Towns, 2023). Town plans indicate that the land on which the school was built had not been subdivided by 1855 (Figure 5). However, with the need for a larger school, the Board of Advice allotted space for the Common School at Section 25 in Maryborough, later shown as 'State School Reserve' in 1942 plans (Figure 6).

In 1864, the Common School No.404 building was erected at 18 Palmerston Street, on the State School Reserve. The original schoolhouse was a wooden building that cost £145. Gardiner moved his students across from the local hall to the new schoolhouse. Over the next decade enrolments continued to increase and the schoolhouse reached capacity. Contributing to this was the passing of the Education Act in 1872 which made primary education both compulsory and free in the state of Victoria and led to a significant increase in the construction or expansion of school buildings across the state. By 1873 'as an effect of compulsory education', the school was so full on the first day of the year that many children had to be refused (The Age 1873, 2). In 1874 Common School No.404 merged with Maryborough No.411 to become Maryborough's first State school (No.404). Consequently, on 24 February 1874, the foundations were laid for alterations and additions and a new school building was constructed thereafter (Bick et al. 1992a).

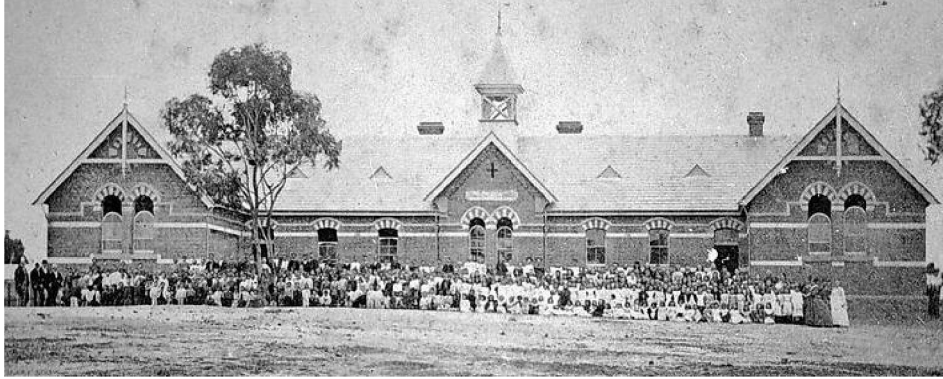


Figure 7. Digitised negative shows staff and students in front of Maryborough State School No.404 brick building c. 1880. *Source:* Museums Victoria Collections. Accessed 15 August 2023. <https://collections.museumsvictoria.com.au/items/768079>.

The 1874 Gothic schoolhouse (Figure 7) was erected by the local builder John Dobbie and designed by architects from the Education Department as well as distinguished Public Works Department architect H.R. Bastow (Bick et al. 1992a; Bick et al. 1992b). The new brick building largely incorporated the original 1864 wooden structure. Construction cost £2,950 and served as an early example of State school buildings following the establishment of the Education Department (Bick et al. 1992a).

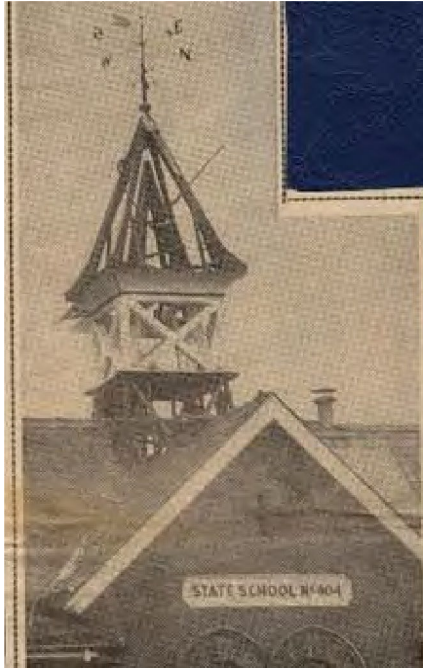


Figure 8. Former Bell Tower before its demolition in 1968. Source: Lost Maryborough, June 2021. Accessed September 2023.

<https://www.facebook.com/LostMaryboroughVic/photos/pb.100064682619886.-2207520000.1871951692973022/?type=3>.

The school underwent multiple alterations and additions during the nineteenth and early twentieth centuries. The 1874 works were followed by the addition of twin porches, then a separate timber classroom in 1899 (Bick et al., 1992a). The original 1864 structure, at the centre of the 1974 building, was largely demolished in a 1907 renovation, which also included three additional classrooms. Other alterations occurred between 1922-1935 and new toilets were built between 1947-1949 (Bick et al., 1992a). The school underwent further changes in 1968 with the removal of the bell tower (Figure 8) and the addition of a new library building, opened by the Hon. J.F Rossiter, Assistant Minister of Education (State Government of Victoria, 2022).



THE ROSE SERIES P. 3300
Creswick.

STATE SCHOOL, NAITIOUCH, VIC.

Figure 9. Digitised negative depicts children playing outside State School 404, estimated to have been taken between 1920 and 1954. *Source:* Rose Stereograph Co., 1920. *State School, Maryborough, Vic.*, State Library Victoria.

https://find.slv.vic.gov.au/permalink/61SLV_INST/1sev8ar/alma9917671713607636

The school appeared in local newspapers in the twentieth century as a space for community events, fundraisers and celebrations such as the demonstrations and children's fundraising concerts for the Patriotic Fund during World War One, Empire Day celebrations, and Australian Bicentennial festivities in 1988 (*Maryborough and Dunolly Advertiser* 1915, 2; *Maryborough and Dunolly Advertiser* 1916, 2). The school also hosted its own centenary celebrations for State School 404 in June 1962, organised by headmaster H.S. Gibbs (*Maryborough and Dunolly Advertiser* 1962).

In the late twentieth century Maryborough State School 404 became known as Maryborough Primary School. In 2005 Maryborough Primary School amalgamated with three other Maryborough schools (2828, 5250, 8825) to form the Maryborough Education Centre on Balaclava Road, Maryborough (State Government of Victoria, 2022; Government of Victoria, 2005; gazette). The school building on Palmerston Street closed on 30 June 2005 and is no longer in use.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the Goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the

original town centres throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar development associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

As gold fields centres became more established, populations increased, and townships expanded, in turn civic development started to proliferate out of necessity to serve these burgeoning new gold mining communities. The construction of schoolhouses, usually in, or in close proximity to, town centres formed part of this civic expansion. Comparable examples within Central Goldfields Shire Council include:

- **Carisbrook State School and Residence, Camp Street, Carisbrook (H088).** The former Carisbrook State School, now Carisbrook Primary School, is socially and architecturally significant to the Central Goldfields Shire Council. It comprises a single storey schoolhouse and accompanying teacher's residence. The former Carisbrook State School was constructed in c. 1874 and was designed by the same architect as the 1874 Gothic schoolhouse of the subject site, H.R. Bastow, and the two sites share many aesthetic similarities. Similar design qualities present in both schoolhouses include a multi-gabled roof form, red brick construction, a bluestone base, dichromatic brickwork decoration and red face brick chimneys. Like the subject site, the former Carisbrook State School is also connected to a prior Church of England school. The subject site is larger overall and presents a more distinct massing comprising multiple gable bays. The subject site has also retained its terracotta roof, whereas that of the former Carisbrook State School (originally clad in slate) is now clad in corrugated sheet metal.
- **Timor State School, Bet Bet Creek Road, Timor (H099).** Timor State School (now Timar Primary School) is socially and architecturally significant to the Central Goldfields Shire Council. It comprises an elaborate Victorian Gothic schoolhouse constructed in c.1879-1880. Although Timar State School is a more expressive example of the Victorian Gothic style, due to elements such as lancet windows, turret, spire with a weathervane, roof finials and arched mullions, the two are nonetheless comparable. Similarities include the unpainted red face brick construction, white string courses, multi-gabled roof form, dichromatic brickwork, and face brick corbelled chimneys.

Although the former Maryborough Primary School 404 lacks the elaborate Victorian Gothic detailing of one comparable example, overall, it compares well with similar examples of this building typology within the municipality. As the above comparative analysis demonstrates, the subject site is comparable in terms of its developmental history as a schoolhouse that has been expanded over time and its link to educational history, dichromatic brick construction, gothic elements, and multi-gabled roof form. The building is a quality example of a mid-late nineteenth century schoolhouse building within the Central Goldfields Shire.

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The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. **All** photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 10. View from Palmerston Street of the north side of the schoolhouse.



Figure 11. View from Palmerston Street of the north side of the schoolhouse.

Main Drain, and associated reserve, Maryborough

Heritage Place: Main Drain

HO Reference: TBA

Date updated: 9 January 2024

Address: Main Drain and associated reserve, Maryborough



Figure 1. Main Drain within Phillips Gardens, initially built in 1873, then stone-lined in 1906.

Item Group: Utilities - Drainage		Key Theme: Transforming and managing the land	
Item Type: Storm water drain		Key Sub-theme: Transforming the land and waterways	
Designer: (See Table 1)		Construction: 1871-1915	
Builder: Convict Labour		Style: N/A	
Significance Level: Local			
Controls:	Q External paint controls	0 Internal alteration controls	Tree controls
0	Included on Victorian Heritage Register	0 Incorporated Plans	0 Outbuildings and fence not exempt

Extent Heritage Pty Ltd | Heritage Citation: Individual Place
Main Drain, Maryborough

-
- ☐ Prohibited uses may be permitted
 - ☐ Aboriginal Heritage Place
 - ☐ Solar energy system controls

Curtilage



Figure 2. Aerial map showing both above ground and subsurface portions of the Main Drain, Maryborough.

Statement of Significance

What is significant?

The Maryborough Main Drain, comprising approximately five kilometres of open and covered storm channels within the central township of Maryborough, is significant. The late nineteenth and early twentieth century bluestone, sandstone and brick masonry storm channels of the drain constructed from 1871 to 1915 are of local significance to the Central Goldfields Shire and the development of the township of Maryborough.

How is it significant?

The Main Drain is of local historical and representative significance to the Central Goldfields Shire.

Why is it significant?

The Maryborough Main Drain is historically significant to the township of Maryborough and the broader Central Goldfields Shire Council as a substantial piece of nineteenth century civic infrastructure comprising of five kilometres of above ground and covered stone and masonry drainage channels. The Main Drain is associated with the historical management of issues arising from mining sludge, and public hygiene as well as an ongoing preventative response to flooding episodes. Accordingly, the construction of the Main Drain reflects the historical development of the Maryborough township. (Criterion A)

The Maryborough Main Drain is of representative significance to the Central Goldfields Shire, as an example of the Late Victorian, colonial channelisation of watercourses into manageable drains and canals. This was a practice implemented broadly across the Central Victorian Goldfields as a management tool to prevent against the silting of creeks, in turn reducing the capacity of the watercourses, leading to mass flooding events. The channelisation of watercourses was also used to manage public hygiene. (Criterion D)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Maryborough Main Drain is historically significant to the township of Maryborough and the broader Central Goldfields Shire Council as a substantial piece of nineteenth century civic infrastructure comprising of five kilometres of above ground and covered stone and masonry drainage channels. The Main Drain is associated with the historical management of issues arising from mining sludge, and public hygiene as well as an ongoing preventative response to flooding episodes. Accordingly, the construction of the Main Drain reflects the historical development of the Maryborough township
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<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The Maryborough Main Drain is of representative significance to the Central Goldfields Shire, as an example of the Late Victorian, colonial channelisation of watercourses into manageable drains and canals. This was a practice implemented broadly across the Central Victorian Goldfields as a management tool to prevent against the silting of creeks, in turn reducing the capacity of the watercourses, leading to mass flooding events. The channelisation of watercourses was also used to manage public hygiene.
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics</i>	The place does not meet this criterion.
<i>F</i>	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
<i>G</i>	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
<i>H</i>	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Main Drain comprises the original watercourse and main water supply for the town of Maryborough, the Four Mile Creek. The watercourse has since been channelised comprising approximately 3.3 kilometres of subsurface and exposed water channels. The main alignment presently comprises of an open cut section that begins east of the junction between Derby Road with Clarke Street and Sebastopol Road generally travelling in a northeast axis towards the Philip Gardens. From the Philip Gardens the Main Drain is covered and extends northeast crossing Nolan Street and Tuaggra Street before doglegging north, forming the western Boundary of Princes Park. The Main Drain continues due north and northeast, parallel to the western boundary of Park Road before terminating at Holyrood Road.

A second section begins off Railway Street, extending north under the railway line and Inkerman Street level crossing before reemerging south of Station Street and west of the Central Goldfields Shire Council building and Station Domain playground. It remains mostly underground until it forms the southern boundary of Park Road and meets the main alignment at the dogleg corner of Alma Street and Earl Street.

The Main Drain was originally lined with timber, but the inner lining has since been replaced with brick and stone. The general profile of the Main Drain comprises sandstone stone lined walls with bluestone block coping and bluestone paved floors. The sloped floors lead to a 'V' shaped channel lined with face red brick. The drain profile is relatively narrow at its western extent and increases in width as it travels downstream due northeast. The section of drain north of Railway Street is lined with brick.

The open drain alignment is bisected by a number of roads including Brougham Street, Kars Street and Inkerman Street, west of Philips Gardens. Road crossings north of Princes Park include at Holyrood Street and Tullaroop Road. The south alignment is crossed by Inkerman Street and Station Street. These crossovers include bluestone block or concrete abutments. North of Tullaroop Road, the drain is also bisected by the railway line.

A number of pedestrian bridges bisect the Main Drain. This includes an arched concrete bridge at Philips Garden and the main pedestrian bridge with cast iron posts and strap sidings providing access to the park from Park Road. The Main Drain along Park Road has also been partially covered with the construction of a rear service area and raised pedestrian bridge to the bandstand with a secondary secured access bridge pedestrian and road bridge to the oval located slightly north. Another pedestrian bridge to Princes Park is located off Alma Street. The section of the Main Drain within Philips Garden and Princes Park is bordered by a contemporary timber post and wire fence.

Over the course of its length, the Main Drain intersects with multiple places of heritage value including VHR sites such as Maryborough Municipal Olympic Swimming Complex (VHR H1319), Prince's Park (VHR H1880), and the Former Maryborough Technical School No. 7225 (VHR H2142); sites of local heritage value such as Phillips Gardens (HO170); and places proposed to be included in revised heritage protections as part of the Maryborough Heritage Review (2023) including the Eastern Residential Precinct, Maryborough Railway Complex, and Commercial Precinct (refer Figure 6).



Figure 3. The Main Drain, looking northeast from Phillips Gardens.

Alterations and Additions

Removal of the original timber and tar lined drain walls and replacement with stone and brick from 1886.

Large sections covered in the post-war years over the commercial district of the town.

- Toilet block constructed over the Main Drain at the Coronation Park Playground next to Park Road.
- Timber post and wire fencing installed along sections of the drain within highly traffic public spaces.

The Main Drain continues to function as a storm drain, retaining its stone and brick construction.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources

integral to their way of life, including kangaroo grass, yam daisies (murnong), possums and kangaroos. Meanwhile, the Oja Oja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Oja Oja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklind area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Oja Oja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

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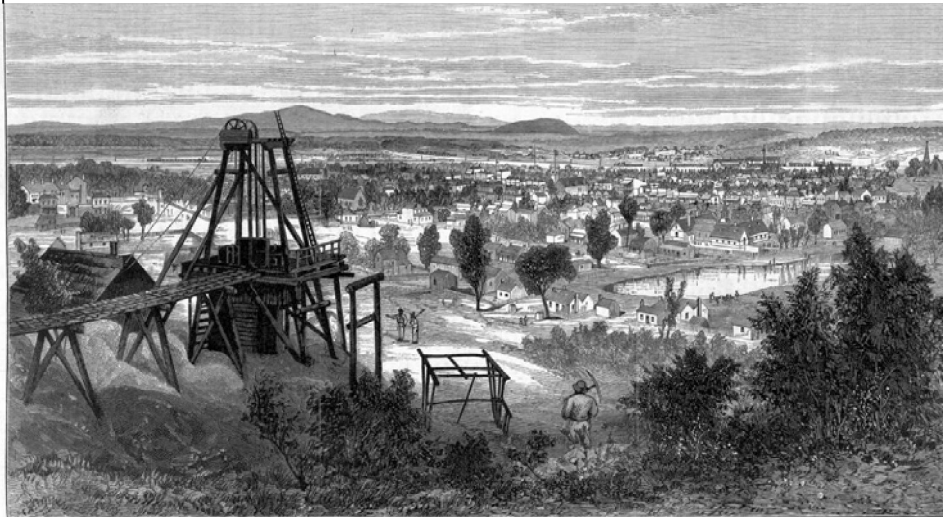


Figure 5. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The colonial township of Maryborough was established by Europeans in 1854, after gold was first found in the region. Typical of the Central Victorian Goldfields, the Maryborough district was notable for its lack of water, the main watercourse being the Four Mile Creek, in which the water was inclined to be stagnant in drier periods (The Argus, 25 September 1854, 5). By 1870, the effluent and drainage from the mines and the town's inhabitants had transformed Four Mile Creek running through Maryborough (previously the town's water supply) into an obnoxious, unhealthy state (Osborn 1997, 1). The creek had become a sewer presenting a danger to the health of the town's residents and it either 'stunk the residents out in summer or flooded them out in winter.' (Maryborough and Dunolly Advertiser, 30 January 1918, 4). Following discussions on how to address the problem, the conversion of the Creek into a drain began in 1871 (Osborn 1995, 55).

The following history has been largely summarised from Bruce Osborn's publication, *Maryborough Main Drain 1870-1915*.

The stone-lined Main Drain through Maryborough was constructed over 44 years. The first contractor was Alexander Grey, commissioned to build sixteen chains (approx. 320 m) of the drain downstream from Nolan Street, and a culvert each in Nolan and Tuaggra Streets (Osborn 1997, 1). Grey used timber from Mount Cole for the drain sides. One week later, a second tender was awarded to Robert Phelan to cut the drain northwards to Tullaroop Road to improve the drainage. After a flaw was found in the drain and culverts design, a redesign for a lower level in the drain meant contractors had to supply a greater quantity of materials, with the effect that the section of drain finished 33 metres short of Tuaggra Street, with only the Nolan Street culvert constructed (Osborn 1997, 2). This first section of drain was completed in October 1871 by Grey's brother-in-law, Francis Rolfe.

The next section of drain was contracted to George Fishburn, who completed his 163 link (33 metre) section upstream and one chain (20 m) downstream in August 1872, including the Tuaggra Street culvert (Osborn 1997, 5-6). Again, timber planks lined the side walls. In the meantime, prison labour from the Maryborough Gaol was employed to trim the drain sides downstream of Fishburn's new section (Maryborough and Dunolly Advertiser, 30 August 1872).

Over the 44 years, at least 20 different contractors contributed to the construction of the Main Drain, as part of over 30 contracts. The final length (including the Blackman's Arm of 1.25 km) of the Main Drain totalled 5.2 kilometres (Osborn 1995, 55). Prisoner labour contributed significantly to the drain works, including ongoing maintenance.

A timeline for the different sections of Main Drain building works is provided at Table 1.

Table 1. List of sections of Main Drain excavated and built between 1871 and 1915 (Osborn 1997, 33-35).

Date completed	Section	Contractor
1871	Nolan Street culvert and drain towards Tuaggra Street	Alexander Grey

Date completed	Section	Contractor
1871	Prince's Park to Tullaroop Road, earthworks	Robert Phelan
1872	33 m upstream, 20 m downstream, Tuaggra Street culvert	George Fishburn
1873	2 chains (40 m), upstream from Nolan Street culvert to Inkerman Street	John Neilson & BB Jones
1874	Tuaggra Street to Prince's Park fence	J Neilson & Co
1874	Blackman's Arm drain begun, 4 chains (80.5 m)	James McNie
1881	Through Prince's Park to its northern boundary	Thomas Tout
1885	Blackman's Lead arm	Henry Hunt
1885	Excavating and deviating creek near intersection of [Kars] and Alma Streets, Main Drain and bridge across [Kars] Street	CH Worsley
1886	15 chains (300 m), Prince's Park, including brick-laid centre and bottom of drain, rubble-walling to sides	Thomas Tout
1889	5 chains (100 m) Main Drain extension north of Prince's Park	A Miller
1890	9 chains (181 m) south, between [Inkerman] and [Kars] Streets	McNie & Williams
1890	Phillips Gardens, side walling	Worsley Brothers
1894	1 chain (20 m) remaking of side wall north of Nolan Street	Francis Rolfe
1896	Blackman's Lead arm	J Mowatt & Co
1896	8 chains (160 m), south end construction	J Mowatt & Co
1896	10 chains (201 m), north of Prince's Park	Francis Rolfe
1899	10 chains (201 m), north end	J Mowatt & Co
1899	10 chains (201 m) south end, upstream from Tullaroop Road	Francis Rolfe
1899	15 chains, 60 links (323 m), Derby Road bridge to Brougham Street bridge	J Mowatt & Co
1900	Nolan Street to [Inkerman] Street, sidewalling	Arthur & H Worsley
1903	10 chains (201 m) of drain repaired due to flood damage, north of station, Nolan and Tuaggra Streets	F Worsley
1904	Tullaroop Road Bridge over the Main Drain	M Kett
1905	Repairs to section off Majorca Road	F Worsley
1906	Sidewalling, replacing wooden planking with stone in [Phillips Gardens]	John Mowatt

Date completed	Section	Contractor
1908	10 chains (201 m) of earthworks downstream of Tullaroop Road	RE Morse
1908	Widening drain, Prince's Park	FD Nixon
1911	Sidewalling between Nolan and Tuaggra Streets	RE Morse
1914	Construction downstream of Tullaroop Road and through the railway reserve	RE Morse
1915	29 chains (583 m) of new Main Drain, downstream	RE Morse
1915	11 chains (221 m) of new Main Drain to the Borough boundary	RE Morse

By 1875, issues with the timber planking was discovered due to flood damage, with the tar pitching requiring maintenance (Osborn 1997, 9-10). From 1886, work began to replace the timbers with brick and stone in the existing drain and to implement these materials into new sections.

Pollution of the drain continued to have an impact as reported in the local newspaper:

'The main drain is in a disgustingly filthy condition at the rear of Mr Harkness's timber yard. The accumulation of putrescent matter where the drain enters the park is fearful, and enough to pollute the atmosphere in that locality. A smaller quantity of filth has found its way slowly along the course of the drain through the park.' (Maryborough Standard, 27 November 1880)

An 1885 report from the local health officer commented on the amount of typhoid that was concealed beneath a particular rubbish-filled section of drain in the vicinity of Tuaggra Street and the Chinese camp: 'The soil was saturated with it, there being enough typhoid to poison half a dozen towns' (Maryborough Standard, 11 November 1884). Further abuse of the former waterway occurred when sludge or silt from mining operations came down the drain in the first decade of the twentieth century (Osborn 1997, 23-24).

The final 1.1 kilometre section of Main Drain, which ran northwards from Tullaroop road, was completed between 1914 and 1915 (Osborn 1995, 55). During this period, the construction provided work for the unemployed. The completed drain had successfully drained the sillage out of the Borough, and into the neighbouring shire (Osborn 1997, 31). The final significant alteration to the drain was for large sections to be covered in the post-war years (Osborn 1997, 31).

Comparative Analysis

Undertaking a comparative analysis of the Main Drain in Maryborough is dependent on understanding the overarching significance of water management as a theme in the broader Central Victorian Goldfields. The initial Gold Rush was dependant not only on a stable and clean source of drinking water, but also a source of water for gold extraction processing for both alluvial and deep lead mining methods. These gold extraction processes lead to mining waste

and sludge being deposited into waterways, resulting in the silting-up of main confluences, reducing capacity and increasing flooding events. Following the mass migration of people to the goldfields, public hygiene was also a major concern, and extant rivers and creeks were rapidly converted following the 1859 Royal Sludge Commission into drains to improve public hygiene and prevent against flooding episodes.

Comparable sites include:

- **Creeks and River Channels Heritage Precinct, Ballarat, (HO172).** The Creeks and River Channels Heritage Precinct, hereafter referred to as the Precinct, comprises two channelised waterways, being the Canadian Creek and the Yarrowee River in Ballarat East. Both waterways were historically important to the establishment of the Ballarat Goldfields, and Ballarat itself, with the formation of Golden Point, the oldest suburb in Ballarat and location where the first European discovery of gold was made, which is bordered by the Yarrowee River to the West. Between 1851 and 1914, the Yarrowee River was extensively dug over, channelised, buried, dredged, and redirected, becoming the main receptacle for mining and town waste. Redirecting the river meant that waste was diverted downstream and public hygiene in Ballarat could be restored. A similar narrative is associated with the Main Drain in Maryborough which, as addressed above, sought to improve public hygiene but also prevent against flood damage within the township. The Main Drain, or Four Mile Creek as it was known before it was channelised, is contextualised by a broader narrative of water management in the Central Victorian Goldfields, highlighting the dire importance of water for mining practices and hygiene alike - but more importantly in Maryborough's context, as a preventative measure against natural flooding disasters. While the Precinct in Ballarat is a longer example and still retains portion of early timber channelling, both examples are comparable as late nineteenth century brick and stone examples of channelised waterways within Gold Rush towns.
- **Rosalind Park, Greater Bendigo City, (HO10 & H1866).** Towards the end of the 1850s and following the Royal Sludge Commission of 1859, the Bendigo Creek was substantially channelised in bluestone to hasten the flow of mining waste out of the city. Bendigo Creek was suffering from the protracted ramifications of mining waste being dumped into surrounding watercourses which fed into the larger Bendigo Creek, and sludge build up lead to damming and silting of the creek. With the Bendigo Creek substantially raised through the build-up of hard-setting silt, its capacity to hold and move water was drastically reduced which led to destructive flash-flooding within the mining township and further downstream. The hygiene implications of the silted-up Creek were also of great importance. These historical themes with the Bendigo Creek Channel in Rosalind Park are directly comparable to those associated with the Main Drain in Maryborough. Physical differences between both drains are their widths, with the Bendigo Creek Channel being considerably wider than the Maryborough Main Drain. However, both drains are constructed in mixed materials, utilising bluestone, sandstone, and brick in part, with later portions of concrete rendering. Though the sites are different in scale, they are similar in length and reflect the historical trend towards channelising waterways to deal with mining waste and improve public hygiene and mitigate against flooding.

As addressed above, the narrative of water management in the broader Central Victorian Goldfields is one of the most significant themes connected with the Victorian Gold Rush. However, an additional township which has an equally significant example of water infrastructure but is not currently protected by Heritage Overlay planning controls includes:

- **St Arnaud Main Drain, St Arnaud.** The St Arnaud Main Drain runs through the main township of St Arnaud, both above ground and covered. The Drain is visible above ground running north south through the Queen Mary Gardens, through Millett Street and east towards Melbourne Road. The first reference of the Main Drain in St Arnaud was in c.1872, with its construction considered to be of utmost importance for establishing sanitation in the township. The St Arnaud Main Drain is currently not subject to statutory heritage protections. The St Arnaud Main Drain comprises stretches of intact brick tunnels, with open-air sludge and stormwater channelling constructed in brick and sandstone. The Maryborough Main Drain comprises similar channelling constructed in brick, sandstone and bluestone also comprising of covered stretches, both in original brick tunnelling but largely in early twentieth century concrete vaulting. Beyond material comparability, both sites are comparable, as two examples of highly intact and operational sludge channel Main Drains in Central Victorian gold townships. Both sites reflect the highly important broader narrative of water management in rural gold communities in the mid-nineteenth century.

The above comparative analysis highlights the presence and importance of sludge channels and channelised watercourses (Main Drains) within Central Victorian townships established during the Gold Rush period. By addressing comparable sites in Bendigo, Ballarat and St Arnaud, the above analysis also highlights the Maryborough Main Drain as the only example of a channelised waterway of this scale in the municipal boundaries of Central Goldfields Shire Council. The above examples in Bendigo, Ballarat and St Arnaud illustrate a wave of post-1859 Royal Commission channelised watercourses that contextualise the Maryborough Main Drain, and the association with a broader narrative of important water infrastructure in 19th century gold towns to improve on sludge management, hygiene and prevent against flash-flooding in Victoria. Though the Bendigo Creek example is substantially larger than the Maryborough Main Drain, it is still a comparable example illustrating that even larger gold townships were susceptible to issues associated with sludge management. However, both the Yarrowee River - Canadian Creek channels in Ballarat and the St Arnaud Main Drain are closer comparable sites due to scale and materiality. With regards to the scale of the townships, though Bendigo and Ballarat are significantly larger than Maryborough, their respective Drains are still comparable and highlight the absence of drains associated with smaller townships. Accordingly, the Main Drain can be recognised as being of high significance to Maryborough, as well as to the broader Central Victorian Goldfields municipality.

Detail Map

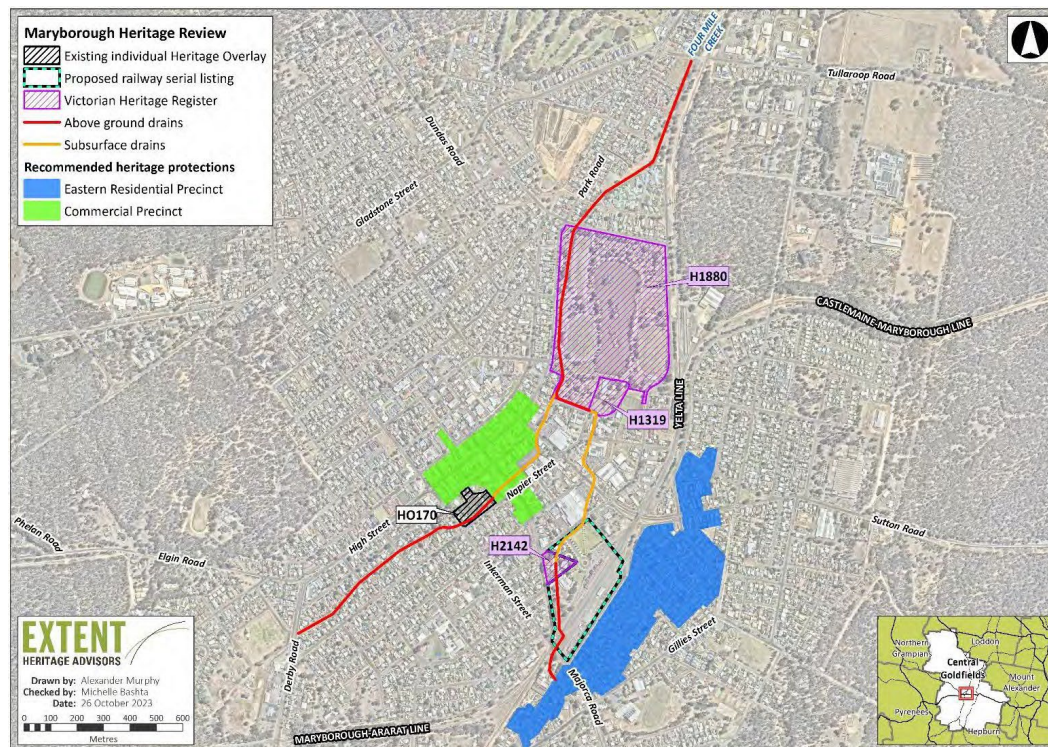


Figure 6. Aerial map showing the Main Drain and intersecting VHR, Heritage Overlay and proposed amended Heritage Overlay places.

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The Argus (Melbourne).

The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images

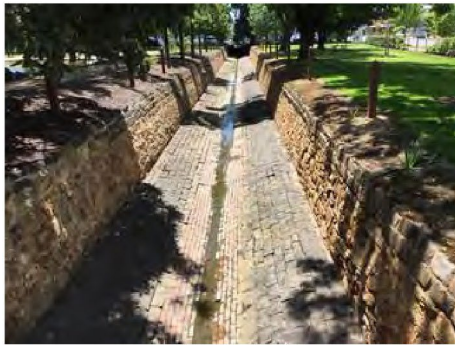


Figure 7. View of the Main Drain from Phillips Gardens (HO170), looking northeast.



Figure 8. View of the Main Drain from Phillips Gardens (HO170), looking southwest.



Figure 9. View of the Main Drain from Princes Park (VHR H1880), looking north.



Figure 10. View of the Main Drain from the bridge in Princes Park (VHR H1880), looking south.



Figure 11. View of the Main Drain looking south from the Soldiers Memorial Plot.



Figure 12. View of the Main Drain looking north from the Soldiers Memorial Plot.



Figure 13. View of the Main Drain next to the Former Maryborough Technical School No. 7225 (H2142).



Figure 14. Oblique view of the Main Drain showing brick course and rubble construction.



Figure 15. View of the Main Drain next to the Former Maryborough Technical School No. 7225 (H2142).



Figure 16. View of the Main Drain past Holyrood Street (H0158).

Maryborough Railway Complex

Heritage Place: Maryborough Railway Complex

HO Reference: TBA

Date updated: 8 January 2024

Address: 27 Station Street, 110A Burns Street and ramp near corner of Burns Street and Harkness Street, Maryborough



Figure 1. View southwest towards Station Street and Maryborough Railway Station.

Item Group: Transport - Rail

Key Theme: Building towns, cities and the garden state

Item Type: Goods shed, Locomotive, Railway, Railway Platform/Station, Siding

Key Sub-theme: Making regional centres

Designer: Robert Watson (Railway Station)

Construction: 1887 onwards

Builder: D. A. Swanson (Railway Station), Mr Summerland (Loco Shed), William Phelan (Goods Shed)

Style: English Queen Anne Revival style, Victorian

Significance Level: Local

Controls: 0	External paint controls	0	Internal alteration controls	Tree controls
0	Included on Victorian Heritage Register	0	Incorporated Plans	0 Outbuildings and fence not exempt
●	Prohibited uses may be permitted	0	Aboriginal Heritage Place	Solar energy system controls

Extent Heritage Pty Ltd | Heritage Citation: Serial Listing
Maryborough Railway Complex, 27 Station St, 110A Burns St, ramp near corner of Burns and Harkness St, Maryborough

Curtilage

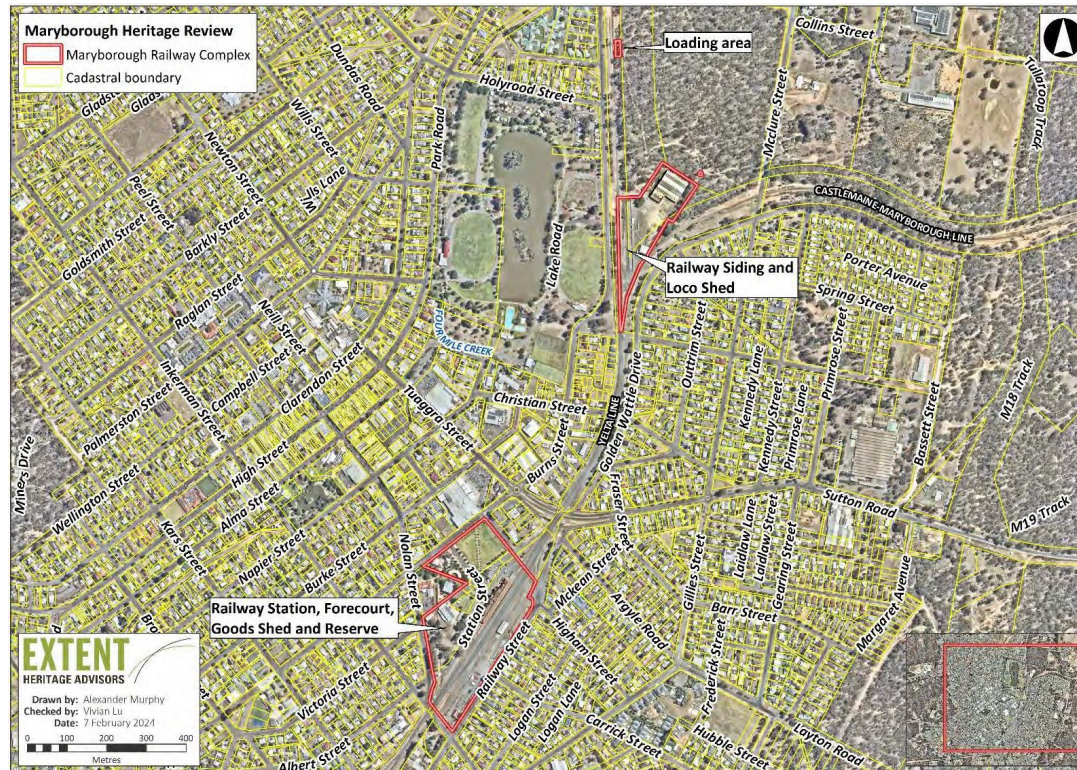


Figure 2. Aerial map showing sites of the Maryborough Railway Complex.

Statement of Significance

What is significant?

The Maryborough Railway Complex, consisting of the Maryborough Railway Station (VHR H1577), the Forecourt at 27 Station Street, the Railway Siding, and concrete Water Tower at 110A Burns Street and the Loading Ramp near the corner of Burns and Harkness Streets, is locally significant.

Character elements that contribute to the significance of the Maryborough Railway Complex include:

- The state significant Maryborough Railway Station which includes the station building, associated passenger platforms and signal levers, and goods shed; the store shed/former carpenter's shop, weighbridge and shed; the locomotive shed and adjoining sheds, timber shed and associated engine examination pit; and surrounding land (VHR H1577).
- The railway station forecourt, including the roundabout and Station Street, which lies to the northwest of the station building.
- The remnant railway siding leading to the locomotive shed and the remnant water tower located northeast of the locomotive shed.
- The remnant loading ramp located near the corner of Burns and Harkness Streets.

How is it significant?

The Maryborough Railway Complex is of local historical significance to the Central Goldfields Shire. The Maryborough Railway Station is of historical and aesthetic significance at the State level (VHR H1577).

Why is it significant?

The Maryborough Railway Complex is historically significant as a collection of mid to late Victorian era railway buildings and infrastructure constructed as a direct result of Maryborough's development as an eminent goldfields town. The remnant railway siding, water tower and loading ramp contributed to the onsite servicing of engines. These elements help demonstrate Maryborough's importance as a major railway junction during the Gold Rush period as they denote infrastructure only present at strategic goldfields towns. The forecourt, constructed in the late twentieth century on the original railway reserve, contributes to the overall setting of the site, particularly in ensuring key views to the landmark station building from within the township are retained. (Criterion A)

Maryborough Railway Station is historically significant at the State level as an intact and important example of lavish expenditure on important railways infrastructure built following the 'Octopus Act' in 1884. (Criterion A)

Maryborough Railway Station is architecturally/aesthetically significant at the State level for its distinctive design and scale. The platform verandah to the station building is unique on a national level and incorporates a hipped roof with a continuous louvred lantern along the ridge. The locomotive shed, while in poor condition, is one of the few major remaining brick depots built during the 'Speight era.' (Criterion D & E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	<p>The Maryborough Railway Complex is historically significant as a collection of mid to late Victorian era railway buildings and infrastructure constructed as a direct result of Maryborough's development as an eminent goldfields town. The remnant railway siding, water tower and loading ramp contributed to the onsite servicing of engines. These elements help demonstrate Maryborough's importance as a major railway junction during the Gold Rush period as they denote infrastructure only present at strategic goldfields towns. The forecourt, constructed in the late twentieth century on the original railway reserve, contributes to the overall setting of the site, particularly in ensuring key views to the landmark station building from within the township are retained.</p> <p>Maryborough Railway Station is historically significant at the State level as an intact and important example of lavish expenditure on important railways infrastructure built following the 'Octopus Act' in 1884.</p>
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	Maryborough Railway Station is architecturally/aesthetically significant at the State level for its distinctive design and scale.
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	The platform verandah to the station building is unique on a national level and incorporates a hipped roof with a continuous louvred lantern along the ridge. The locomotive shed, while in poor condition, is one of the few major remaining brick depots built during the 'Speight era.'
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social,</i>	The place does not meet this criterion.

	<i>cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	
<i>H</i>	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not <i>meet</i> this criterion.
	Significance level	Local

Description

Physical Analysis

The Maryborough Railway Complex comprises a group of railway structures and spaces associated with the various broader railway buildings and infrastructure within Maryborough. The Maryborough Railway Complex comprises the Maryborough Railway Station (VHR H1577), the Forecourt at 27 Station Street the Railway Siding and concrete Water Tower at 110A Burns Street, and a Loading Ramp located near the intersection of Burns and Harkness Streets.

Maryborough Railway Station (VHR H1577)

The Maryborough Railway Station VHR listing (VHR H1577) comprises the main station building, and the goods shed at 27 Station Street, along with the locomotive shed at 110A Burns Street. The main station is a substantial, single storey structure designed in the English Queen Anne Revival style. The red brick and render building is symmetrical in plan and features a central portico flanked by opulent gable ends and a balustraded balcony above. The building also comprises an offset clock tower. The goods shed located to south of the main station building is a single storey structure characterised by red brick construction, gable roof, arched doors demarcated by engaged piers and some contrasting blonde brick detailing. The locomotive shed at 110A Burns Street is a triple gabled clad with corrugated sheet metal and a smaller, fourth adjacent bay of face brick construction.

Maryborough Railway Station Forecourt

The Maryborough Railway Station forecourt is located at 27 Station Street. It comprises the paved forecourt area, excluding the main Maryborough Railway Station building (VHR H1577). The forecourt fronts the roundabout along Station Street which provides access to Burns Street and Nolan Street. The streets are paved with bitumen with concrete kerbing and gutters, and concrete paved pathways. Widened streets provide car parking and footpaths are flanked by wide verges planted with lawn or laid with aggregate. The streets and open spaces are lined with semi-mature to mature street trees. The trees have a similar height, form and equally spaced siting creating a cohesive streetscape and consistency to the main vista towards the railway station along Station Street. Street furniture include curved streetlamps painted a dark red colour, similar to other cast iron and period street furniture located within the main central business district of the town.



The immediate forecourt to the station is paved with bitumen. It overlooks an open lawn to the north. The lawn is bounded by Station Street to the southwest, Burns Street to the northwest, the station carpark to the southeast, and Mark Twain Drive to the northeast. It includes a paved pathway bisecting the lawn north to south. It is planted with street trees and ornamental hedges lining the pathway and perimeter.

The main open forecourt is also located next to a landscaped public park which includes contemporary playgrounds, shade structures, croquet courts, and Council buildings.

Railway Siding and concrete Water Tower

The railway siding and concrete water tower are located at 110A Burns Street. The railway siding is situated to the east of the railway line and comprises of remnant sections of siding that would have originally connected to the Locomotive Shed on site. The remnant concrete shell of the water tower is located to the northeast of the railway siding and locomotive shed, at the edge of the Maryborough H57 Bushland Reserve. The water tower is not functional.

Loading Ramp

The Loading Ramp is located opposite the intersection of Burns and Harkness Streets, north of the railway siding and concrete water tower at 110A Burns Street. It is situated along the eastern side of the railway line, backed by the Maryborough H57 Bushland Reserve. The timber siding retaining wall supports a simple ramp form with the incline increasing to the north.

Alterations and Additions

Maryborough Railway Station Forecourt

- Widening of the street and inclusion of street parking and car parks.

Relandscaping of the forecourt area with new planting and concrete paved pathways.

Loading Ramp

The Loading Ramp structure and form appear intact with no visible alterations or additions.

The Maryborough Railway Complex presents a group of buildings and infrastructure associated with the Maryborough railway. While not without alterations, structures such as the Loading Ramp have retained their overall industrial form and characteristics. The forecourt area and surrounding streetscape has been relandscaped, albeit sympathetically to the overall setting of the Maryborough Railway Station.

• Denotes element that detracts from the cultural significance of the place.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

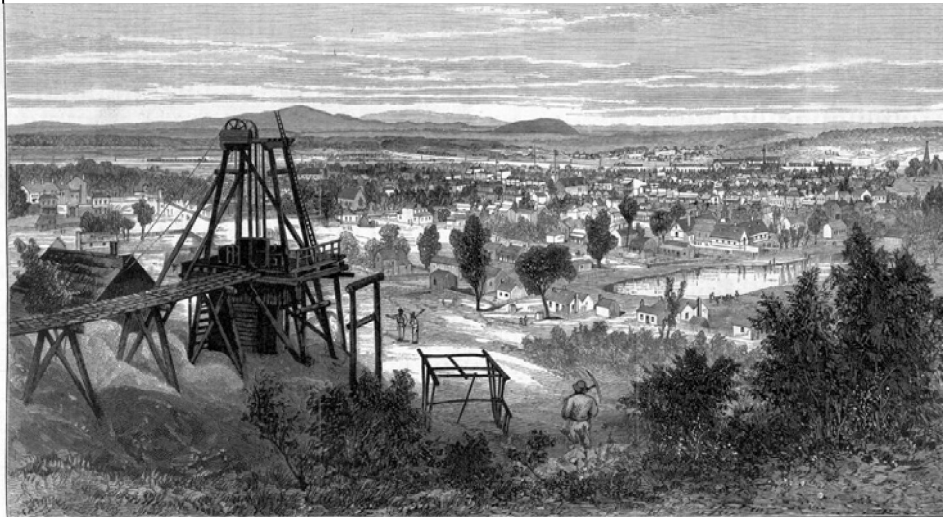


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The Maryborough Railway Complex includes three sites in Maryborough associated with the railway line and its infrastructure.

The first site comprises the Maryborough Railway Station (VHR H1577, HO134) and the Forecourt. A site for a railway station was selected and the rail link with Castlemaine was established in 1874. The first station was a brick building which was later replaced by a grand, imposing railway station in 1890-91 that still exists today (Bick et al. 1992). It was designed by Victorian Railways architect Robert Watson and built by D. A. Swanson of St Kilda in the English Queen Anne Revival style (Hermes ID 692). The railway station was built with a clock tower although clocks were only installed in 1914 (Osborn & DuBourg 1985, 306). The goods shed and goods platform were built to the southeast of the railway station, on the opposite side of the tracks. The single storey brick structure was constructed by William Phelan in 1889.

The railway station was originally bounded by Railway Street, Cambridge Street (today Nolan Street) and Station Street. Station Street formed part of the approach to the station and was marked by a row of English Elms. The station, goods shed, and surrounding reserve can be seen in early twentieth century parish plan and photograph (refer Figure 5 & Figure 6).

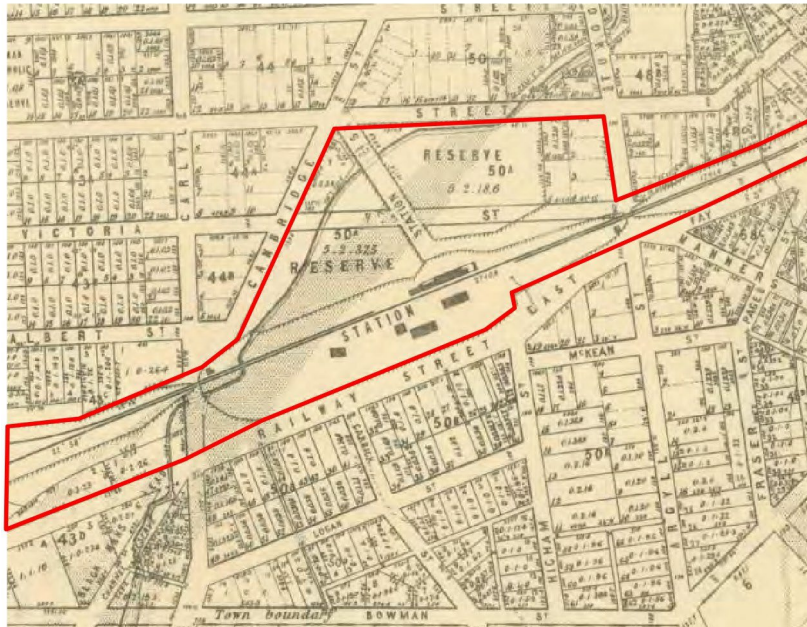


Figure 5. Extract from 1905 map of Maryborough showing the railway station and surrounds, outlined in red. Source: Department of Crown Lands and Survey. 1905. *Parish of Maryborough, County of Talbot*. Map, 57x69cm. Parish maps of Victoria. State Library of Victoria.



Figure 6. View of Maryborough railway station and approach (background right) and goods shed (background left). Source: Maryborough Midlands Historical Society. c. 1900. *Bird's eye view of Railway Station, Maryborough*. Digitised postcard. Victorian Collections (website). Accessed 2023. <https://victoriancollections.net.au/stories/a-station-with-a-town-attached#search>.

Although the English Elms still exist, the area has otherwise been altered. Station Street, which originally connected with Cambridge Street (Nolan Street) towards High Street, now runs perpendicular to the station. A roundabout was constructed outside the station building and the forecourt was developed. This development most likely occurred in the late twentieth century with a 1992 photograph showing its presence (refer Figure 7). The remaining site of the reserve includes the station car park, Station Domain playground, VicRoads Maryborough Customer Service Centre, and other contemporary structures.



Figure 7. View of the new railway station forecourt. *Source:* Orford, D. 1992. *Maryborough Railway Station*. Photograph. Victorian Collections (website). Accessed 2023.
<https://victoriancollections.net.au/items/5a3c7ae121ea6712d420c018>.

The second site comprises the Railway Siding and Loco Shed. It was constructed in stages, from 1887 onwards by Mr Summerland (Osborn & DuBourg 1985, 306). The shed was said to have been one of the largest nineteenth century railway engine sheds in country Victoria (Bick et al. 1992). The exact construction date for the railway siding could not be confirmed via archival sources. The site also includes a remnant concrete water tower constructed early to mid-twentieth century and some detached contemporary structures.

The third site comprises a remnant Loading Ramp. It is located further north along Burns Street, near the intersection with Harkness Street. While the original construction date of the ramp could not be confirmed via archival sources, it can be seen in a 1969 diagram by the Victorian Railways, situated next to a railway siding (refer Figure 8).

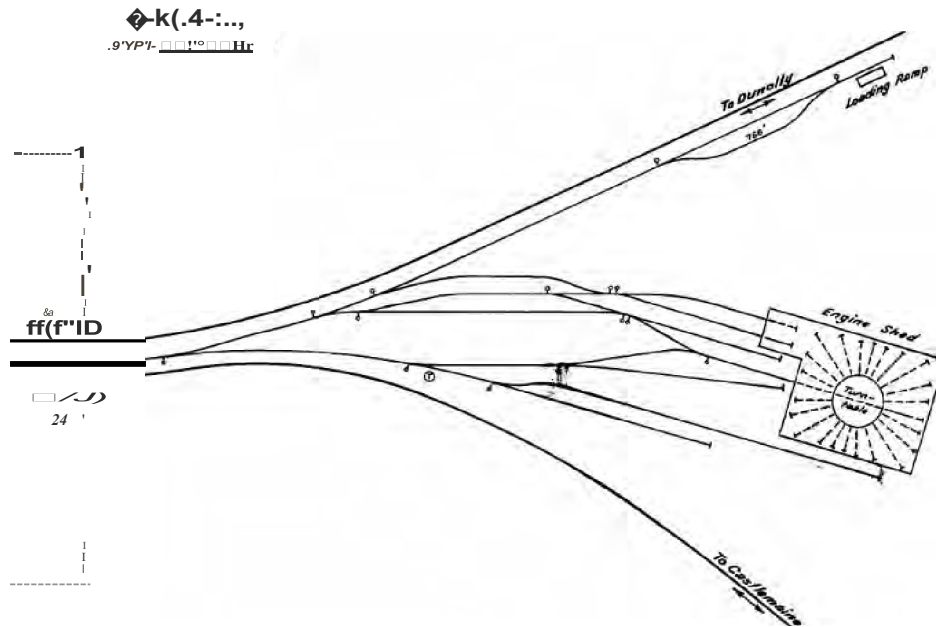


Figure 8. Extract of 1969 Signal Diagram showing the railway line along Burns Street towards Dunolly with the railway siding and loading ramp, identified by red arrow. *Source:* Victorian Railways. 1969. *Maryborough Signalling Diagram No. 1069.* Diagram. Victorian Railways (website). Accessed 2023. <https://www.victorianrailways.net/signaling/completdia/marydia.html>.

Comparative Analysis

Following the immediate initial Gold Rush, it became clear that a transport system was necessary to service and develop the towns that had been established (Bick et al. 1992, 243). The railway station complexes that were built commonly included the station building and a goods shed with the major or strategic stations also comprising an engine shed (Bick et al. 1992). The Maryborough Railway Station (VHR H1577) facilitated connections to Castlemaine, Ballarat, Avoca and to St Arnaud via Dunolly. The extravagant railway station building establishes Maryborough's importance as a township during the Gold Rush period and its railway infrastructure illustrates its role as a pivotal junction providing the convergence of four rail lines.

The Maryborough Railway Complex includes the extent of land covered by the Maryborough Railway Station VHR registration along with the station forecourt, railway siding and concrete tower, and loading ramp. The railway siding, concrete tower, and loading ramp were contributory to the historical use of the complex whilst the late twentieth century forecourt establishes the approach and setting of the site.

The Maryborough Railway Complex can be compared to other Gold Rush towns with significant surviving railway complex such as:

- **Ballarat Railway Complex, Ballarat (VHR H0902) (HO59, Ballarat City).** The Ballarat Railway Complex is another example of a prominent Victorian goldfields town with a significant railway complex. The sites are comparable in terms of their elaborate railway station buildings and accompanying goods sheds, engine sheds and water towers that survive till today. Ballarat's statement of significance mentions its approach road surrounded by passenger and freight handling buildings similar to the forecourt present in the Maryborough Railway Complex. Overall, the Ballarat Railway Complex displays a higher level of intactness.
- **Castlemaine Railway Precinct, Kennedy Street, Castlemaine (VHR H1664) (HO670, Mount Alexander Shire).** The Castlemaine Railway Precinct forms part of the Murray Valley Railway (Melbourne to Echuca line) and was one of the earliest capital works projects in Victoria (Heritage Victoria). The railway precinct includes the station building, goods shed, shunter's cabin along with other engineering works such as viaducts and overbridges. Its single storey station building, although impressive with its Italianate features and detailing, lacks the monumentality exhibited at Maryborough. The Maryborough Railway Complex in addition also includes an engine shed, water tower, and other infrastructure associated with onsite servicing along with a forecourt that provides a distinct approach to the site.
- **Creswick Railway Station Complex, Reed Street, Creswick (VHR H1669) (HO561, Hepburn Shire).** The Creswick Railway Station Complex is associated with the development of 'light lines' or 'cheap lines' (Heritage Victoria). Although smaller in size, the site is comparable in terms of its development history as a railway complex servicing a Gold Rush town. The complex includes the station building, van goods shed, signal box, goods shed and brick subway. The water tower present at the site has been removed and the complex is in general, no longer in use. Comparably, Maryborough was a larger town and a

more important rail junction during the Gold Rush period and this is evidenced in its much larger railway complex with extensive infrastructure.

The Maryborough Railway Complex includes the state listed Maryborough Railway Station and associated elements along with elements that are not included in the VHR listing but contribute to the overall setting and understanding of the historical railway complex. The above comparative examples demonstrate the importance of major, nineteenth century, regional railway stations from the Gold Rush period and their key contributory elements. The Maryborough Railway Complex readily rivals the abovementioned examples and the contributory elements which currently fall outside the VHR registration further demonstrate its historical importance as a significant regional transport hub whose development was precipitated by the Gold Rush.

Detail Maps



Figure 9. Aerial map showing boundary of Railway Station, Forecourt, Goods Shed and Reserve, Maryborough.



Figure 10. Aerial map showing boundary of Railway Siding and Loco Shed, Maryborough.



Figure 11. Aerial map showing boundary of Loading Ramp, Maryborough.

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The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.



4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 12. View of Station Street towards the railway Station.



Figure 13. View of Maryborough railway station.



Figure 14. View across forecourt towards Burns Street.



Figure 15. View of goods shed.

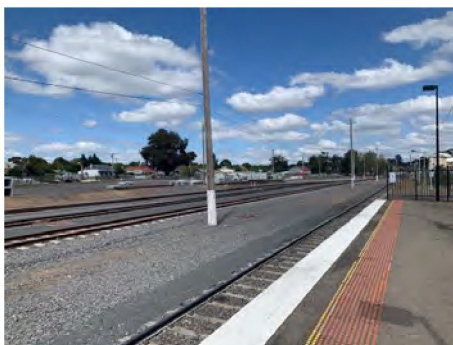


Figure 16. View from station platform towards other sheds.



Figure 17. View of locomotive shed (background) and surrounds.



Figure 18. View of loading ramp near corner of Burns and Harkness Streets.

HOX - Residence, Produce Store and Warehouse (St Carlo House/ Elias Crameri and Sons)

Heritage Place: Residence, Produce Store and Warehouse (St Carlo House / Elias Crameri and Sons)

HO Reference: TBA

Date updated: 9 January 2023

Address: 9-13 Tuaggra Street, Maryborough



Figure 1. Overview of the residence and warehouse.

Item Group: Residence, Produce Store and Warehouse

Key Theme: Building Victoria's industries and workforce

Item Type: Commercial and residential

Key Sub-theme: Making regional centres

Designer: Unknown

Construction: 1890-1894, 20th century

Builder: Unknown

Style: Federation / Victorian

Significance Level: Local

Controls: 0	External paint controls	0	Internal alteration controls	0	Tree controls
0	Included on Victorian Heritage Register	0	Incorporated Plans	●	Outbuildings and fence not exempt
0	Prohibited uses may be permitted	0	Aboriginal Heritage Place	●	Solar energy system controls

Curtilage



Figure 2. Aerial map showing boundary of 9-13 Tuaggra Street, Maryborough.

Statement of Significance

What is significant?

The Elias Crameri & Sons Produce Store and adjoining St Carlo House, located at 9-13 Tuaggra Street, Maryborough are significant. The brick stable building and associated warehouses are of contributory significance. Contemporary additions including solar panels to roofs and electric utility cabling to the Produce Store facade are not significant.

How is it significant?

The Elias Crameri & Sons Produce Store, adjoining St Carlo House and contributory stable building and associated warehouses are of local historical, aesthetic, and representative significance to the Central Goldfields Shire.

Why is it significant?

The Elias Crameri & Sons Produce Store, adjoining St Carlo House, stable building, and associated warehouses are of historical significance as buildings constructed as part of the rapid commercial and residential development of Maryborough during the Gold Rush period and the associated rapid expansion of the town.

The Elias Crameri & Sons Produce Store was constructed to serve the growing local community and its location to the southeast of High Street, outside of the main commercial hub of Maryborough, represents the expansion of the township. Its strategic corner location also links the building to the general urban expansion in Maryborough in the second half of the nineteenth century, as the need for convenient amenities in growing residential areas increased. The attached form of the Elias Crameri & Sons Produce Store and St Carlo House is significant as this demonstrates the characteristic 19th century business practice of adjoining residential and shop buildings. The intact building complex overall, including the warehouses and two-storey brick stable building, is significant as it represents the former importance and prominence of the commercial premises. (Criterion A)

The Elias Crameri & Sons Produce Store and associated warehouses are of representative significance as an intact Federation era commercial complex. The Elias Crameri & Sons Produce Store is characterised by its two-storey face red brick construction, double hipped roof clad with corrugated sheet metal, timber arched sash window and arched double timber warehouse door, upper level second warehouse door, and flat parapet with moulded cornice. The retention of original commercial features such as the painted commercial lettering reading 'ELIAS CRAMERI & SONS PTY LTD PRODUCE STORES' further add to representative significance as a Victorian commercial building. The addition of the corrugated sheet metal clad warehouses is further representative of the commercial nature of the property. (Criterion D)

St Carlo House is of aesthetic significance as an intact Victorian era residence. It is characterised by its face brick construction, hipped roof clad with corrugated sheet metal, front and side parapets, arched fenestration with moulded architraves, verandah with ornate cast iron lacework, a stepped parapet with a recessed panel with precast lettering reading 'AD 1893'.

The two-storey terrace form and massing of St Carlo House illustrates the aesthetic taste of the time, however, is unusual in Maryborough, which further adds to the aesthetic significance. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	<p>The Elias Crameri & Sons Produce Store, adjoining St Carlo House, stable building, and associated warehouses are of historical significance as buildings constructed as part of the rapid commercial and residential development of Maryborough during the Gold Rush period and the associated rapid expansion of the town.</p> <p>The Elias Crameri & Sons Produce Store was constructed to serve the growing local community and its location to the southeast of High Street, outside of the main commercial hub of Maryborough, represents the expansion of the township. Its strategic corner location also links the building to the general urban expansion in Maryborough in the second half of the nineteenth century, as the need for convenient amenities in growing residential areas increased. The attached form of the Elias Crameri & Sons Produce Store and St Carlo House is significant as this demonstrates the characteristic 19th century business practice of adjoining residential and shop buildings. The intact building complex overall, including the warehouses and two-storey brick stable building, is significant as it represents the former importance and prominence of the commercial premises.</p>
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	<p>The Elias Crameri & Sons Produce Store and associated warehouses are of representative significance as an intact Federation era commercial complex. The Elias Crameri & Sons Produce Store is characterised by its two-storey face red brick construction, double hipped roof clad with corrugated sheet metal, timber arched sash window and arched double timber warehouse door, upper level second warehouse door, and flat parapet with moulded cornice. The retention of original commercial features such as the painted commercial lettering reading 'ELIAS CRAMERI & SONS PTY LTD PRODUCE</p>

		STORES' further add to representative significance as a Victorian commercial building. The addition of the corrugated sheet metal clad warehouses is further representative of the commercial nature of the property.
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	St Carlo House is of aesthetic significance as an intact Victorian era residence. It is characterised by its face brick construction, hipped roof clad with corrugated sheet metal, front and side parapets, arched fenestration with moulded architraves, verandah with ornate cast iron lacework, a stepped parapet with a recessed panel with precast lettering reading 'AD 1893'. The two-storey terrace form and massing of St Carlo House illustrates the aesthetic lase of the time, however, is unusual in Maryborough, which further adds to the aesthetic significance.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

9-13 Tuaggra Street comprises an adjoining residence and warehouse building known as the St Carlo House and Elias Crameri and Sons respectively. The buildings are located on a large, triangular allotment located at the junction roundabout of Burns Street with Tuaggra Street. In addition to the Victorian era residence and Federation era brick warehouse, the property includes additional warehouse structures.

St Carlo House

The Victorian era residence comprises a two-storey face brick structure with a terrace form and massing. It is topped with a double hipped roof clad with corrugated sheet metal. The roof profile is obscured from view by the front and side parapets. It presents a single fronted and largely symmetrically arranged fa9ade, facing Tuaggra Street to the northeast. The ground level includes two approximately centred arched sash windows and the main entrance door with

arched fanlight to the left. The ground level fenestration is detailed with moulded architraves, a contrasting dark brown brick voussoir, and moulded string course.

The upper level includes two centred doors. The facade is fronted by the porch and verandah featuring moulded posts and balustrade spindles, with ornate cast iron lacework and balustrade panels. The verandah is topped with a convex awning clad with corrugated sheet metal. A moulded cornice with alternating brackets, precast mouldings, and end lions head corbels lead to the parapet. The stepped parapet features a recessed panel with precast lettering reading 'AD 1893' and a clam shell moulding set within a raised arch in the centre. Festoon moulding flank the parapet.

The side north-western elevation is comparably modest with no applied detailing and comprising of face brick. The residence is set back from the street allowing for a front garden and side driveway set between the industrial buildings on the property. The street front boundary along the residence is demarcated by tall, rendered piers with a hipped cap and finial supporting a palisade fence and driveway gate. The fence alignment is recessed along the driveway and the rendered foundation sections of the fence flanking the gate features a recessed panel reading 'ST CARLO HOUSE' and 'AD 1893'. Contrasting the face brick materiality, the stuccoed parapet and front fence is finished with a light pink colour while the precast mouldings and cast-iron lacework is painted a pale green colour. This is also observed in the alternating banding to the colours of the convex verandah awning.

Elias Crameri and Sons Produce Store

The two storey Federation era produce store is situated south of and adjoining St Carlo House. The face red brick structure presents a similar height and simple massing, characteristic of industrial warehouse buildings. The double hipped roof is clad with corrugated sheet metal and includes a single face brick corbelled chimney. The roof profile is partially obscured by the flat parapet.

The front facade includes varied fenestration loosely arranged on the facade. The ground level includes the timber panelled and glazed main entrance which is recessed on the facade next to a timber framed display window. A rendered lintel extends across the entrance and display window bay. Located to the left is a timber arched sash window and arched double timber warehouse door.

The upper level includes a second warehouse door. A timber framed arched window is located to its left and an additional three windows evenly spaced across the facade to its right. All windows and the upper-level door include an expressed rendered sill and flush brick voussoir or lintel. The facade is topped by a flat parapet with a moulded cornice. The parapet and cornice return along the side elevation meeting the residence. The facade retains the painted lettering between the entrance bay and upper-level windows reading 'ELIAS CRAMERI & SONS PTY LTD PRODUCE STORES'. The timber fenestration is painted pink, and the warehouse doors, lintels and sills painted dark green, complementing the colour scheme of the adjacent residence. Unlike the residence, the warehouse building has no setback from the threshold.

Additional warehouse structures

A single storey warehouse structure is located to the north of the St Carlo House, separated by the driveway. It includes double height sliding doors along the Tuaggra Street front with a sign overhead indicating the structure was used as a drive-in produce store.

Another two-storey warehouse is located to the south and adjoining the main brick warehouse. It presents two distinct roof sections, a double sawtooth roof to the eastern half and a double gable roof to the western half.

Both warehouse structures are fully clad with corrugated sheet metal painted dark green at the base and an off-white colour above.

To the rear of the two-storey warehouse is a two-storey face brick former stable structure (Quayle, 2012) with a gable roof clad with corrugate sheet metal. A skillion awning extends from the double gable roof of the adjacent warehouse to meet the eastern elevation of the brick structure. It includes small sash windows to the southern elevation fronting Burns Street and a larger timber sash window to the western and eastern elevation.

The rear of the property is demarcated by a corrugated sheet metal fence. The backyard area is mostly paved forming part of the driveway and the rear parking area. Evidence of a circular garden bed is located at the south-eastern extent of the property. There are some interspersed mature tree plantings located along the perimeter of the property.

Alterations and Additions

- Addition of the corrugated sheet metal clad warehouses.
- Solar panels added to the front roof face of the brick warehouse building.

Roof of the residence and brick warehouse building reclad with corrugated sheet metal.

Rear single-storey extension to the residence.

Relandscaping of the rear yard.

Main structures on the property including the St Carlo House, Elias Crameri and Sons warehouse, and rear stables appear highly intact. The addition of the corrugated sheet metal clad warehouses is further representative of the commercial nature of the property. Apart from visibly rusted corrugated sheet metal cladding to the warehouse walls and roofs, the buildings appear in overall good condition. The site is considered in good condition and with high integrity.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

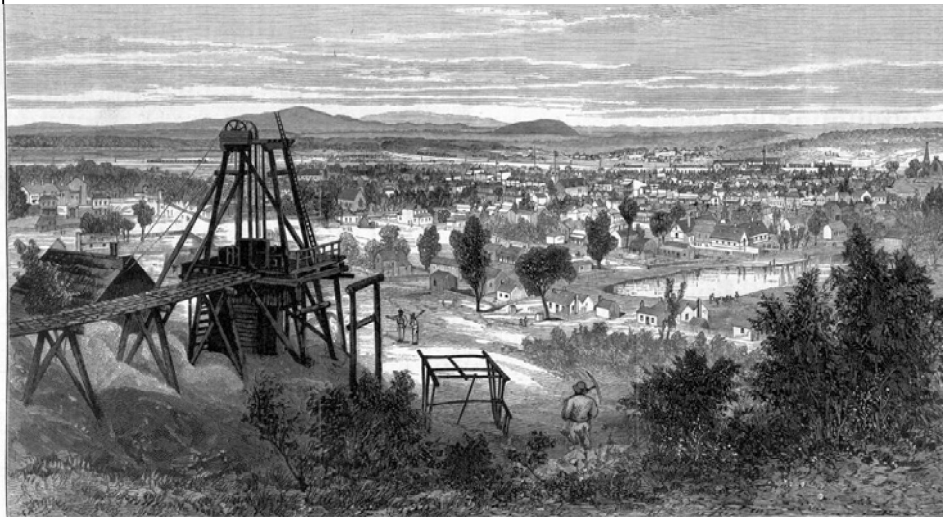


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

By the time Maryborough was surveyed in December 1855, a concentration of commercial buildings was situated in the area between Inkerman Street and Hospital Street (which is now known as Tuaggra Street). The lithograph in Figure 5 shows the location of St Carlo House, the Cramerer Produce Store, and associated structures. At the time the lithograph was made, it is likely that the buildings were being used as a hay and corn store (Osborn 2011, 298).

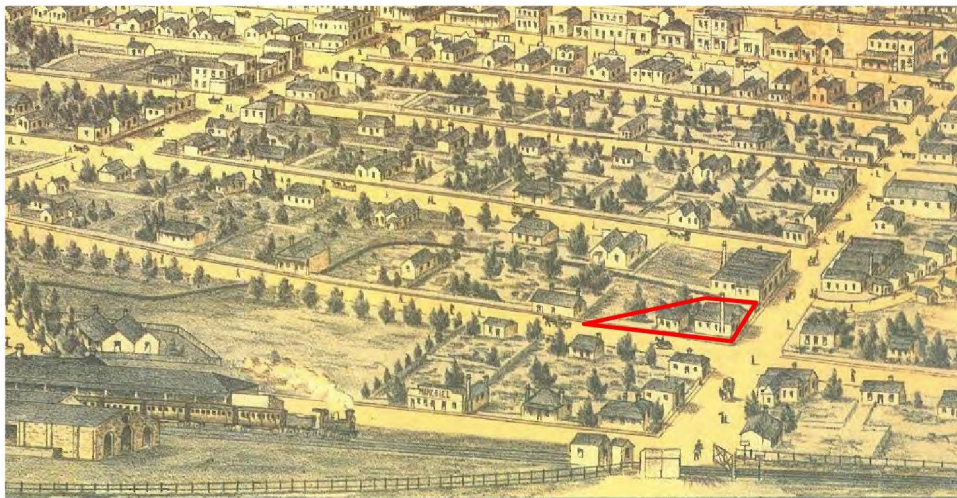


Figure 5. Extract of c.1886 lithograph showing the location of St Carlo House, the Cramerer Produce Store, and associated structures, outlined in red. Source: Niven, F. W. c.1886. *View of Maryborough, Victoria, Australia*.

St Carlo House was built between 1870 and 1890 for the Swiss migrant Elias Cramerer (The Age 8 February 2012) replacing an earlier structure. The Produce Store was built between 1890 and 1895. In April 1895 the Produce Store was broken into and burglars are described as gaining access via 'cutting out the sash of the office door' (The Age, 25 April 1895, 6).

In 1934 Cramerer and Sons Pty Ltd operated as produce merchants, machinery, and general agents (The Argus, 12 May 1934, 18). By 1946, the additional warehouse structures had been constructed as shown in Figure 6. It is likely that the sheet-metal clad warehouse was constructed in the twentieth century (Bick et al. 1992a). The ownership of the Cramerer family continued throughout the twentieth century.



Figure 6. Extract from 1946 aerial photograph of Maryborough showing the St. Carlo House, the produce store, and other associated buildings, outlined in red. *Source:* Photographer unknown. 1946. Historic Aerial Photography- 1930s-1990s. Photograph. Landata (website).

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar development associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

The Elias Crameri & Sons Produce Store and associated buildings are located in the centre of Maryborough, just outside of the commercial hub, in close proximity to main civic buildings. Corner stores such as this served the immediate local communities and developed throughout the eighteenth and nineteenth centuries, in hand with urban expansion due to growing gold mining communities.

In lieu of comparable examples of Produce Store complexes withing Maryborough or Central Goldfields Shire, examples have been drawn from neighbouring goldfields municipalities.

Examples include:

- **Brooks Store, 6 Templeton Street, Maldon (H0318, VHR H1677).** Brooks Store (a former Co-operative Store and Grain Store) is of historical and architectural importance to the State of Victoria. The building complex consists of a single-storey cooperative store, constructed in 1866, and additions dating to 1868 and 1872 including an adjoining two-storey grain store and other buildings to the rear. Like the subject site, Brooks Store was originally a family run produce store and grain store, occupying a street corner location within a Victorian gold mining town. Both stores feature red face brick construction, parapet frontages, an adjoined produce store/ grain store, additional buildings clad in corrugated sheet metal, bold, painted commercial lettering to the facade, and the inclusion stable buildings within the complex. Unlike the Elias Crameri & Sons store complex, Brooks Store exhibits features such as a timber posted verandah, corrugated sheet metal cladding to the upper storey facade of the grain store, and banks of commercial display windows to the facade of the cooperative store which make Brooks Store more characteristically commercial in nature. The subject site is smaller overall and includes an attached residential dwelling, which Brooks Store does not.
- **Former Clifton Brothers Store and house, 95 Main Road, Campbells Creek (H01145).** The former Clifton Brothers Store is of local architectural and historical significance to Mount Alexander Shire. It comprises a Victorian sandstone house with a former store attached. Like the subject site, the former Clifton Brothers Store is associated with the consolidation of the settlement in the local Township and demonstrates the characteristic 19th century business practice of attached shop and residence buildings. The attached residence exhibits Victorian characteristics such as a parapeted facade with a hipped roof form behind,

unpainted red-brick chimney with corbelled top, ornate cast-iron lacework frieze to the verandah, and timber framed doors and windows, although the Victorian elements of St Carlo House are overall much more detailed and ornate than those of the residence attached to the former Clifton Brothers Store. Unlike the subject site, the facade of the store building has been altered substantially. The buildings are also single storey, of a much smaller scale overall and the building complex comprises no associated warehouses.

The above comparative analysis includes sites outside of the Central Goldfields Shire due to a lack of known examples of a comparable typology, that is Victorian / Federation commercial complexes comprising an adjoined, two-storey brick residence and Produce Store and associated warehouses and stables, within the municipality. As the comparative example demonstrates, there are a lack of similar examples of this building typology within Maryborough. Other commercial buildings in Maryborough tend to be high street shops or local corner stores, not commercial complexes of the same larger scale as the subject site. St Carlo House, the Elias Crameri and Sons Produce Store, and the associated stable building and warehouses present a good example of this building type, and the buildings compare well with similar examples in other gold fields towns.

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Limitations

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Further Images



Figure 7. Overview of the property from Tuaggra Street.



Figure 8. View of the warehouse structure along Tuaggra Street.

HO number - Tiverton, 16 Peel Street, Maryborough

Heritage Place: Tiverton

HO Reference: TBA

Date updated: 9 January 2024

Address: 16 Peel Street, Maryborough



Figure 1. Oblique view of the facade of Tiverton.

Item Group: Residential Buildings (private)

Key Theme: Building towns cities and the garden state

Item Type: House

Key Sub-theme: Making regional centres

Designer: James Evans

Construction: 1864

Builder: James Evans

Style: Victorian

Significance Level: Local

Controls:	0	External paint controls	0	controls	barks (<i>Eucalyptus</i>
				Internal alteration	Side controls [Mature iron
	0	Included on Victorian Heritage Register	0	Incorporated Plans	● Outbuildings and fence not exempt (Detached

Extent Heritage Pty Ltd | Heritage Citation: Individual Place
Tiverton, 16 Peel Street, Maryborough

kitchen building and
weatherboard stable)

- ☐ Prohibited uses may
be permitted
 ☐ Aboriginal Heritage
Place
 ☒ Solar energy system
controls

Curtilage



Figure 2. Aerial map showing boundary of 16 Peel Street, Maryborough.

Statement of Significance

What is significant?

Tiverton at 16 Peel Street, Maryborough is significant. The mid nineteenth century brick residence, the detached kitchen building and weatherboard stable to the rear are of significance to the Central Goldfields Shire. The siting of the residence in a garden setting, the tennis court and mature iron bark (*Eucalyptus sideroxylon*) trees to the rear also contribute to the significance of the place.

How is it significant?

Tiverton is of local historical, representative, and associative significance to the Central Goldfields Shire.

Why is it significant?

Tiverton is of historical significance as one of the oldest and largest brick dwellings in the township of Maryborough. Large, stately residences situated in a garden setting, were constructed by and for prominent, early members of Gold Rush towns in the mid-late nineteenth century. Constructed in 1864 and expanded into the late nineteenth century, the property is characteristic of the lifestyle of well to do residents of the time. (Criterion A)

Tiverton is of representative significance as a substantially intact and characteristic example of a mid-late nineteenth century residence constructed for prominent residents. It exhibits key architectural features of an early, restrained Victorian residential dwelling with its masonry construction, hipped roof, open gable, verandah, and corbelled chimneys. The building retains its vernacular form, materials, setback, and siting in an expansive garden setting with its early weatherboard stable and detached kitchen outbuildings. (Criterion D)

Tiverton is also of significance for its association with a number of notable residents, including the Herring family. The first owner James Evans was the proprietor and editor of the Maryborough and Dunolly Advertiser from 1864-1891 and was an important member of the early Maryborough township. The Herring family are a long-standing family of prominence within the township and notable residents from the family have included Edmund S. Herring the founder of a reputable Maryborough law firm; and Edmund F. Herring first Victorian-born Chief Justice of Victoria and the longest serving Lieutenant Governor of Victoria. As the home of these prominent members of the community of importance to the historical development of the town, the property demonstrates the influence of affluent professionals on the built environment of the township. (Criterion H)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	Tiverton is of historical significance as one of the oldest and largest brick dwellings in the township of Maryborough. Large, stately residences situated in a garden setting, were constructed by and for prominent, early
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		members of Gold Rush towns in the mid-late nineteenth century. Constructed in 1864 and expanded into the late nineteenth century, the property is characteristic of the lifestyle of well to do residents of the time.
<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	Tiverton is of representative significance as a substantially intact and characteristic example of a mid-late nineteenth century residence constructed for prominent residents. It exhibits key architectural features of an early, restrained Victorian residential dwelling with its masonry construction, hipped roof, open gable, verandah, and corbelled chimneys. The building retains its vernacular form, materials, setback, and siting in an expansive garden setting with its early weatherboard stable and detached kitchen outbuildings.
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics</i>	The place does not meet this criterion.
<i>F</i>	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
<i>G</i>	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
<i>H</i>	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	Tiverton is also of significance for its association with a number of notable residents, including the Herring family. The first owner James Evans was the proprietor and editor of the Maryborough and Dunolly Advertiser from 1864-1891 and was an important member of the early Maryborough township. The Herring family are a long-standing family of prominence within the township and notable residents from the family have included Edmund S. Herring the founder of a reputable Maryborough law firm; and Edmund F. Herring first Victorian-born Chief Justice of Victoria and the longest serving Lieutenant Governor of Victoria. As the home of these prominent members of the community of importance to the historical development of the town, the property demonstrates the

		influence of affluent professionals on the built environment of the township.
	Significance level	Local

Description

Physical Analysis

Tiverton, also known as the Sir Edmund Herring House, is located at 16 Peel Street, Maryborough. It comprises a single-storey Victorian era residence. The rendered masonry structure is finished with a deep red paint and presents an elongated footprint with a double hipped roof clad with corrugated sheet metal and face brick corbelled chimneys with dentils and tall terracotta chimney pots.

The front facade addresses Peel Street and is defined by a deep return verandah that extends along the side and rear elevations with timber posts supporting a low-pitched awning. The return verandah and front facade includes the timber panelled main entrance door with sidelights and timber sash windows. The front verandah terminates where it meets the open gable with a projecting bay window.

A secondary structure with a double hipped roof is located to the north of the main residence adjoined by a flat roofed rear addition. Another rear brick addition adjoins the original maid's quarters which comprises a simple face brick gable structure with a chimney expressed along its northwestern elevation. Other structures on the property include a shed with a skillion roof clad with corrugated sheet metal and a timber barn with a cross gable roof.

Tiverton is situated on a large allotment with extensive gardens and interspersed mature trees along its perimeter and clustered around the rear section of the property. A concrete paved tennis court surrounded by a chain-link fence occupies the southern extent of the property beside the main residence. The main residence presents a deep setback from the street with a landscaped front garden. A gable roofed carport with tiled paving and lattice screens is situated off the bay window.

The street front boundary is mostly demarcated by a low timber lattice fence, backed by a tall hedge, largely obscuring views of the residence from the street. A post and palisade fence provides access to the front garden with a section of fence extending to the right comprising corrugated sheet metal. A gravel laid driveway extends along the north boundary of the residence with a contemporary metal gate and corrugated sheet metal fence section.

Alterations and Additions

- Timber post replacement to the return front porch awning.
- Replaced window frames to the front facade bay window.
- Chain link fence surrounding the tennis court.
- Carport with gable roof and tiled paving.
- Corrugated sheet metal front fence sections and contemporary metal gate added.

- Skylight added to the rear double hipped roof structure.
- Rear addition to the main residence.
- Rear brick addition adjoining the maid's quarter.

The main residence and other structures on the property remain largely intact albeit adjoined by rear additions, which remain obscured from view, from the public domain. Minor alterations to the main residence include the refurbished verandah awning structure and addition of new windows to the bay window. The surrounding landscape retains its garden setting and a number of mature trees. The most visible alteration from the public domain comprises the contemporary fence and gates along with the carport. Tiverton is considered to be in good condition and of moderate to high integrity overall.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

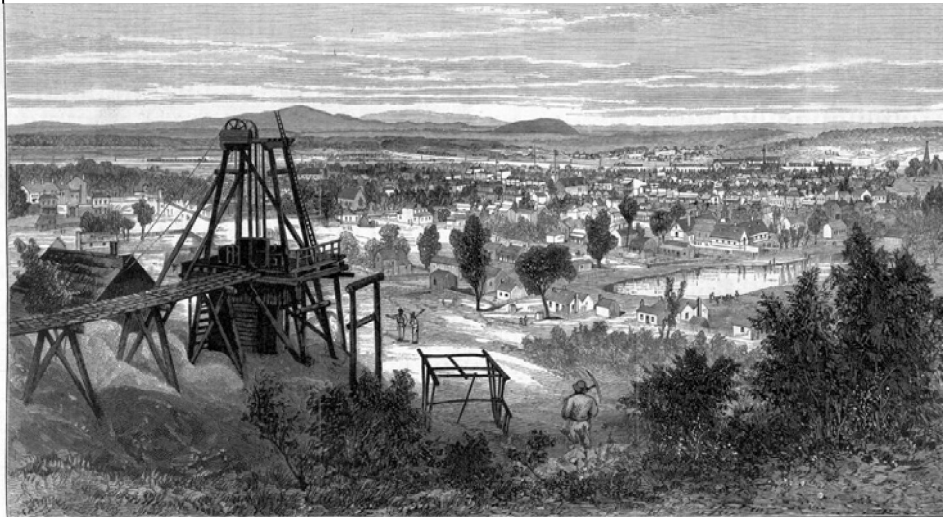


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

Tiverton, the residence at 16 Peel Street, Maryborough, is considered to be the township's oldest brick dwelling. The residence has been home to multiple notable members of the Maryborough community since its initial construction in 1864 (Bick et al. 1992). The house was expanded in at least two stages, but the dates of these works could not be confirmed via archival research.

James Evans (-1894) was a printer, newspaper proprietor and editor of the Maryborough and Dunolly Advertiser. Educated in London, Evans came to Melbourne to write about the Gold Rush. He later moved to Maryborough and became the editor at the Maryborough and Dunolly Advertiser in 1860, purchasing the newspaper the following year (Bick et al. 1992). James Evans purchased allotments 11 and 12, along Peel Street in Section 34, in 1862. By October 1864, he was listed as the owner/occupant of a brick cottage on the allotment land (Bick et al. 1992). Evans continued to expand his property and acquired allotment 10 in 1866, allotments 7, 8, 13 and 14 in 1867, allotments 4, 5, 6, 9 and 9A in 1869, and allotments 15 and 16 in 1870 (refer Figure 5). The initial Net Asset Value (NAV) of £60 remained steady until the boom years, when in 1888, it increased to £90. It is unclear if the increase in NAV was due to expansion and improvement works to the dwelling or due to inflation. Evans' career was tumultuous and his opinions on Christianity controversial. His editorship ended in 1883, and after selling Tiverton to Edmund S. Herring in 1891, he took his own life on 4 October 1894 (Bick et al. 1992).



Figure 5. Extract from 1948 map showing the land purchased by James Evans, outlined in red. *Source:* Department of Lands and Survey. 1948. *Town of Maryborough Sheet 1*. Parish plan. Regional Land Office Parish and Township Plans Digitised Reference Set VPRS 16171/P0001/6. Public Records Office Victoria. https://mapwarper.prov.vic.gov.au/maps/2363#Preview_Rectified_Map_tab.

Edmund Selwyn Herring (1862-1925) was the founder of a reputable law-firm in Maryborough, which remains in operation as Herring & McMillan, and continues to proudly retain the 'Herring' name (Herring & Macmillan). Herring purchased Tiverton in 1891, and the property remained in the family for several generations (Bick et al. 1992). The NAV of the property by the following year was £100. In 1892, the Herring's welcomed their third of five children Edmund Francis (Ned) Herring, who established himself as an outstanding leader in both the British Army and the Australian Army in WWI and WWII, became the first Victorian-born Chief Justice of Victoria in 1944, and was the longest serving Lieutenant Governor of Victoria (Browne 2007). The sportsmanship often remarked on in reports of Sir Edmund Herring's military and judicial achievements was grounded in young Ned's country sporting pursuits and his childhood in Maryborough with his cricketer prowess attributed to his 'cricketer father' and tennis skills most likely perfected on the tennis court at Tiverton (The Herald 1946, 5) (Winner 1917, 8). The tennis court can be seen in a 1946 aerial image and was most likely constructed sometime in the late nineteenth century however the exact date could not be determined via archival research (refer Figure 6).



Figure 6. Extract from 1946 aerial photograph of Maryborough showing the property of Tiverton including the tennis court, identified by the red arrow. Source: Photographer unknown. 1946. Historic Aerial Photography- 1930s-1990s. Photograph. Landata (website).

Edmund S. Herring died in 1925, however, the house remained in the family. J. F. Herring was attributed as the owner/occupant of the house in 1928, followed by Mrs Barabara Herring in 1958 (Bick et al. 1992 - *as per Maryborough RB 1892 no.412*). Tiverton is still in use today as a private residence.

Comparative Analysis

Tiverton with its outbuildings and garden setting is representative of large, stately Victorian dwellings constructed for prominent and well to do professionals and their families during the Gold Rush period. Tiverton is known to be one of, if not the oldest, brick dwelling in the township and can be compared to dwellings with similar developmental history and architectural form and style. Comparable examples include:

- **3-5 Park Road, Maryborough (HO TBC, Central Goldfields Shire).** Although built later in 1887-88, the residence at 3-5 Park Road is comparable in terms of its architectural style, form, and features. Similarities include masonry construction, hipped roof, open gable, bay window, return verandah and corbelled chimney. Built as a doctor's practice, the house at 3-5 Park Road, is said to have housed doctors till the mid twentieth century (Bick et al. 1992).

- **Gordonville, 38 Adair Street, Maldon (VHR H0412, HO983 Mount Alexander Shire).** Gordonville, located on a prominent corner site in Maldon, was constructed in 1866. The single storey Victorian residence compares to Tiverton in terms of its brick construction, double hipped roof, open gable, bay window, return verandah and corbelled chimneys. The design of Gordonville, however, exhibits more detailing including cast iron lacework, quoining around the corners, a pedimented gable with a cornice, architrave and acroteria and a bay window with Corinthian columnettes. Both properties were constructed in stages and are recognised for their historical association with prominent residents of their respective towns.
- **Talerddig, 24 Greenhill Avenue, Castlemaine (VHR H1681, HO613 Mount Alexander Shire).** Talerddig in Castlemaine is another example of a mid-nineteenth century, single storey Victorian residence with historical association to a prominent resident of Castlemaine. Constructed in 1868-69, with later additions in the late nineteenth century, its key comparable features include brick construction, hipped roof, verandah, bay window, and corbelled chimneys with chimney pots. Unlike Tiverton however, Talerddig exhibits an elevated floor level and a verandah with a detailed cast iron valence.
- **167 Mostyn Street, Castlemaine (VHR H0678, HO654 Mount Alexander Shire).** The residence at 167 Mostyn Street in Castlemaine compares as a single storey dwelling constructed in a restrained Victorian architectural style. Built in 1869 for an important family leading the new society of Castlemaine, it lacks the hipped roof and bay window on display at Tiverton.

Although Tiverton lacks the detailing at display in some of the above examples, several of which have been recognised at the state level, it compares well in terms of its developmental history, scale, and form. The residence is a quality example of a mid-nineteenth century Victorian dwelling that has been expanded over time. The property maintains its early/original setting and is comparable to similar properties within and outside the Central Goldfields Shire.

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Further Images



Figure 7. Oblique view of the front façade, southern elevation and return verandah.



Figure 8. View of the rear addition and courtyard.



Figure 9. Oblique view of the detached kitchen (former).



Figure 10. View of the weatherboard stables.



Figure 11. View of the tennis court.

HO number - Worsley Cottage, 3 Palmerston Street, Maryborough

Heritage Place: Worsley Cottage

HO Reference: TBA

Date updated: 8 January 2024

Address: 3 Palmerston Street, Maryborough



Figure 1. Worsley cottage and original grapevine. *Source:* Extent Heritage

Item Group: Residential Buildings (private)

Key Theme: Building towns cities and the garden state

Item Type: Cottage

Key Sub-theme: Making regional centres

Designer: Arthur Worsley

Construction: 1894, c. 1908 and [1844]

Builder: Arthur Worsley

Style: Victorian

Significance Level: Local

Controls: **Q** External paint controls **0**

Internal alteration controls

● Tree controls (Mature grapevine and mature pomegranate)

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- | | | |
|---|---|---|
| <input type="radio"/> Included on Victorian Heritage Register | <input type="radio"/> Incorporated Plans | <input checked="" type="radio"/> Outbuildings and fence not exempt (Timber and brick buildings to the rear of the property; no fence) |
| <input type="radio"/> Prohibited uses may be permitted | <input type="radio"/> Aboriginal Heritage Place | <input checked="" type="radio"/> Solar energy system controls |
-

Curtilage



Figure 2. Aerial map showing boundary of 3 Palmerston Street, Maryborough.

Statement of Significance

What is significant?

Worsley Cottage at 3 Palmerston Street, Maryborough is significant. The late nineteenth and early twentieth century bluestone cottage and the 1844 slab hut are of significance to the Central Goldfields Shire. The rear brick and weatherboard addition to the original cottage, timber and brick outbuildings, the siting of the cottage in a garden setting, the timber arbour with mature grapevine, mature pomegranate tree and cast-iron lamppost also contribute to the significance of the place.

How is it significant?

Worsley Cottage is of local historical and representative significance to the Central Goldfields Shire.

Why is it significant?

Worsley Cottage is of historical significance as a residential dwelling that illustrates the rapid development of Maryborough during the Gold Rush period. Modest dwellings, with associated outbuildings, constructed by and for the residents of towns like Maryborough were common in the mid-late nineteenth century. Constructed c. 1894 and developed into the early twentieth century, the property not only forms a tangible link to this period but is also characteristic of the general lifestyle of the residents of Maryborough at the time. (Criterion A)

Although not original to the site, the 1844 slab hut located on the property is of historical significance as reputedly the oldest surviving building in the district. The presence of the slab hut demonstrates the early pastoral buildings of the town prior to the Gold Rush era. (Criterion A)

Worsley Cottage is of representative significance as a substantially intact and characteristic example of a typical nineteenth century bluestone cottage. The building not only retains a high degree of integrity with its vernacular form, materials, setback, and siting but also exhibits key architectural features of Victorian residential dwellings constructed in gold mining towns in the nineteenth century. (Criterion D)

The 1844 slab hut is of representative significance as a characteristic example of a nineteenth century pastoral dwelling. The building exhibits key architectural features of an early pastoral run hut with its timber shingles clad hipped roof and vertical timber slats. The remnant building illustrates the lifestyle of the early colonists and the structures they built out of local materials. (Criterion D)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	Worsley Cottage is of historical significance as a residential dwelling that illustrates the rapid development of Maryborough during the Gold Rush period. Modest dwellings, with
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		<p>associated outbuildings, constructed by and for the residents of towns like Maryborough were common in the mid-late nineteenth century. Constructed c. 1894 and developed into the early twentieth century, the property not only forms a tangible link to this period but is also characteristic of the general lifestyle of the residents of Maryborough at the time.</p> <p>Although not original to the site, the 1844 slab hut located on the property is of historical significance as reputedly the oldest surviving building in the district. The presence of the slab hut demonstrates the early pastoral buildings of the town prior to the Gold Rush era.</p>
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	<p>Worsley Cottage is of representative significance as a substantially intact and characteristic example of a typical nineteenth century bluestone cottage. The building not only retains a high degree of integrity with its vernacular form, materials, setback, and siting but also exhibits key architectural features of Victorian residential dwellings constructed in gold mining towns in the nineteenth century.</p> <p>The 1844 slab hut is of representative significance as a characteristic example of a nineteenth century pastoral dwelling. The building exhibits key architectural features of an early pastoral run hut with its timber shingles clad hipped roof and vertical timber slats. The remnant building illustrates the lifestyle of the early colonists and the structures they built out of local materials.</p>
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	The place does not meet this criterion.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.

H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

Worsley Cottage comprises a single-storey stone and brick former residence dating from the late Victorian era. The modest cottage structure presents a simple double gable form and comprises of bluestone block construction with face red brick quoining to the corner edges, front door, and windows. The front facade presents a symmetrical arrangement comprising a centred timber panelled door. The door is flanked by single timber sash windows with a multi-pane top sash. The face red brick detailing sits slightly proud of the bluestone.

The side and rear walls comprise of bluestone and sandstone rubble construction. A single sash window sits centred on each side elevation of the rear gable bay. The eastern window includes a corrugated sheet metal skillion awning supported on simple brackets. The double gable roof over the cottage is clad with corrugated sheet metal and includes a single, expressed, face red brick chimney along its eastern elevation. The additional sections to the rear of the cottage are comprised of face red brick, weatherboard construction and a skillion roof also clad with corrugated sheet metal. The skillion roof incorporates a simple face red brick chimney to the south, abutting the original building to the rear, and another along its western elevation.

A slab hut, dating from 1844, was reconstructed on the property in 1980. Located to the north-west of Worsley Cottage, the simple slab hut structure presents a hipped roof clad with timber shingles. Clad with vertical timber slabs, it includes simple multi-paned windows to the eastern elevation, a brick chimney to the western elevation, and a braced and ledged timber door to the southern elevation. Internally, its floor is made of rammed earth and the walls are lined with hessian and calico.

A group of outbuildings dating from the late nineteenth and early twentieth century are located at the rear of the property, along its north-western and north-eastern boundaries. The buildings originally housed the laundry, bathroom, stable, and blacksmith's shop and are constructed of timber slab and mud brick walls. The buildings were refurbished in 1992-1993 and consist of brick and stone construction with corrugated sheet metal clad roofing.

Worsley Cottage is set back from the street and is surrounded by a cottage garden. The street front boundary is demarcated by a timber picket fence with centred timber posts flanking a steel gate. The gate provides access to the centred red brick pathway that leads to the concrete slab threshold at the front of the main entrance door to the cottage. The pathway is lined by a timber arbour that supports a mature grapevine (attributed as a Worsley family planting). Also located along the front fence is a mature pomegranate tree and a cast iron lamppost (of unknown origins). The side and rear landscape includes a gravel driveway along the south-western boundary and a red brick pathway between the cottage and rear buildings. Contemporary additions include raised water tanks and a canvas shade structure.

Worsley Cottage and the surrounding buildings on the property are presently occupied by the Maryborough Midlands Historical Society and function as a museum and resource centre.

Alterations and Additions

- Relocation and reconstruction of the slab hut on the property by the Midland Historical Society which involved replacement of six main posts, six log bottom plates and some slabs (1980).
- Addition of the brick chimney to replace a 1920s galvanised iron chimney of the slab hut (1981).
- Re-cobbing of the joists between slabs at the slab hut (1989).
- Major refurbishment and repairs of the rear outbuildings (1992-1993).
- Addition of solar panels to the east roof face of the rear outbuilding.
- Contemporary additions to the landscape include raised water tanks and a canvas shade structure.
- Recent structural work and bracing to Worsley Cottage (2020-present).

The group of buildings on the property including Worsley Cottage itself have undergone refurbishment and restoration to various extents. However, these works have been sensitively undertaken and are sympathetic to the original massing, form, materiality, and siting of the group of buildings. Contemporary elements including the water tanks and the canvas shade structure are largely recessive and are not visible from the public domain. Key landscape elements including the cottage garden, grapevine, arbour, front fence, and lamppost reinforce the original farm setting of the place. The Worsley Cottage, slab hut, outbuildings, and landscape are in good condition and of high integrity.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

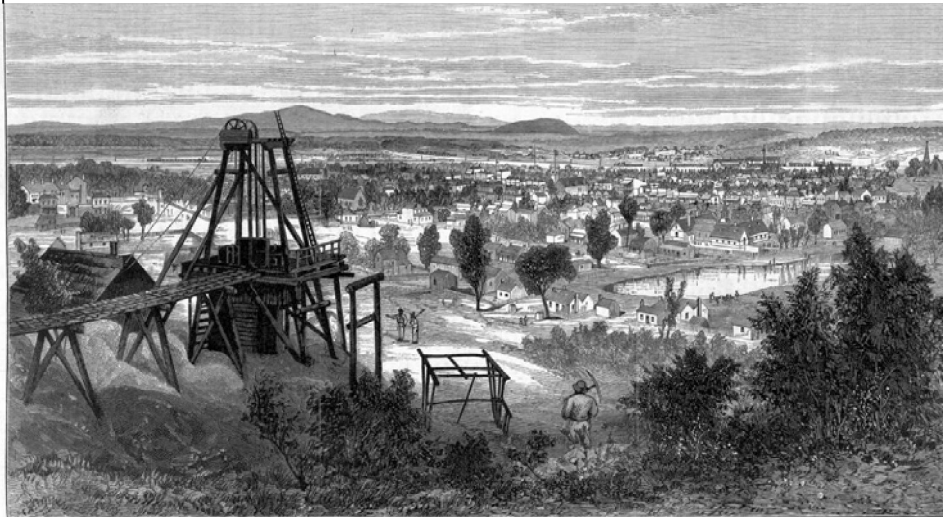


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

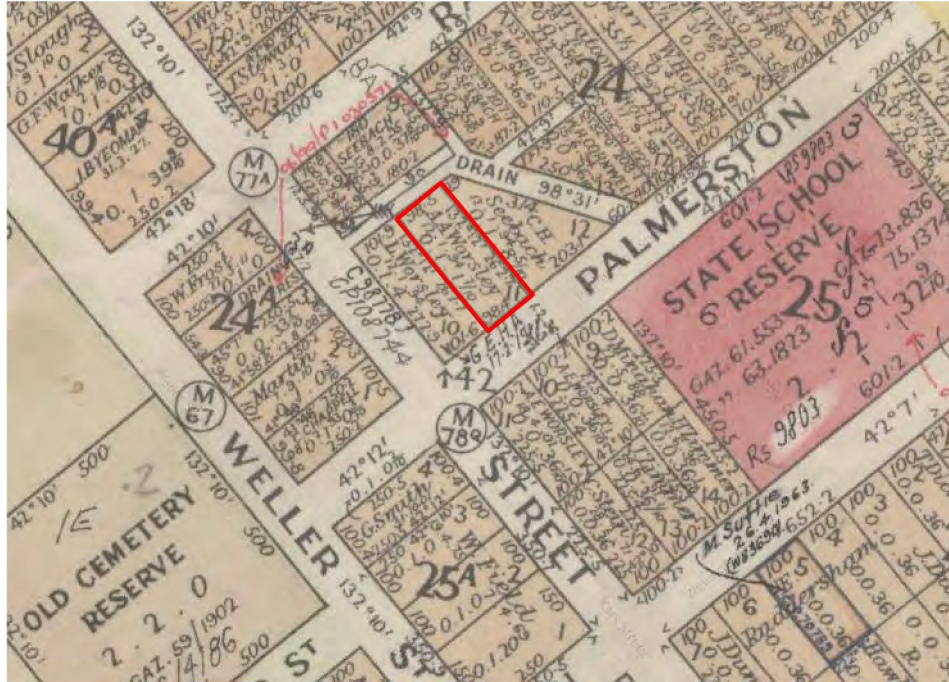


Figure 5. Extract from 1948 map showing the block purchased by Arthur Worsley, outlined in red.

Source: Department of Lands and Survey. 1948. *Town of Maryborough Sheet 2*. Parish plan. Regional Land Office Parish and Township Plans Digitised Reference Set VPRS 16171/P0001/6. Public Records Office Victoria. https://mapwarper.prov.vic.gov.au/maps/2365#Preview_Rectified_Map_tab.

The 1948 Maryborough Parish plan shows the quarter acre block first purchased by Arthur A. Worsley in 1894 (refer Figure 5). Worsley worked as a stonemason and had married Agnes Morris in the previous year. Worsley used stone he quarried from near the Avoca Road to build, the first two rooms of the couple's home, 'Worsley Cottage' (refer Figure 6) (Maryborough Midlands Historical Society 2023, 2).



Figure 6. 1903 photograph of Elsie and Frederick Worsley in front of the stone cottage. Note the grapevine at the front. *Source:* Maryborough Midlands Historical Society.

During the 1900s, a further two rooms were added to the existing building (Bick et al. 1992). In 1908, the property included a 'detached kitchen, a stable, a tool house, a dray shed, a fowl house, a W.C. and land' (Bick et al. 1992). The cottage remained in the Worsley family until the late 1930s and following its sale was occupied by a number of local families. From 1976 onwards, Worsley Cottage has been the headquarters of the Maryborough Midlands Historical Society (Bick et al. 1992).

The property also includes a slab hut to the rear of Worsley Cottage. It was originally a shepherd's hut, dating from around 1844, located at the Plaistow Pastoral run. Following the construction of a new brick homestead, the slab hut was moved to the neighbouring Yaralla farm c.1920. Given its poor condition, the hut was acquired by the Midlands Historical Society and re-erected at its present site in 1980.

The outbuildings at the rear of the property were in poor condition and underwent major repairs in 1992 and 1993 (Bick et al. 1992). In c.2020, a bracing was fitted to support the southern wall of the cottage building (Maryborough Midlands Historical Society 2023, 2). In 2023, repairs were also carried out to the foundations and walls of the stone cottage (refer Figure 7).



Figure 7. Repairs of Worsley Cottage underway in April 2023. *Source:* Worsley Cottage Museum Complex Facebook page.

Comparative Analysis

Worsley Cottage along with its outbuildings in a garden setting is representative of how many Victorians lived in regional towns in the nineteenth and early twentieth century. It is said to be one of just two known surviving stone dwellings in the Central Goldfields Shire (Bick et al. 1992). The **Junction Lodge, 69 Camp Street, Carisbrook (VHR H0342)**, constructed c.1872, is most likely the other however this could not be confirmed through archival research. Although also a bluestone house built with locally quarried stone, Junction Lodge is much larger in scale and part of a complex of homestead buildings as opposed to a single dwelling within a townscape and is therefore, not particularly comparable. Some comparable examples include:

- **Bowe's Cottage, 270 Bells Reef Road, Malden (HO26, Mount Alexander Shire).** Although constructed slightly earlier c.1860, similar to Worsley Cottage, Bowe's Cottage was also built by a stonemason as part of a complex of family dwellings near a gold mining town. It compares as a bluestone dwelling with a hipped roof, symmetrical front facade arrangement, timber panelled door flanked by multi paned sash windows with similar garden setting and associated outbuildings. Bowe's Cottage lacks the double gable form as well as the quoining detail present at Worsley Cottage. Bowe's Cottage was also largely destroyed in the 1969 bushfires and has since been reconstructed.
- **Powder Magazine Keeper's Cottage, 47 Farnsworth Street, Castlemaine (HO607, Mount Alexander Shire).** The Powder Magazine Keeper's Cottage is comparable to Worsley Cottage as a stone dwelling constructed as a result of substantial development that occurred due to the Gold Rush in Victoria. Despite its hipped roof, timber framed doors and windows, the Keeper's Cottage does slightly differ owing to its L shape, sandstone construction and early construction date of c.1857. Both properties are in good condition.

The above comparative analysis includes sites outside of the Central Goldfields Shire as the known examples of bluestone buildings in the municipality are not of comparable typology, scale, or form. As the above comparative analysis demonstrates, Worsley Cottage is a high-quality example of a bluestone cottage that has maintained its early/original setting and compares well to similar examples located in other Goldfields towns.

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 8. Overview of Worsley Cottage and fence.



Figure 9. Detail view of signage outside Worsley Cottage.



Figure 10. Detail view of steel gate and timber arbour.



APPENDIX B – JOINT/SERIAL LISTING CITATIONS

HO number - Methodist and Church of Christ Churches, Maryborough

Heritage Place: Methodist and Church of Christ Churches

HO Reference: TBA

Date updated: 9 January 2024

Address: 63 & 65 Inkerman Street and 49 Clarendon Street, Maryborough



Figure 1. Oblique view of 63 and 65 Inkerman Street, Maryborough.

Item Group: Religion		Key Theme: Building towns, cities and the garden state	
Item Type: Church and church hall		Key Sub-theme: Making regional centres	
Designer: N/A		Construction: 63 Inkerman St- 1886; 65 Inkerman St - 1860; 49 Clarendon St - c.1886	
Builder: N/A		Style: Astylar, Victorian Gothic, Post-war	
Significance Level: Local			
Controls:	0 External paint controls	0 Internal alteration controls	0 Tree controls
	0 Included on Victorian Heritage Register	0 Incorporated Plans	Outbuildings and fence not exempt
	0 Prohibited uses may be permitted	0 Aboriginal Heritage Place	● Solar energy system controls

Extent Heritage Pty Ltd | Heritage Citation: Joint Listing
Methodist and Church of Christ Churches, 63 & 65 Inkerman Street and 49 Clarendon Street, Maryborough

Curtilage



Figure 2. Aerial map showing the boundary of 63 & 65 Inkerman Street and 49 Clarendon Street, Maryborough.

Statement of Significance

What is significant?

The Methodist and Church of Christ Churches, comprising the Wesleyan Methodist churches at 63 and 65 Inkerman Street and the Church of Christ at 49 Clarendon Street, are significant.

How is it significant?

The Methodist and Church of Christ Churches are of local historical and aesthetic significance to the City of Maryborough.

Why is it significant?

The Methodist and Church of Christ Churches are of historical significance as a group of religious buildings that illustrate the early settlement of the Maryborough township following the onset of the Gold Rush. Churches formed part of the grand, substantial building stock built during Maryborough's prosperous goldmining years. Constructed during the mid to late Victorian period the churches also form a link to the strong presence at the time of their respective denominations. (Criterion A)

The Methodist and Church of Christ Churches are of aesthetic significance as substantially intact and visually striking buildings that not only exemplify the early development of the area as a Gold Rush town but also highlight the longstanding religious denominations that have served the community of Maryborough. The notable features of the Methodist Churches include high pitched gabled roofs, clinker brick contrasted with cream coloured render, tower and wrought iron spire, buttresses, gothic arched fenestration, rose window and blond brick detailing. Church of Christ includes two distinct Victorian and post-war sections. The simple Victorian section is designed in the astylar style whilst the post-war section exhibits cream brick, high pitched gabled roof, projecting bay, steel framed windows and a vertical concrete slab feature. These features along with their siting on the corner of Inkerman and Clarendon Streets, combine to create a visually distinct group of church buildings. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Methodist and Church of Christ Churches are of historical significance as a group of religious buildings that illustrate the early settlement of the Maryborough township following the onset of the Gold Rush. Churches formed part of the grand, substantial building stock built during Maryborough's prosperous goldmining years. Constructed during the mid to late Victorian period the churches also form a link to the strong presence at the time of their respective denominations.
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<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The place does not meet this criterion.
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics</i>	<p>The Methodist and Church of Christ Churches are of aesthetic significance as substantially intact and visually striking buildings that not only exemplify the early development of the area as a Gold Rush town but also highlight the longstanding religious denominations that have served the community of Maryborough.</p> <p>The notable features of the Methodist Churches include high pitched gabled roofs, clinker brick contrasted with cream coloured render, tower and wrought iron spire, buttresses, gothic arched fenestration, rose window and blond brick detailing. Church of Christ includes two distinct Victorian and post-war sections. The simple Victorian section is designed in the astylar style whilst the post-war section exhibits cream brick, high pitched gabled roof, projecting bay, steel framed windows and a vertical concrete slab feature. These features along with their siting on the corner of Inkerman and Clarendon Streets, combine to create a visually distinct group of church buildings.</p>
<i>F</i>	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
<i>G</i>	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
<i>H</i>	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not <i>meet</i> this criterion.
	Significance level	Local

Description

Physical Analysis

63 Inkerman Street

The former Wesleyan Methodist Jubilee Church is located at 63 Inkerman Street. Constructed in 1886, in the Victorian Gothic style, the main church hall fronts Inkerman Street to the east and Clarendon Street to the south. It presents a compact gable form with a high-pitched gable roof. Its overall form with its Gothic arched fenestration and detailing are highly symmetrical. The face clinker brick structure is laid with an English garden wall bond and set on a rusticated stone base. The clinker brick is contrasted with cream coloured rendered trim and architraves and face blond brick to the sill, string courses, and quoining.

The front fa9ade along Inkerman Street features a projecting open gable flanked by angled side porches. The side porches include timber doors set under a Gothic arched panel, with inset textured tiles, and a high-pitched gable parapet. The main gable includes a centred stone plaque under a triple, Gothic shaped blind arch with a moulded architrave, pilasters, and quoining. The gable is topped by a rose window with leadlight glass set in stone tracery. Lancet windows, flanking the centred gable, feature tracery to the pointed arch.

The side elevations are also arranged symmetrically and are demarcated into four equal bays with buttresses with a paired Gothic arched window in each bay. Detailing can be observed, through the use of the contrasting cream brick, in the quoining at the windows and buttresses, and at the course with expressed brick dentils between the buttresses and roof.

A carport extension is located along the southern elevation, off the rear of the church.

65 Inkerman Street

The fourth Wesleyan Methodist Church is located at 65 Inkerman Street. It predates the adjacent church at 63 Inkerman Street although both present a similar materiality comprising face red clinker brick laid with a Common bond and a contrasting cream colour render to the trim and architraves. The main church nave is set on a single bluestone block foundation course. It presents a gable form with a steep pitched roof clad with corrugated sheet metal.

The church presents a typical arrangement with a central nave and gabled transepts. The street fronting fa9ade features a prominent bell tower housing the main entrance porch to the nave through a Gothic arched door. Gothic arched lancet blind openings punctuate the tower, which is topped by a belfry with arched windows terminating in a steeply pitched roof with a wrought iron spire.

The street fronting fa9ade of the nave presents three equally spaced wide timber sash windows between equally spaced buttresses. The transept was later added and features a centred paired Gothic window with a rendered architrave and quoining. Rendered corbelling and a sill course embellish the transept ends.

The end gabled fa9ades to the nave feature a triple Gothic arched window and a circular window above. The northern gable end features expressed timber fretwork. The southern elevation is

extended with a gabled bay. It is unclear if it was constructed at the same time as the transept or is a later addition but presents a similar, sympathetic form, fenestration materiality and detailing to the main church building. A skillion roofed extension is situated along the western elevation of the church.

The immediate landscape surrounding the church comprises of a grassed area. A concrete paved area and pathway extend from Inkerman Street towards the main entrance along the eastern elevation.

49 Clarendon Street

The Maryborough Church of Christ, at 49 Clarendon Street was constructed c.1886 in the astylar style. Located opposite the Victorian Gothic style church halls at 63 Inkerman Street, it fronts Clarendon Street to the south and Inkerman Street to the west. The church underwent additions in the late nineteenth/early twentieth century and the post-war, cream brick front section was added in 1963.

The post-war era front section of the church presents a simple open gable form and modest massing. The face blond brick structure is laid with a stretcher bond and a high-pitched gable roof clad with Marseilles tiles. The front facade includes a projecting, open gable bay with full length steel framed windows next to a vertical concrete slab extending above the awning level. The slab features a commemorative plaque and cross. The remainder of the front facade includes equally spaced narrow windows.

Located to the rear is a cross gabled section dating to the Victorian era. It is finished in roughcast render and corrugated sheet metal cladding to the roof. It is simple in detailing comprising narrow bays demarcated by engaged piers with angled brick dentils to the cornice. Multi-paned sash windows with a brick sill are situated on every other bay.

Alterations and Additions

63 Inkerman Street

- Carport added to the rear of the main church hall.

Main church hall reroofed with new corrugated sheet metal (post 2017).

- Church grounds relandscaped with new garden beds and a concrete laid parking area surrounding the church (post 2017).

65 Inkerman Street

- Whirlybirds and vents added to the roof.

New windows infilled along the eastern elevation section of the nave visible in the resulting brickwork and rectilinear timber sash windows.

Roof reclad with corrugated sheet metal.

Mature trees removed from the immediate grounds (post 2008).

- Minor accretions include a wall mounted light and balustrade to the entry porch.

49 Clarendon Street

- Concrete ramp and stairs added to the side elevation.
- Rear single storey addition to the courtyard.

The church at 65 Inkerman Street appears to not be in active usage with some windows boarded up and some visible damage to the belfry. The Inkerman Street Churches are in overall fair to good condition and of high integrity.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 3. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

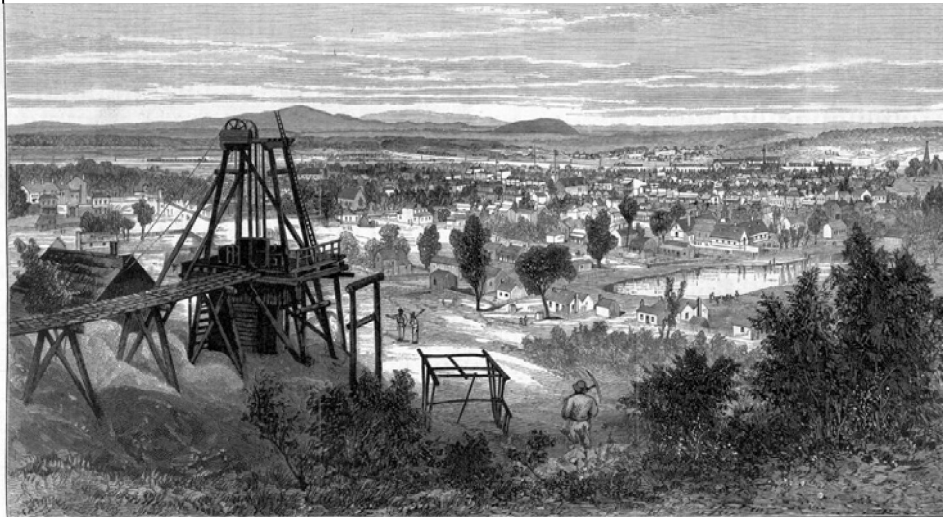


Figure 4. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The Methodist and Church of Christ Churches include the Former Wesleyan Methodist Jubilee Church at 63 Inkerman Street, the fourth Wesleyan Methodist Church at 65 Inkerman Street and the Church of Christ at 49 Clarendon Street. Inkerman and Clarendon Streets formed part of the original township subdivision. The Wesleyan Reserve can be seen to the west of the Inkerman and Clarendon Street junction whilst to the east is allotment 9, of section 27, that later formed the site of Church of Christ (refer Figure 5).



Figure 5. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing the Wesleyan Reserve (left) and future site of Church of Christ (right) along Inkerman and Clarendon Streets, outlined in red. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria.

<https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FEB86214ED5?image=1>.

The Wesleyan Methodists' first services in Maryborough were held in tents in 1854. The Wesleyan Methodist congregation continued to grow and built two weatherboard chapels succeeded by two brick churches. The fourth Wesleyan Methodist Church, built in 1860, stands to the north of the Wesleyan Reserve at 65 Inkerman Street. The original church building can be seen in an image from c.1866 (refer Figure 6). The church underwent additions in 1880 and this was most likely when the transept and gabled bay were added. Later known as Wesley Hall, it served the congregation for twenty-seven years, following which it was used as a Sunday School as the much larger church at 63 Inkerman Street was built (Bick et al. 1992) (Maryborough and Dunolly Times 1915, 4) (Osborn & DuBorg 1985, 137).



Figure 6. The fourth Wesleyan Methodist Church. *Source:* Unknown. c.1866. *Weslyan Church Maryboro'*. Photograph: albumin silver. Accession no. H2935. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE22315683&mode=browse>.

The foundation stone for the Former Wesleyan Methodist Jubilee Church, at 63 Inkerman Street, was laid on June 1886 and the building opened the following year in 1887 (Maryborough and Dunolly Times 1915, 4) (Osborn & DuBorg 1985, 273). William Phelan was the builder, and the church was constructed for £1675 and seated 450 worshippers (Osborn & DuBorg 1985, 273). It was received as 'a fine building and one of which the church people are justly proud' (Maryborough and Dunolly Times 1915, 4). A twentieth century photograph shows both churches side by side (refer Figure 7). The church was also home to Maryborough's most substantial pipe organ, built by Frederick Taylor and donated by the prominent mining entrepreneur Ivor Davies, until it was moved to the Uniting Church (corner of Neill and Palmerston Streets) in 1981 (Osborn & DuBorg 1985, 273). The building has since come under private ownership and is currently used as the Jubilee Chapel by Phelan Funerals.



Figure 7. The churches at 63 (foreground) and 65 (background) Inkerman Street. Source: Rose Stereograph Co. c.1920-54. *Methodist Church and Hall, Maryborough, Vic.* Photograph: negative. Accession no. H32492/4568. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=1F897845&mode=browse>.

The building at 49 Clarendon Street, Maryborough serves the Church of Christ community. Founded in 1862, the Christian Church acquired the present site on Clarendon Street in 1867 and in 1868 a timber chapel was erected. The church likely acquired the land from a Mr D. Plucke who had bought allotment 9 of section 27 at the time of the original township subdivision (Maryborough and Dunolly Advertiser 1857, 3). By 1886, the plain brick section of the present church building had replaced the timber chapel (Osborn & DuBorg 1985, 273). This original brick building can be seen in an early, undated photograph (refer Figure 8). The church underwent additions in the late nineteenth/early twentieth century which can be seen in a 1946 aerial image (refer Figure 9).



Figure 8. Original brick Church of Christ building. *Source:* Unknown. n.d. Christian Chapel. Photograph. In *Maryborough Heritage Study 1992: Book 2 Clarendon St to Goldsmith St*, by Bick, D, C Kellaway, P Milner and J Patrick. Unpublished report prepared for the Central Goldfields Shire.



Figure 9. Extract from 1946 aerial photograph of Maryborough showing all three churches including the addition to the Church of Christ, identified by the red arrow. *Source:* Photographer unknown. 1946. Historic Aerial Photography- 1930s-1990s. Photograph. Landata (website).

Comparative Analysis

By 1861, the major towns where the initial Goldrushes had occurred, had been established as stable towns, with the centres of these towns accommodating thousands of permanent residents (Bick et al. 1992, 259). In these towns, including Maryborough, various Christian denomination, including Anglicans, Presbyterians, and Catholics, were well represented, as well as the Wesleyan Methodists. There were also early Congregational and Church of Christ congregations (Bick et al. 1992, 261). As a result of these burgeoning populations churches were built to serve the needs of the rapidly growing communities. Many of these early churches were built in fine bluestone whilst towards the late nineteenth century, they started to be built out of brick.

Other Christian churches in Maryborough include:

St Andrews Presbyterian Church (today St Andrews Uniting Church) at **10 Neill Street** formed part of the historic former Presbyterian Church complex and was designed by architect Thos Watts. Built of bluestone, the church was constructed in phases. It shares similarities with all three churches with its traditional nave and transept form, steep pitched gable roof, gothic arched windows and buttresses and a corner siting.

Christ Church (today Christ the King Church) at **6 Nightingale Street** has also served the Maryborough community since 1860. It was designed by Architect Nathaniel Billing in the Victorian Romanesque style for the Church of England. The church was also built of bluestone and constructed in phases. It is accompanied by a school hall (built in 1864). The 63 and 65 Inkerman Street churches are similar to the church building in terms of their form, layout and elements but match the school building in terms of materiality.

The Seventh Day Adventist Church, at **35 Raglan Street**, was originally built in 1860 as a Congregational Church. It served the community for hundred and sixteen years until the formation of the Uniting Church in 1977. It has since been in use as the Seventh Day Adventist Church. Designed by Architect C. E. Marriott in the Victorian Gothic style, it is comparable to the Inkerman Street churches with its steep pitched roof, red brick and contrasting render, gothic fenestration, rose window, buttresses, and a project front gable. It however is similar to 49 Clarendon Street in terms of size and lacks the detailing present at the Inkerman Street churches.

St Augustine's was founded in 1854 with the Roman Catholic Church, at **56 Burke Street**, initially constructed in 1872. The church was rebuilt in the 1962 in the post-war style and the tower and spire along with the bluestone used in the newer section of the building is all that remains of the original structure. Originally built in the Victorian Gothic style, the tower and spire are comparable to the tower and spire of 65 Inkerman Street, although built with different materials. The modern additions at both churches are emblematic of sustained community demand for places of worship. The post-war section compares to that of 49 Clarendon Street with its steep pitched gable form and use of concrete elements, although St Augustine's is larger in scale and expresses more detailing.

The fourth Wesleyan Methodist Church at 65 Inkerman St illustrates the strength of the Wesleyan Methodist Church in Maryborough in the early decades of the town's history when



other denominations were occupying tents/slab buildings or were still to arrive (Bick at al. 1992). The subsequent construction of the Former Wesleyan Method Church at 63 Inkerman Street and the long period of use of the site by the Wesleyans demonstrates the stability of the religious group and the significance of both structures. The post-war addition of Church of Christ, at 49 Clarendon Street, also illustrates the longevity of the Christian church and the continued use of the church by its community.

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. **All** photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 11. View of 63 Inkerman Street.



Figure 12. View of 65 Inkerman Street.



Figure 13. Oblique view of the Methodist Churches.



Figure 14. View of 49 Clarendon Street.



Figure 15. Oblique view of 49 Clarendon Street from 63 Inkerman Street.



Figure 16. Oblique view of 49 Clarendon Street.

Industrial Serial Listing

Heritage Place: Industrial Serial Listing

HO Reference: TBA

Date updated: 5 February 2024

Address: 36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough



Figure 1. Overview of the Patience and Nicholson Ltd Factory at 167 Railway Street, Maryborough.

Item Group: Manufacturing and Processing

Key Theme: Building Victoria's industries and workforce

Item Type: Flour Mill, Factory/Plant

Key Sub-theme: Developing a manufacturing capacity

Designer: William Phelan (Maryborough Flour Mills), Charles Rice (Maryborough Butter Factory), Public Works Department (Cool Stores), Unknown (Patience and Nicholson Factory)

Construction: 1881-1938

Builder: William Phelan (Maryborough Flour Mills), A. Lunn (Maryborough Butter Factory), W. H. Deague and Son (Cool Stores), Reuben Rogers, Vern Rogers and Clarence Young (Maryborough Knitting Mills Chimney), Unknown (Patience and Nicholson Factory)

Style: Victorian (Vernacular), Interwar (Functionalist)

Significance Level: Local

Controls:	<input type="radio"/> External paint controls	<input type="radio"/> Internal alteration controls	<input type="radio"/> Tree controls
	<input type="radio"/> Included on Victorian Heritage Register	<input type="radio"/> Incorporated Plans	<input type="radio"/> Outbuildings and fence not exempt
	<input checked="" type="radio"/> Prohibited uses may be permitted	<input type="radio"/> Aboriginal Heritage Place	<input checked="" type="radio"/> Solar energy system controls

Curtilage



Figure 2. Aerial map showing properties included in the Industrial Serial Listing.

Grading Map



Figure 3. Map showing the contributory structures at the Maryborough Flour Mill Complex, the Patience and Nicholson Factory and the Maryborough Butter Factory Complex.

Statement of Significance

What is significant?

The Industrial Serial Listing, consisting of the Maryborough Flour Mills Complex at 36-38 Albert Street, the Maryborough Butter Factory Complex at 159-165 Railway Street, the Patience and Nicholson Factory at 167 Railway Street, and the Maryborough Knitting Mills Chimney at 96 Burke Street, is locally significant.

Character elements that contribute to the significance of the group of properties include:

- The scale, height, visual prominence and degree of intactness of the interwar industrial buildings and structures;
- The siting of several industrial buildings and adjacent to the railway line, reflecting the historical association of these industries with rail freight travel;
- The utilitarian appearance of the industrial buildings and structures generally characterised by heavy massing, modest gable or saw-toothed roof forms, an absence of ornamentation and the predominance of iron and brick materials;
- Views to prominent vertical industrial structures with landmark qualities, such as the Maryborough Knitting Mills Chimney, and the respective Maryborough Flour Mill and Maryborough Butter Factory smokestacks;
- Remnant non-industrial buildings associated with the former factory complexes, such as the residential style office buildings at 159 Railway Street and 36-38 Albert Street;
- Key features and detailing characteristic of their respective Victorian and interwar era styles as applied to industrial buildings, including:
 - Victorian Vernacular style characterised by simple gable roof forms, corrugated iron and brick materials, a general absence of ornamentation and timber framed sash windows;
 - Interwar International and/or Moderne styles characterised by sawtooth roof forms, face brick finishes, glass block windows, rectilinear forms and decorative parapets.

Post-war and contemporary alterations and additions are not significant.

How is it significant?

The Industrial Serial Listing is of local historical, representative and social significance to the Central Goldfields Shire. Several of the buildings are also of significance for their association with the Maryborough Progress Association.

Why is it significant?

The Industrial Serial Listing is historically significant as a collection of Victorian and interwar era industrial buildings and structures that illustrate the initial growth in industry in Maryborough during the late nineteenth century, and the subsequent consolidation of the town into a successful regional industrial centre during the interwar period. A significant phase in the town's social and economic history, the burgeoning industrial sector of the interwar period not only formed a remedy to increasing unemployment in the township in the aftermath of the Gold Rush but was also a catalyst for further residential and commercial growth in the township. The Industrial Serial Listing forms a tangible link to this key phase of economic prosperity and development within this region of the Central Victorian Goldfields. (Criterion A)

The Industrial Serial Listing is of representative significance as a group of substantially intact buildings and structures that demonstrate the key elements of the Victorian Vernacular or Interwar Moderne and International Styles as applied to industrial design. Key characteristics across the factory complexes that contribute to this representative value include simple utilitarian-built forms, heavy massing, gable or saw-toothed roofs, an absence or restrained application of ornamentation, the predominance of iron and brick materials, and visually prominent smokestacks of brick masonry construction. (Criterion D)

The Industrial Serial Listing is of social significance as local industrial landmarks and sources of working-class pride for the local community. With the majority of these factories in operation from the 1920s to the 1970s-1980s, this group of buildings played a key and ongoing role in the day to day working lives of a significant portion of both the Maryborough and broader Central Goldfields Shire communities. (Criterion G)

The Industrial Serial Listing is of significance as a group of buildings that were primarily established by the efforts of the Maryborough Progress Association, who set about industrialising the township throughout the late 1910s and 1920s in the aftermath of the Gold Rush. The Maryborough Butter Factory, the Maryborough Knitting Mills and the Patience and Nicholson Factory were all successfully established under their aid and regarded as successful examples of ongoing prosperity during a broader period of economic decline for Victorian goldfields towns. (Criterion H)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Industrial Serial Listing is historically significant as a collection of Victorian and interwar era industrial buildings and structures that illustrate the initial growth in industry in Maryborough during the late nineteenth century, and the subsequent consolidation of the town into a successful regional industrial centre during the interwar period. A significant phase in the town's social and economic history, the promising industrial sector of the interwar period not only formed a remedy to increasing unemployment in the township in the aftermath of the Gold Rush but was also a catalyst for further residential and commercial growth in the township. The Industrial Serial Listing forms a tangible link to this key phase of economic prosperity and development within this region of the Central Victorian Goldfields.
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	This place does not meet this criterion.

C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	This place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The Industrial Serial Listing is of representative significance as a group of substantially intact structures that demonstrate the key elements of the Victorian Vernacular or Interwar Moderne and International Styles as applied to industrial buildings. Key characteristics across the factory complexes that contribute to this representative value include simple utilitarian-built forms, heavy massing, gable or saw-toothed roofs, an absence of ornamentation, the predominance of iron and brick materials, and visually prominent smokestacks of brick masonry construction.
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	This place does not meet this criterion.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	This place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The Industrial Serial Listing is of social significance as local industrial landmarks and sources of working-class pride for the local community. With the majority of these factories in operation from the 1920s to the 1970s-1980s, this group of buildings played a key and ongoing role in the day to day working lives of a significant portion of both the Maryborough and broader Central Goldfields Shire community
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The Industrial Serial Listing is of significance as a group of buildings that were primarily established by the efforts of the Maryborough Progress Association, who set about industrialising the township throughout the late 1910s and 1920s in the aftermath of the Gold Rush. The Maryborough Butter Factory, the Maryborough Knitting Mills and the Patience and Nicholson Factory were all successfully established under their aid and regarded as successful examples of ongoing prosperity during a broader period of economic decline for Victorian goldfields towns

Description

Physical Analysis

The Industrial Serial Listing comprises a group of industrial buildings located adjacent to the railway line in Maryborough plus the chimney of the former Maryborough Knitting Mills. The main collection of buildings are located on either side of the railway line generally bounded by Albert Street to the northwest, Inkerman Street to the northeast, and Railway Street to the southeast. The industrial buildings west of the railway line form part of the Maryborough Flour Mill and are located at 36-38 Albert Street. The structures are predominantly industrial in form with corrugated sheet metal cladding. Other face brick structures include the silos building (originally in use as cool stores), double gable building, smokestack, and face brick cottage building (originally in use as offices) fronting Albert Street. The Maryborough Flour Mill was serviced via a railway goods siding.



Figure 4. Overview of Maryborough Flour Mills complex.



Figure 5. Overview of Maryborough Flour Mills complex.



Figure 6. Detail view of Maryborough Flour Mills building (gable structures to the rear), smokestack and face brick cottage at the Maryborough Flour Mills site.



Figure 7. Detail view of cool stores/ silos building at the Maryborough Flour Mills site.

Buildings on the eastern side of the railway line are located at and 159, 165, and 167 Railway Street. At the northern extent is an Interwar era factory building with rear sawtooth roofed section at 167 Railway Street. The front fagade of the factory comprises face brown brick laid with an English garden wall bond. Multi-pane fixed windows with expressed brick sills and double height service doors punctuate the fagade. Located above lintel level, the fagade is finished with a smooth cream coloured render with a flat parapet. The parapet features stepped sections in a pyramidal form with horizontally arranged face brickwork characteristic of detailing popular during the Interwar period. Expressed lettering reading 'PATIENCE & NICHOLSON LIMITED' features on the fagade along with an expressed relief panel located above the rightmost service entrance.

The Maryborough Butter Factory and Gardens is located at 165 Railway Street. It comprises a large, corrugated sheet metal clad factory building with a red brick smokestack fronted by a contemporary formal garden. South of the Butter Factory is a group of Victorian residences and ancillary buildings on a large allotment at 159 Railway Street. This includes the main single-fronted weatherboard residence with a symmetrical front fagade and bullnosed verandah closest to the street frontage.



Figure 8. Patience and Nicholson Factory.



Figure 9. Patience and Nicholson Factory.



Figure 10. Maryborough Butter Factory, 165 Railway Street, Maryborough.



Figure 11. Cottage building situated on the Maryborough Butter Factory complex.

The Maryborough Knitting Mills Chimney is located at 96 Burke Street. The base of the chimney has since been subsumed by contemporary commercial development obscuring it from view.

Constructed of face brick, it features white tiled lettering reading 'MKM' after Maryborough Knitting Mills to the east chimney face. The south chimney face features lettering reading 'C Ltd'.

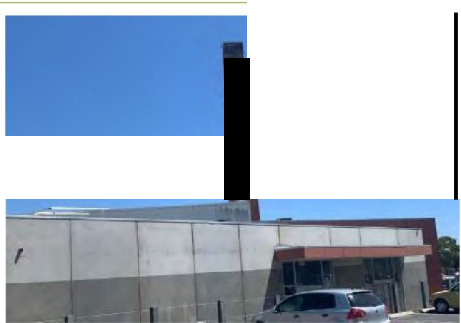


Figure 12. Maryborough Knitting Mills Chimney, 96 Burke Street, Maryborough.

Alterations and Additions

- Contemporary panelled fencing added to 159 and 165 Railway Street.
- Grounds relandscaped at the Maryborough Butter Factory complex at 165 Railway Street.
- Contemporary commercial building constructed around the base of the Maryborough Knitting Mills Chimney.
- Extensions to Victorian style dwelling/office building at the Maryborough Butter Factory complex at 159 Railway Street.
- Contemporary greenhouse added to the Maryborough Butter Factory complex at 159 Railway Street.
- Upper floor addition to flour mill at the Maryborough Flour Mills complex at 36 Albert Street

The Industrial Serial Listing is considered in fair to good condition and with moderate to high integrity overall.

** Denotes element that detracts from the cultural significance of the place.*

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 13. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

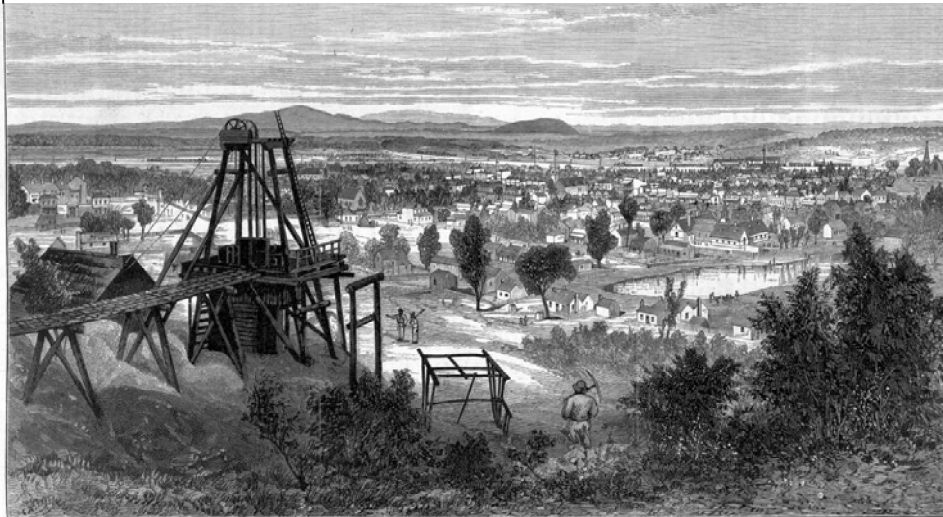


Figure 14. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

With the exception of the Maryborough Knitting Mills chimney the properties within the Industrial Serial Listing are located on land west of Blackmans' Lead and further south-east of the original 1855 township boundary (Gilks 1856). Due to its distance from the township, the area does not appear to have been formally surveyed for residential development as part of Maryborough's expansion in the late nineteenth century, at which point the area was already bisected by the railway line from Castlemaine, which had been established in 1874 (Department of Crown Lands and Survey 1874). Situated towards what was then the outskirts of the town and in close proximity to the railway line, the area was consequently considered suitable for industrial development during the initial trade, building and industry boom of the 1880s (Osborn and DuBourg 2011, 292; see Figure 15).

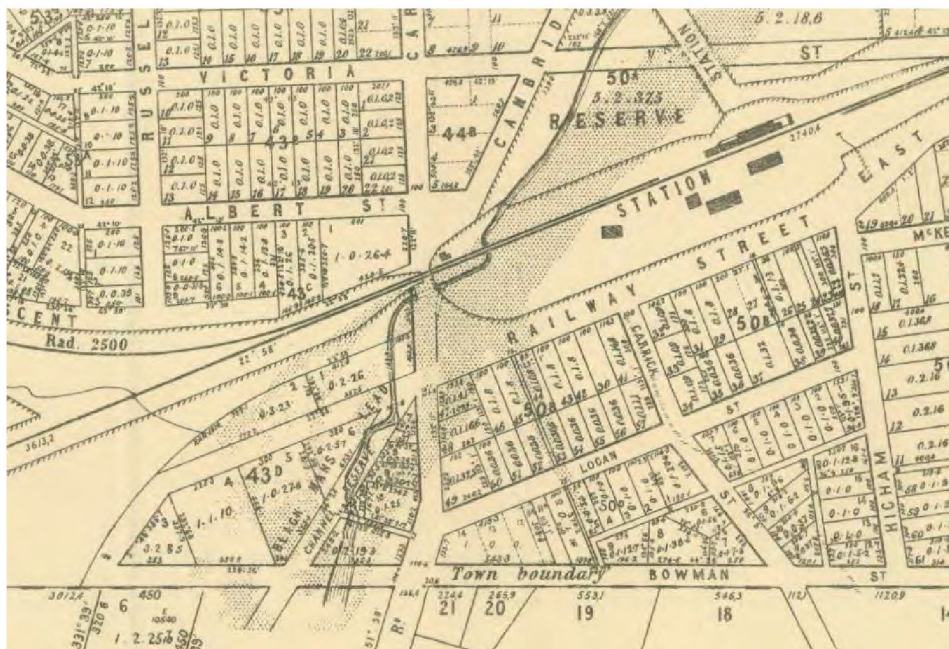


Figure 15. 1905 map showing approximate locations of the industrial sites at allotments 43C. *Source:* Department of Crown Lands and Survey. 1905. *Maryborough, Parish of Maryborough, County of Talbot*. Map. In collection: Parish maps of Victoria. ID 2019175. State Library of Victoria.

Between 1881 and 1882, the Maryborough Flour Mill was built by William Phelan for William Cadwallader and Son on land west of the railway line (Osborn and DuBuorg 2011, 295; The Ballarat Star 1882, 2). Consisting of a three-storey brick masonry building, the flour mill, along with the brewery that was established in 1884 on Derby Road, was the chief local industry of Maryborough by the early 1890s (Leader 1892, 32; see Figure 16). Its erection not only demonstrated the township's manufacturing capacity by the late nineteenth century, but also lent this area of Maryborough a distinct industrial character (Leader 1893, 34). A new plant was soon installed in the building in 1889, which allowed 200 bags of flour to be produced every twenty-four hours (Osborn and DuBuorg 2011, 295).

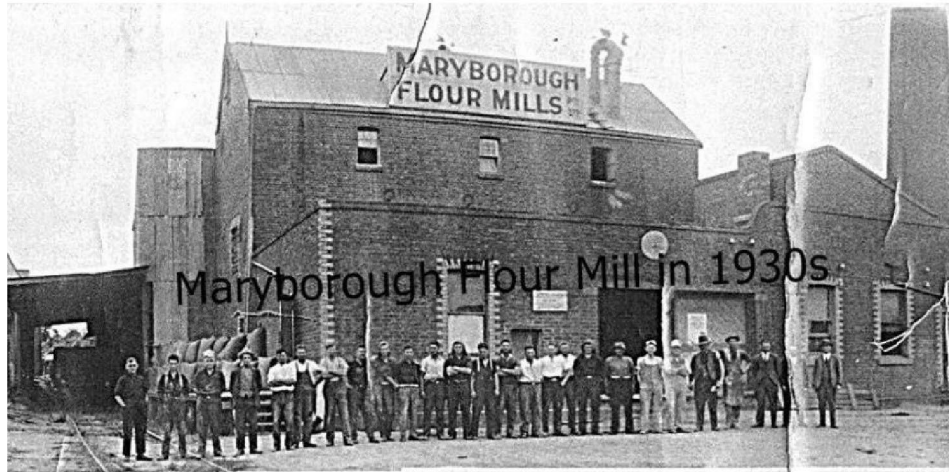


Figure 16. c.1930s image of Maryborough Flour Mill. *Source:* Unknown. c.1930s. Maryborough Flour Mills in 1930s. Bovalino (website). Accessed 1 November 2023. <https://bfft.com.au/maryborough-flour-mill/>.

Despite the initial success of the Maryborough Flour Mill, the subsequent decades proved more uncertain. By 1907, the mill was idle before being purchased by James Minifie in 1910 (Osborn and DuBourg 1995, 80). Operations picked up under Minifie's ownership, and by 1917, the Flour Mills was regarded in one newspaper article as 'a practical and striking illustration as how an industry can thrive in Maryborough when it is competently managed...' (Maryborough and Dunolly Advertiser 1917, 2). The flour that was milled throughout the 1910s was not only exported regionally via the goods siding, but also globally to countries including Scotland and South Africa (The Ballarat Star 1911, 1; The Ballarat Star 1913, 10). Alterations and additions carried out under Minifie's ownership includes the erection of a shed adjacent to the factory building in 1918, as well as the addition of a face brick cottage building for use as offices (Maryborough and Dunolly Advertiser 1918, 2).

Meanwhile, the establishment of the Maryborough Butter Factory was largely spearheaded by the formation of the Maryborough Progress Association in 1917 (The Age 1940, 11; Osborn and DuBourg 1995, 164). With the decline of mining and the closure of several industries, including the brewery in 1914 and Robinson's foundry in 1916, the Butter Factory was established as a remedy to increasing unemployment in the township by the interwar period (Osborn and DuBourg 1995, 164-65; Maryborough and Dunolly Advertiser 1917, 1). Erected directly opposite of the Maryborough Flour Mills to designs by architect Charles Rice, the Maryborough Butter Factory opened in 1918 and consisted of a substantial timber and brick structure (The Ballarat Star 1917, 6). Cool stores were also erected adjacent to the factory in the same year to designs prepared by the Public Works Department (The Ballarat Courier 1918, 5). It is unknown as to when the cottage building was established on the site, but it is likely that it formed part of the original complex and was used as offices for the management team.

The establishment of both the cool stores and the Maryborough Butter Factory in 1918 solidified the industrial character of this locality:

"The site selected for the new industry is adjacent to the new cool stores, and directly opposite to the Maryborough Flour Mill, on the other side of the railway line. At the present time the spot is marked by considerable activity. Workmen are actively engaged completing the cool stores, while at the flour mill the staff is busily stacking the season's wheat in a lofty and commodious shed recently built by the management for the express purposed of holding a tremendous quantity of grain. The particular locality is, as one of those present put it, "the little Birmingham of Maryborough."" (Maryborough and Dunolly Advertiser 1918, 2).

Aside from the Maryborough Butter Factory, the Progress Association also successfully campaigned for the relocation of Patience and Nicholson's small tool manufacturing business to Maryborough throughout the early 1920s (Osborn 1995, 189). The Patience and Nicholson Ltd small tool factory was subsequently built in 1924 on the site of the old canning factory on Railway Street adjacent to the butter factory, and consisted of a substantial iron sawtooth building with a workforce of twenty men (The Argus 1924, 4) (see Figure 18). By 1929, it had also purchased the old 1918 cool store buildings on the adjoining block (Osborn 1995, 248).

Located closer to the main township and away from the industrial zone of the buildings discussed so far, the Maryborough Knitting Mills factory building was erected for founder G. F. Cuttle in 1923 following the company's move from Clunes (Osborn 1995, 248). Also aided by efforts from the Progress Association, the Maryborough Knitting Mills was ultimately established on the corner of Tuaggra Street and Burke Street on a former skin store, and consisted of a large corrugated iron structure with a saw tooth roof and an associated eighty-two feet chimney stack (Osborn 1995, 184) (see Figure 17). It formally commenced operations in 1923 with 100 employees, the majority of which were women (Osborn 1995, 184). By the mid-1920s, Maryborough had witnessed a full-scale resurgence of industry.



Figure 17. c.1926 view of the Maryborough Knitting Mills facility and chimney stack. *Source:* Pratt, Charles. C.1926. *Maryborough, with Maryborough Knitting Mills and Vitch Soap at left*. Negative. In collection: Airspy collection of aerial photographs. ID 1653641. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/20316>.

Each factory went through various phases of decline and growth over the next few decades, with all of them notably surviving the 1930s Depression. The Flour Mill closed briefly in 1922, before being re-opened again in 1924 under the new management of C. J. Bant and W. Mitchell,

who oversaw improvements in machinery (Sunraysia Daily 1923, 3; Sunraysia Daily 1924, 2). It resumed in full force over the next few years, and in 1926, around 8000 tons of flour were produced at the mill, some of which was exported to Egypt and England (The Age 1926, 12). While the Maryborough Flour Mill went through further ups and downs during the 1930s Depression, it continued as a viable industry. In 1931, it had distributed over \$5,226 in wages and produced over 102,000 bags of wheat (Osborn 1995, 249). Operations remained steady throughout World War, by which point it was under the ownership of Forbes and Willersdorf (Osborn 1995, 295). During this period, the flour mill supplied about 75% of the total trade, and was noted as one of the largest country flour mills in Victoria (The Age 1940, 11).

Similarly, while the Depression initially hindered the growth of Patience and Nicholson Limited throughout the early 1930s, it saw an upturn from the 1930s onwards following restructuring in 1934 (Osborn 1995, 248). As an indicator of its growth, a face brick and render front to the factory was established in 1938 (see Figure 18). The Maryborough Knitting Mills also persevered despite losses in 1930, in part owing to the efforts of Donald Hinton Mckenzie, who joined the board of management in 1931 (Osborn 1995, 247; Sunraysia Daily 1934, 5).



Figure 18. c.1940s image of the Patience and Nicholson Limited factory building. *Source:* Osborn, B 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough: Central Goldfields Shire Council.

Meanwhile, the butter factory was one of the most successful industries in the township by the 1930s. Regarded by local historian Betty Osborn as an 'industrial light' during the Depression, the factory was paying a dividend of fifteen shillings per share by 1934 (Osborn 1995, 249). Unlike the Maryborough Flour Mill however, the Maryborough Butter Factory suffered during World War II, owing to the war affected export trade and the droughts of 1940-41 and 1944-45 (Osborn 1995, 296).

Despite fluctuation across the factories, the manufacturing sector of Maryborough was considered an overwhelming success by 1940, with praise directed at the initial efforts of the Progress Association during the late 1910s and early 1920s (The Age 1940, 11). Considered an industrial centre, the town was described in one 1940 newspaper account as "the greatest practical example of decentralisation in Australia ... " (The Age 1940, 11). During this period, the Maryborough Knitting Mills also employed over 350 employees, who made woollen socks under agreements for the Australian Imperial Force to support World War II efforts (Weekly Times 1941, 7).

The post-war period saw a surge in industry for the township, particularly for the Maryborough Knitting Mills and Patience and Nicholson Ltd tool factory, the latter of which employed 430 people by 1950 (Osborn 1995, 329). Conditions at the Maryborough Butter Factory also improved significantly by 1953, largely due to the introduction of pasteurisation. Meanwhile, the Flour Mill continued operations under Forbes and Willersdorf.



Figure 19. 1958 view of factory workers working at the Patience and Nicholson Limited tool factory. *Source:* The Australian Publicity Council. 1958. *Light engineering works, Maryborough, 1958*. Photograph. John Young Collection. The Australian Publicity Council.



Figure 20. 1956 aerial view of buildings within the Industrial Serial Listing. *Source:* Landata. 1956. 'Project 235 Pyrenees Highway'. Central Plan Office, Landata.

The downturn in the manufacturing industry would ultimately eventuate during the 1970s recession, and the subsequent government deregulation of the markets in the 1980s, which exposed Australian manufacturing industries to international competition. The various buildings within the industrial precinct would gradually close from this period onwards, with the Maryborough Butter Factory closing in 1974, the Maryborough Flour Mill closing in 1980, and both the Patience and Nicholson Factory and Maryborough Knitting Mills closing in the 1990s. Except for the Maryborough Knitting Mills factory building these buildings remain extant as of 2023, with the Maryborough Butter Factory and Patience and Nicholson Limited Factory respectively repurposed into interpretive garden/gallery space and commercial and small-scale manufacturing/storage facilities.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the development of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

The Industrial Serial Listing comprises a collection of manufacturing facilities and factories that illustrate the initial growth in industry in Maryborough during the late nineteenth century, and the subsequent wholesale shift towards this sector during the interwar period in the aftermath of the Gold Rush. Pioneered by the efforts of the Maryborough Progress Association, these prominent industrial buildings are not only indicative of the scale and success of this sector throughout the early to mid-twentieth century, but also form a tangible link to a major phase in Maryborough's social and economic history. While there are other examples of industrial development in the smaller goldfields towns of the Central Goldfields Shire, they do not compare in scale and degree of intactness. The properties can, however, be compared to a number of extant buildings located in the mid to large scale goldfields towns of Castlemaine and Ballarat that similarly transitioned into industrial centres by the interwar period. Such buildings are either individually listed or included in precincts under the Heritage Overlay and include:

- **Thompson Kelly & Lewis Engineering Works, 5 Parker Street, Castlemaine (H0989, Mount Alexander Shire) (VHR H1732).** The Thompsons Kelly & Engineering Works comprises an extensive complex of factory buildings and structures originally established between 1864 and 1881, and subsequently expanded upon between 1912 and 1915. As with the Industrial Serial Listing, it similarly illustrates the initial growth of industry associated with the Gold Rush, and its subsequent consolidation during the interwar period. Noted structures include the large two-storey 1864 Georgian style brick masonry building initially used as a mill, the c.1912 corrugated iron foundry building as well as a 1919 brick chimney

stack. Although more impressive than the Industrial Serial Listing properties in terms of architectural quality and degree of intactness, this complex of buildings nevertheless compares to the Maryborough Flour Mill, Maryborough Butter Factory and Patience and Nicholson Factory in terms of their clear industrial character, visual prominence along the streetscape, and siting in close proximity to the railway line.

- **Myer Woollen Mills, 502 Howitt St, Ballarat (HO45 Ballarat City).** The Myer Woollen Mills consists of a five-storey bluestone gable structure dating to 1870 that was formerly in uses as a flour mill, a prominent brick chimney stack, and a single-storey wing addition dating to the interwar period when it fell under the ownership of Myer. Although distinct in terms of its bluestone construction, it draws clear similarities with the Maryborough Flour Mills in terms of its utilitarian form, visual prominence, and degree of integrity. The brick chimney stack is also shares with the Maryborough Knitting Mills Chimney similarities in terms of materials, degree of intactness and landmark character within the township.
- **Ararat Hosiery Building, 87 Queen Street, Ararat (previously recommended for inclusion within the HO65 Hospital Hill Precinct).** The Ararat Hosiery Building, previously known as the Former Prestige Ltd Mills, comprises the remnants of a larger factory complex that was erected in 1944. Although established several years later, the Ararat Hosiery Building is comparable to the Patience and Nicholson factory building as an example of a Moderne style industrial building distinguished by rectilinear forms, masonry construction and glass block windows. It also draws similarities in terms of its clear utilitarian character, overall scale, materials, and historical association with industrial decentralisation in Victoria. While the Ararat Hosiery Building is architecturally more impressive and larger in scale, it is substantially less intact, having been partially demolished as of 2021.

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 21. 1941 image of workers bagging flour at the Maryborough Flour Mills. *Source: Weekly Times. 1941. 'Prosperous Maryborough.' Weekly Times, 14 June 1941.*

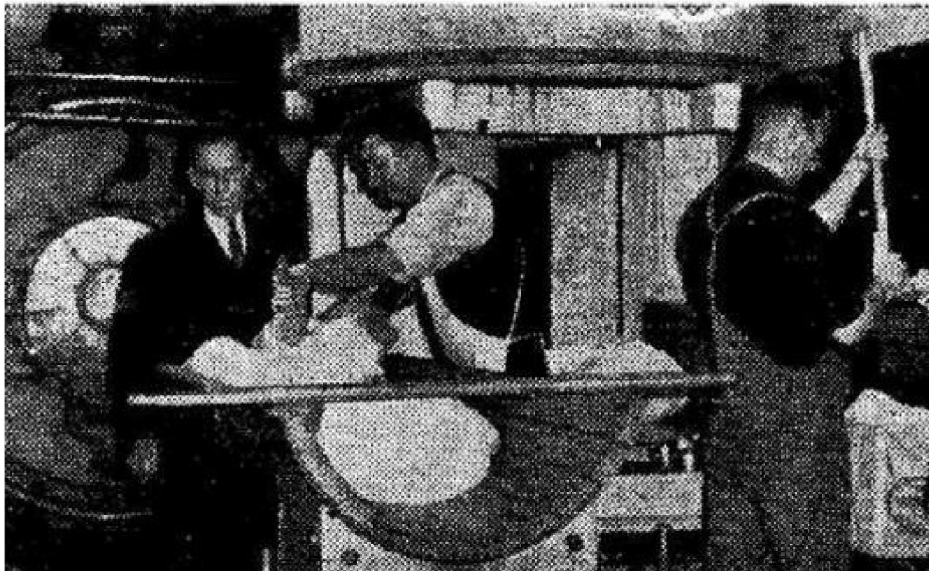


Figure 22. 1941 image of workers weighing and packing butter at the Co-operative Butter Factory. *Source: Weekly Times. 1941. 'Prosperous Maryborough.' Weekly Times, 14 June 1941.*

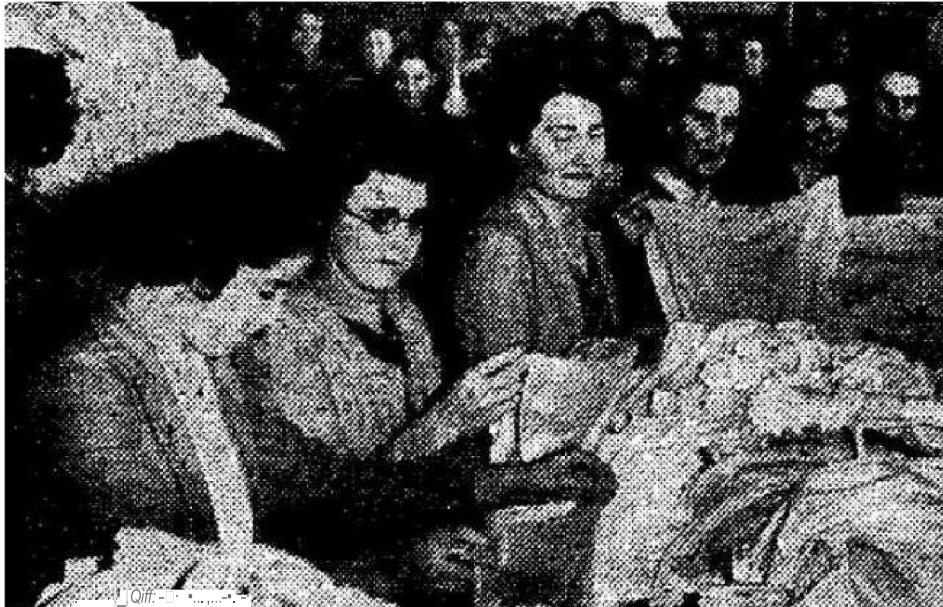


Figure 23. 1941 image of workers making woollen garments for the Australian Imperial Force during WWII at the Maryborough Knitting Mills. *Source: Weekly Times. 1941. 'Prosperous Maryborough.' Weekly Times, 14 June 1941.*



Figure 24. View of Maryborough Butter Factory at 165 Railway Street, Maryborough.

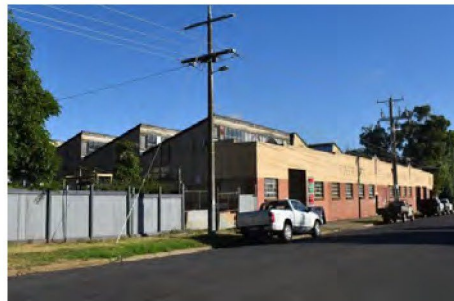


Figure 25. Oblique view of Patience and Nicholson factory building at 167 Railway Street, Maryborough.



Figure 26. Cottage/offices building situated on the Maryborough Flour Mills complex at 36-38 Albert Street.



Figure 27. Cool stores situated on the Maryborough Flour Mills complex at 36-38 Albert Street.



APPENDIX C – PRECINCT CITATIONS

Civic Square Precinct

Heritage Place: Civic Square Precinct

HO Reference: TBA

Date updated: 9 January 2024

Address: Palmerston Street, 9 Nightingale Street, Florence Lane, 67-71 Clarendon Street, 1-9 & 2-10 Neill Street, Havelock Street, 1/14, 14-20 Campbell Street, Maryborough



Figure 1. Oblique overview of the Maryborough Post Office and Courthouse along 67 and 69 Clarendon Street, Maryborough.

Item Group: Government and Administration

Key Theme: Building towns, cities and the garden state

Item Type: Government and Administration Precinct

Key Sub-theme: Making regional centres

Designer: N/A

Construction: c. 1858-1930s

Builder: N/A

Style: Victorian (Vernacular, Free Classical, Italianate and Gothic Revival), Federation (Free Classical), Interwar (Streamline Moderne, Bungalow)

Significance Level: Local

Controls:

External paint controls

Internal alteration controls

Tree controls



0

0

Included on Victorian Heritage Register

0

Incorporated Plans

0

Outbuildings and fence not exempt

0

Prohibited uses may be permitted

0

Aboriginal Heritage Place



Solar energy system controls

Curtilage

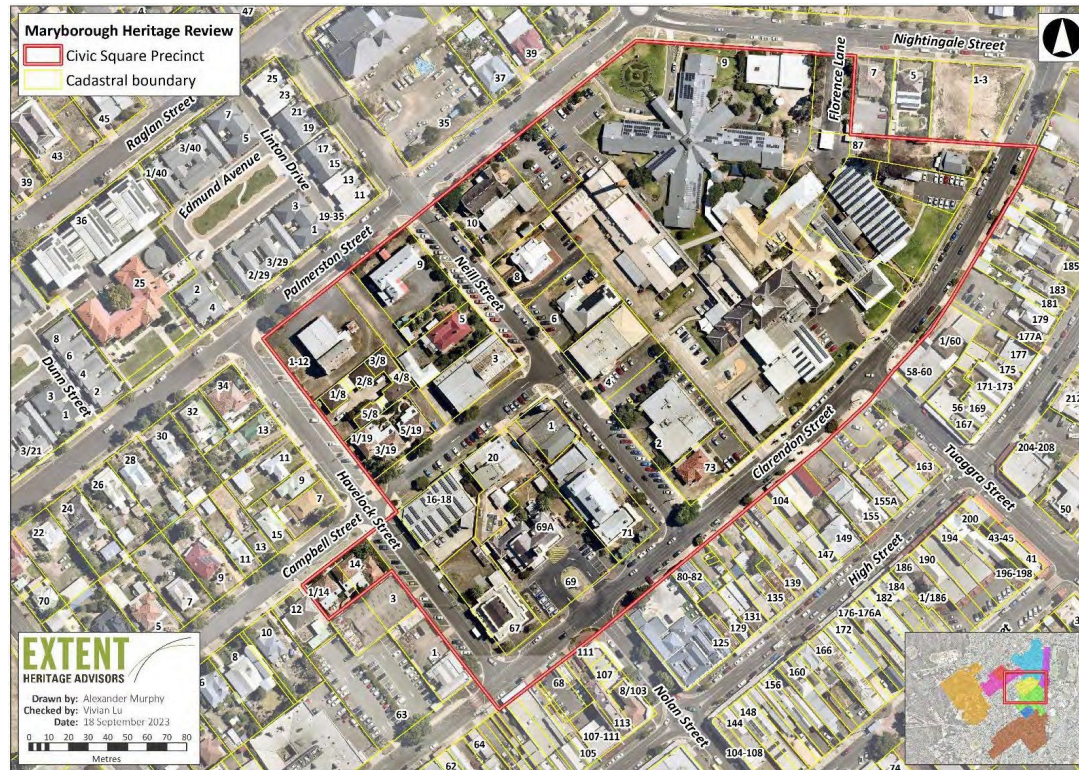


Figure 2. Aerial map showing boundary of Civic Square Precinct.

Statement of Significance

What is significant?

The Civic Square Precinct, generally bounded by Palmerston Street, Nightingale Street, Clarendon Street and Havelock Street, and primarily comprising civic, religious, and institutional buildings, along with several residential buildings, is locally significant.

The precinct is predominantly characterised by significant graded buildings, along with several contributory and non-contributory graded buildings.

Significant properties include:

- Court House, 67 Clarendon Street, Maryborough;
- Post Office, 69 Clarendon Street, Maryborough;
- Town Hall, 71 Clarendon Street, Maryborough;
- Masonic Hall, 12 Havelock Street, Maryborough;
- Fire Brigade Depot and Belltower, 1 Neill Street, Maryborough;
- Former Court of Mines, 6 Neill Street, Maryborough;
- Former Presbyterian Sunday School, 9 Neill Street, Maryborough;
- Former Presbyterian Church, 10 Neill Street, Maryborough;
- Former Presbyterian Manse, 8 Neill Street, Maryborough and
- Maryborough Hospital, 77 Clarendon Street, Maryborough (Victorian hospital building only)
- Alexander Miller Memorial Homes, 14 and 19 Campbell Street, Maryborough

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The formal layout of the Civic Square characterised by three prominent buildings centred around the Maryborough War Memorial, creating an open area with a distinct municipal character;
- The siting of the area adjacent to the High Street and on a former administrative camp reserve, reflecting the initial goldfields settlement patterns;
- The extant 1858 Maryborough Hospital building, associated 1860s alterations and additions, and siting adjacent to the Civic Square on the original designated hospital reserve, reflecting the initial provision of medical facilities during the Gold Rush;
- A high concentration of highly intact and significant civic, religious and institutional buildings associated with the establishment of Maryborough as a regional centre from the mid nineteenth to early twentieth century;
- The regularity and harmony of prominent civic, religious and institutional buildings dating to the nineteenth and early twentieth centuries, and generally characterised by freestanding buildings with masonry construction, imposing scales, ornamented facades and gable or hipped roof forms;
- The predominance of Victorian era buildings, illustrating the consolidation of the Maryborough township throughout the late nineteenth century;
- Sympathetic interwar development and/or alterations with a civic or social function;

- The Alexander Miller Memorial Homes along Campbell Street, demonstrating the provision of social housing and ongoing provision of community and/or social services into the interwar period;
- Key features and original detailing to the buildings characteristic of their respective Victorian and Federation era styles, including:
 - Victorian Vernacular style characterised by simple gabled or hipped roof forms, an absence of ornamentation and stone or brick masonry finishes,
 - Victorian Gothic Revival style influences characterised by stone or brick masonry finishes or textured masonry walling, steeply pitched gabled roofs, lancet arched windows, and symmetrical forms;
 - Victorian Free Classical style characterised by highly embellished and stuccoed facades, pediments, cornice mouldings, brackets, dentils and corbels, precast lettering and numbering denoting construction year;
 - Federation Free Classical style characterised by and masonry or red brick construction, symmetrical arrangements, parapeted roofs, simplified Classical forms, and Classical detailing including dentils, end corbels, or string courses.
- Public realm elements and urban infrastructure, including the Maryborough War Memorial and associated water fountain.
- Views to, from and within the precinct, including views of the Maryborough Fire Brigade Belltower and the prominent terminating vista along Nolan Street to the Maryborough Post Office building.

Post-war and contemporary alterations and additions are not significant.

How is it significant?

The Civic Square Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Civic Square Precinct is historically significant as an example of a civic and administrative goldfields centre that illustrates the initial establishment of the Maryborough township in the mid-1850s, and its formal consolidation as a borough by the late nineteenth and early twentieth century. This is reflected in its earlier use as an administrative camp reserve with temporary civic services in close proximity to High Street and the Main Lead, as well as the formal layout of the civic square and its associated and adjacent late mid to late nineteenth century civic, administrative, religious and hospital buildings, primarily established on land designated for public use. As such, the Civic Square Precinct not only forms a tangible link to the Gold Rush story in the Central Victorian Goldfields region, but also illustrates the initial 1850s settlement patterns and the subsequent phase of intense municipal growth between the 1870s and 1890s. (Criterion A)

The Civic Square is historically significant for its Alexander Miller Memorial Homes, which were established during the 1930s Depression to house aged people at no cost. Built on land provided by the Borough Council and endowed by prominent businessman and philanthropist Alexander Miller, these houses not only illustrate the continuing provision of social services in this area of Maryborough, but also forms a key part of the town's social history. (Criterion A)

The Civic Square Precinct is aesthetically significant as a substantially intact and visually cohesive collection of prominent freestanding civic, religious, and institutional buildings primarily dating to the late nineteenth century period. Although interspersed across a large area with a number of frontages, homogeneity is generally achieved through shared or related architectural styles and proportions, including ornamented facades generally derived from Free Classical, Italianate or Gothic styles, stucco or stone and brick masonry finishes, hipped and gabled roof forms, imposing scales and generous allotments. The presence of a prominent terminating vista to the Maryborough Post Office, in conjunction with the orientation of the Maryborough Post Office, Court House and Town Hall centred around the Maryborough War Memorial is of particular note and contributes to the precinct's aesthetic significance by providing significant views to, from and within the precinct. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	<p>The Civic Square Precinct is historically significant as an example of a civic and administrative goldfields centre that illustrates the initial establishment of the Maryborough township in the mid-1850s, and its formal consolidation as a borough by the late nineteenth and early twentieth century. This is reflected in its earlier use as an administrative camp reserve with temporary civic services in close proximity to High Street and the Main Lead, as well as the formal layout of the civic square and its associated and adjacent late mid to late nineteenth century civic, administrative, religious and hospital buildings, primarily established on land designated for public use. As such, the Civic Square Precinct not only forms a tangible link to the Gold Rush story in the Central Victorian Goldfields region, but also illustrates the initial 1850s settlement patterns and the subsequent phase of intense municipal growth between the 1870s and 1890s.</p> <p>The Civic Square is historically significant for its Alexander Miller Memorial Homes, which were established during the 1930s Depression to house aged people at no cost. Built on land provided by the Borough Council and endowed by prominent businessman and philanthropist Alexander Miller, these houses not only illustrate the continuing provision of social services in this area of Maryborough, but also forms a key part of the town's social history.</p>
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<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	This place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	This place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	This place does not meet this criterion.
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics</i>	<p>The Civic Square Precinct is aesthetically significant as a substantially intact and visually cohesive collection of prominent freestanding civic, religious, and institutional buildings primarily dating to the late nineteenth century period. Although interspersed across a large area with a number of frontages, homogeneity is generally achieved through shared or related architectural styles and proportions, including ornamented facades generally derived from Free Classical, Italianate or Gothic styles, stucco or stone and brick masonry finishes, hipped and gabled roof forms, imposing scales and generous allotments. The presence of a prominent terminating vista to the Maryborough Post Office, in conjunction with the orientation of the Maryborough Post Office, Court House and Town Hall centred around the Maryborough War Memorial is of particular note and contributes to the precinct's aesthetic significance by providing significant views to, from and within the precinct.</p>
<i>F</i>	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	This place does not meet this criterion.
<i>G</i>	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	This place does not meet this criterion.
<i>H</i>	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	This place does not meet this criterion.

Significance level

Local This place does not meet this criterion.

Description

Physical Analysis

The Civic Square Precinct occupies a rectangular extent of land generally bounded by Palmerston Street to the northwest, Nightingale Street to the north, Clarendon Street to the southeast and Havelock Street to the southwest. The precinct is bisected by Campbell Street and Neill Street. The precinct is an example of a highly intact town square surrounded by various civic buildings. It is located adjacent to the main commercial business district of Maryborough centred along High Street. The Civic Square Precinct is characterised by a wide, open streetscape with dedicated street parking, wide paved footpaths, nature strips and open grassed areas planted with mature ornamental trees that frame the various civic buildings.

There are several streetscape elements surrounding the Civic Square that were added sometime in the late twentieth century, including cast iron bollards and decorative cast iron streetlamps painted deep red. Central to the Civic Square carpark is the Maryborough War Memorial. Unveiled in 1926, the granite plinth is set on a stepped bluestone base with commemorative plaques on four sides. It is topped by a cast bronze statue of a soldier sculpted by artist Margaret Baskerville.

A commemorative bluestone water fountain dedicated to Corporal Gerald Massey Ivor Wilkinson is located centred on the footpath in front of the Maryborough Town Hall. It is set on a stone plinth and stepped base with an inset engraved memorial plaque, topped with a stone roof and cast-iron streetlamp.



Figure 3. View of the Maryborough War Memorial.



Figure 4. View of the memorial water fountain.

The Civic Square Precinct presents a distinct group of Victorian era civic buildings. This includes the town hall, post office, courthouse, fire station and tower, Court of Mines and Masonic Hall, along with the former Presbyterian Church and Sunday School.

The oldest building within the precinct and the town is the former Gold Warden's Office (also known as the Court of Mines building located at 6 Neill Street. Dating to 1858, it is now used as a medical centre. The original structure consists of a simple sandstone block building with a hipped roof. An open gable entry porch with a central arched door extends along the facade facing Neill Street. The property includes later single-storey additions adjoining the original sandstone building.

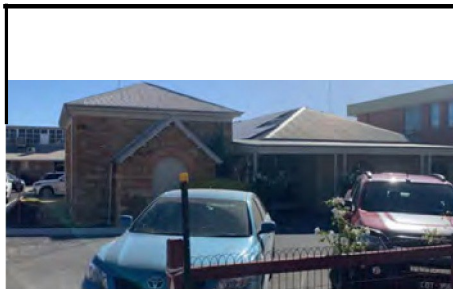


Figure 5. 6 Neill Street, Maryborough.

The main group of civic buildings within the precinct consists of the Maryborough Court House, Post Office and Town Hall is located at 67, 69 and 71 Clarendon Street respectively. The structures are centred around a return driveway with carpark around the Maryborough War Memorial fronting the junction of Clarendon Street and Nolan Street. The Victorian era buildings present a Victorian Free Classical style featuring Greek and Roman ordered columns, arched fenestration, balustraded parapets and balconies, and an entrance portico. Other elements derived from the Classical idiom include pilasters, pediments, arched label moulds with keystones, entablatures, and cornice mouldings with dentils. The group of two-storey masonry buildings are finished with a smooth cream stucco and deep red trim colour scheme. Located above the Maryborough Post Office and overlooking the Civic Square is the four-storey clock tower topped with a flagpole. Each structure includes some later rear additions, most extensively at the Maryborough Town Hall which presents a Streamline Moderne style along its Neill Street frontage, defined by a horizontally expressed form emphasised by a defining curved wall and sections of rendered and face clinker brick.



Figure 6. Overview of the Civic Square.



Figure 7. View of the Maryborough Post Office.



Figure 8. View of the Maryborough Courthouse.



Figure 9. View of the Maryborough Town Hall.



Figure 10. Streamline Moderne addition to the Maryborough Town Hall.

Located to the rear of the Civic Square is the Maryborough Fire Brigade Depot and Bell Tower, at 1 Neill Street. The depot complex dates to 1861 and consists of three distinct face red brick structures presently used as a gallery. A simple open gable building is flanked by a taller depot building with two fire brigade doors and a shaped, stuccoed parapet. Located beside the open gable structure and addressing its corner position is the highly prominent Bell Tower dating to 1883. The tapering brick tower includes large arched fenestrations on the ground level, triangular arched windows along the stairwell, and paired arched openings with a Corinthian column, cornice moulding, arched mould with keystone at the top of the tower. It is capped with a braced timber superstructure. The superstructure includes platforms and is topped with an octagonal hipped roof.



Figure 11. Maryborough Fire Brigade Depot.



Figure 12. View of the bell tower.

Occupying the north-eastern and largest proportion of the precinct is the Maryborough Hospital complex. It forms a wider complex consisting of various healthcare and aged care buildings. The earlier Victorian era building fronts Clarendon Street at the junction with Tuaggra Street. Views of the building have been largely subsumed by post-war era and contemporary additions and extensions, but it can be generally identified through its intact hipped roof profile clad with slate tiling. Another distinct feature of the healthcare complex is the face brick smokestack, which along with the nearby Fire Brigade Bell Tower, form two of the tallest structures within the township.



Figure 13. Early Maryborough Hospital building within the healthcare complex.



Figure 14. View of the smokestack within the healthcare complex.

A number of community and religious buildings are located along the north-western side of the precinct fronting Palmerston Street. This includes the Masonic Hall (Maryborough Freemason) at 12 Havelock Street and the former Presbyterian Church (now St Andrews Uniting Church) and associated building at 9 and 10 Neill Street.

The Federation era Masonic Hall was constructed in 1906 and consists of a face red brick structure with rendered white stucco trim. The symmetrical facade includes a central door with an arched fanlight and label mould, flanking sash windows with a flat gauged arch and a distinctly shaped notched and open gable parapet topped with precast urn finials. A shield moulding featuring Masonic iconography is centred on the gable parapet. The Federation era hall is connected to an adjacent post-war era single-storey addition.



Figure 15. Maryborough Freemasons.

The main church building of the Former Presbyterian Church is located at 10 Neill Street. Dating to 1860, the church presents a Victorian Free Gothic style designed by architect Charles E. Marriott. The open gable structure consists of bluestone blockwork along its facade, a central leadlight and stained-glass Gothic window, and lancet windows, as well as a castellated and buttressed porch. The rear of the church consists of additions constructed with face red brick and features additional Gothic windows and an octagonal apse with a hipped roof. The associated manse building situated east of the building also dates to the c.1860s and consists of a single-storey masonry Gothic style building distinguished by front facing gables with bay windows, profiled chimneys, and a front verandah. The eastern gable is a later addition that does not form part of the original design.

Located opposite the main church is the Sunday School building and the Maryborough Freemasons building. The Maryborough Masonic Hall comprises a face red brick structure with a low-pitched gambrel roof, paired sash windows and buttressed walls.



Figure 16. Façade of the church building at 10 Neill Street, Maryborough.



Figure 17. Rear face brick apse of the church at 10 Neill Street, Maryborough.



Figure 18. Sunday School building at 9 Neill Street, Maryborough.



Figure 19. Sunday School building at 9 Neill Street, at 10 Neill Street, Maryborough.

The precinct also includes a number of residential buildings interspersed throughout. Residential buildings include the Victorian era single fronted brick residence at 5 Neill Street and two interwar era residences at 14 and 19 Campbell Street. These latter interwar residences, otherwise known as the Alexander Miller Memorial homes, consist of single-storey masonry buildings designed in a restrained Bungalow style with hipped roof forms, timber joinery and verandahs supported on masonry piers.



Figure 20. 5 Neill Street, Maryborough.



Figure 21. Alexander Miller Memorial homes at 14 Campbell Street, Maryborough.

The Civic Square Precinct forms a key collection of civic buildings that were integral to the establishment and development of the town of Maryborough. In addition to the Victorian and Federation era civic, community and religious buildings, the precinct also includes some commercial and residential buildings. There has been some subsequent post-war infill and a number of large-scale contemporary developments, particularly to the hospital site. However, the integrity of the precinct is supported by the retention of the alignment of civic buildings which generally present an intact massing, form, fenestration, and detailing.

Alterations and Additions

- Non-contributory post-war residential development at 8 Havelock Street.
- Non-contributory contemporary development at 16-18 Campbell Street, 2 Neill Street, and the Maryborough Hospital. *
- Post-war single-storey hall addition adjoining the main 1906 Masonic Hall building and demolition of previous Victorian era building.
- Relandscaping of the Civic Square including widening of the turning circle and parking area and removal of mature trees. *
- Minor single-storey contemporary rear addition to the Maryborough Court House.
- Minor rear extensions and two accessible ramps added to the far side of the Maryborough Post Office.
- Interwar Streamline Moderne style addition to the Maryborough Town Hall fronting Neill Street.
- Gable extension to eastern end of the Former Presbyterian Manse building.
- Removal of gable wing of the 1860 Maryborough Fire Station building.
- Single-storey additions adjoining the Former Presbyterian Church.
- Larger post-war/contemporary single-storey structure adjoining the Former Court of Mines building.
- Replacement of entrance door to the Former Court of Mines building.
- Demolition of an interwar era single-storey cottage used as the Maryborough Baby Health Centre located at 73 Clarendon Street (2022).
- Major post-war and contemporary additions and development to the Maryborough Hospital.
- Addition of lamp posts and bollards in Civic Square (late twentieth century).

The buildings and public realm elements that make up the Civic Square Precinct are generally in good condition. The civic, community, and religious buildings that comprise the precinct generally have subsequent additions to varying extents. However, the original structures can still be appreciated as part of a wider group representative of the town's early establishment and development. Principal features have remained largely intact as are associated structures such as the Fire Brigade Bell Tower, Maryborough War Memorial, and memorial water fountain. Thus, the precinct is of moderate to high integrity.

• Denotes element that detracts from the cultural significance of the place.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Oja Oja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinton area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Oja Oja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used

for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 22. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

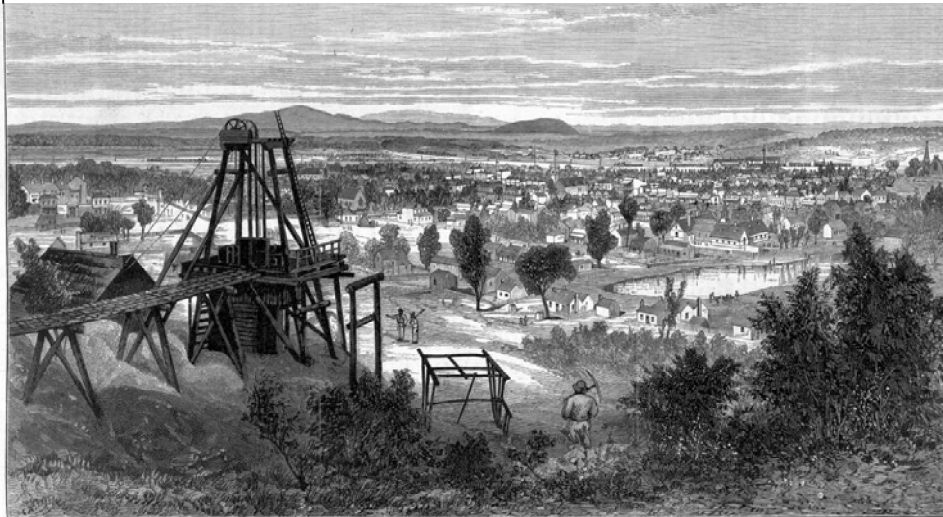


Figure 23. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The Civic Square Precinct comprises a portion of the original goldfields settlement area in Maryborough that dates back to the 1850s (Gilks 1856). Situated immediately north of the main High Street, which initially developed in an ad hoc manner adjacent to the Main Lead further to east from 1854, this area appears to have primarily been dotted with temporary miners' camps by 1854 (Osborn and DuBourg 2011, 31). As described in one recollection,

"I saw Maryborough with its dense forest of iron bark trees and flowering shrubs. I saw it when the main street buildings were composed of slabs and calico, and its surroundings dotted with thousands of tends - the only habitation of miners..." (Maryborough and Dunolly Advertiser 1890).

Other known early infrastructure comprised the Maryborough Post Office tent, which opened in December 1854 (Osborn and DuBourg 2011, 32; The Age 1855, 7). The area was formally surveyed as part of the Maryborough township a year later in December 1855, by which point the area comprised a hospital, the 'Second Camp Reserve' and a variety of other civic facilities to service the growing population, including a post office, treasury, survey office, courthouse and council chambers (Gilks 1856) (see Figure 24). Of these, the only permanent building appears to have been the hospital, which was constructed of slab and canvas (The Age 1855, 6; Osborn and DuBourg 2011, 170) (see Figure 25).



Figure 24. 1855 survey showing Civic Square Precinct area. *Source:* Surveyor General's Department. 1856. Township of Maryborough County of Talbot. Map. Historic Plan Collection VPRS8168. Public Record Office Victoria.



Figure 25. Painting of original 1855 hospital building. Source: Tibbits, William. c.1850s. *Maryborough Hospital A.O. 1857 - a painting by William Tibbits*. Painting. ID 1784359. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/23659>.

The establishment of more permanent public buildings took place within the Civic Square Precinct area throughout the late 1850s and 1860s following the declaration of Maryborough as a borough and the subsequent formation of a local government in 1857 (Osborn and DuBourg 2011, 103). Notably, what formerly comprised the 'Second Camp Reserve' was specifically designated by authorities as a 'reserve for public purposes in 1857 (see Figure 26). Civic buildings established during this period include the Town Hall, Post Office, Survey Office, Court House, and Court of Mines buildings, all of which were erected in 1858 (Maryborough and Dunolly Advertiser 1858, 2; Osborn and DuBourg 2011, 115). Of these buildings, only the Court of Mines building is extant (see Figure 29). The 1855 hospital was also replaced with a stone building in 1858, while the Maryborough Fire Brigade Station was established in 1861 at 1 Neill Street, Maryborough in response to the burning town of Birnie's Freemason's Hotel in High Street (Osborn and DuBourg 2011, 172; Maryborough and Dunolly Advertiser 1861, 2) (see Figure 27 and Figure 28).



Figure 26. Extract from 1857 plan of allotments showing part of the Civic Square Precinct as a 'Reserve for Public Purposes.' Source: Public Lands Office. 1857. *Allotments at Maryborough*. Map. In collection: Victorian Suburban & Country Plans. ID 2325040. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/261258>.



Figure 27. Sketch of the 1861 Maryborough Fire Brigade Building, date unknown. *Source:* Osborn, B and DuBourg, T. 2011. *Maryborough: A Social History 1854-1904*. Maryborough: Central Goldfields Shire Council.



Figure 28. c.1866 image of the new Maryborough Hospital building. The left wing opened in 1858 and the central section to the right opened in 1861. *Source:* Unknown. c.1866. *Maryborough District Hospital*. Photograph. In collection: Maryborough buildings and street scenes, ea. 1866. ID 1652143. State Library of Victoria. <http://handle.slv.vic.gov.au/103811296733>.



Figure 29. 1964 view of the 1858 Former Court of Mines building (by then converted into a Scout Hall).
Source: Collins, J. 1964. *Maryborough Former Lands (or Mines) Dept Office Neill St.* Photograph. In collection: J. T. Collins collection. ID 1675507. State Library of Victoria.
<http://handle.slv.vic.gov.au/10381/232446>.

The Former Presbyterian Church and neighboring Manse was also erected at present day 10 Neill Street in 1860 to service the growing Presbyterian population in Maryborough (see Figure 30). Situated north of the designated public reserve area on Allotments 11, 12, 13, 14 of Section 30, the Gothic Revival style bluestone building was erected to designs by architect Charles E. Marriott (Maryborough and Dunolly Advertiser 1860, 2).



Figure 30. c.1866 view of Former Presbyterian Church and Manse along Neil Street. *Source:* Unknown. c.1966. *Presbyterian Church and Manse Maryborough.* Photograph. In collection: Maryborough buildings and street scenes. ID 1652144. State Library of Victoria.
<http://handle.slv.vic.gov.au/10381/4278880>.

Further improvements to civic buildings were made throughout the 1870s and 1890s, fuelled not only by the extension of the railway line from Castlemaine and the subsequent completion of the first Maryborough Railway Station in 1874, but also ongoing public concerns regarding the state of existing public buildings throughout the 1870s (Maryborough and Dunolly Advertiser 1873). In the view of the local newspaper in 1871, the "slovenly character" of the Post Office and Treasury buildings meant that "they now exhibit a disposition to become prematurely worn out and unfit for use" (cited in Osborn and DuBourg 2011, 241). In response, the Council oversaw the development of several ornate and prominent public buildings in the throughout the 1870s to early 1890s, effectively replacing the existing ones established in the late 1850s (Osborn and DuBourg 2011, 243, 288-289, 308-9). This included:

- Post Office Building at 69 Clarendon Street (a Victorian Free Classical style building erected in 1877 by Mr Cunningham along Clarendon Street fronting Nolan Street, with a clocktower addition in 1879).
- Maryborough Town Hall at 71 Clarendon Street (a two storey Victorian Free Classical style building erected in 1887 on the vacant land east of the 1877 Post Office Building).
- Court House at 67 Clarendon Street (a two storey Victorian Free Classical style building erected in 1893 to designs by S. E. Bindley of the Public Works Department on the vacant land the vacant land west of the 1877 Post Office Building).

In addition to the above, the hospital building was also extended in 1867-8, and further alterations comprising the addition of a portico, balcony and verandah to the central building were carried out in 1873 and again in 1882 (Osborn and DuBourg 2011, 182). By 1907, the central wing of the hospital building featured a two-storey cast iron verandah with elaborate lacework (see Figure 31). Meanwhile, a new fire bell tower was built next to the to the Maryborough Fire Station building at 1 Neill Street in 1888 (Maryborough and Dunolly Advertiser 1888). Several landscaping elements were also established in the Civic Square area by the early twentieth century, including a memorial drinking fountain outside the Town Hall building in 1903 (The Ballarat Star 1903, 4).



Figure 31. c.1907 view of the verandah additions to the central wing of the Maryborough Hospital.
Source: Unknown. c.1907. *Maryborough, Hospital*. Postcard. In collection: Shirley Jones Collection. ID 1678028. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/367980>.



Figure 32. c.1909 view of the 1893 Court House, 1877 Post Office and 1887 Town Hall. *Source:* Unknown. c.1909. *Law Courts Post Office & Town Hall Maryborough*. Postcard. In collection: Shirley Jones Collection. ID 1678006. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/367397>.

Beyond the presence of grand civic buildings, the removal of older public buildings dating to the 1855 rendered the Civic Square Precinct area suitable for a number of religious and institutional buildings during the late nineteenth and early twentieth centuries, particularly as the churches expanded in the 1880s (Osborn and DuBourg 2011, 273). The Former Presbyterian Sunday School at 9 Neill Street was consequently erected in 1887 opposite the Former Presbyterian Church, while the existing 1860 Presbyterian Church (now the St Andrew's Uniting Church) at 10 Neill Street was extended in 1897. Meanwhile, the tender for the Masonic Hall at 12 Havelock Street was accepted in 1906 and the Hall was established by 1907 (The Ararat Advertiser and Chronicle for the Stawell and Wimmera Districts 1906, 2; Bick et al. 1992).

The interwar period saw further development oriented towards civic and public functions. In 1926, a war memorial was unveiled at the centre of the Civic Square outside of the post office, replacing an earlier c.1880s water fountain (The Argus 1926). Also of particular note are the Alexander Miller Memorial Homes at 14 and 19 Campbell Street. Endowed by the estate of businessman and philanthropist Alexander Miller, which also established similar homes in other regional towns including Geelong, Euroa, Numurkah, Benalla, Rushworth, these homes were provided to aged people at no cost (Langmore 1986; The Argus 1928, 14; Osborn 1996, 265). Consisting of blocks of six homes, these buildings were erected in 1931 during the Depression period on land provided by the Borough Council (Osborn 1996, 226). While these buildings were substantially renovated in 2014, they have continued to retain their original social purpose.

Although there has been some degree of post-war and contemporary infill development in the Civic Square Precinct, particularly to the complex of hospital buildings situated along the eastern half of the precinct (see Physical Analysis - Alterations and Additions), the area has retained a substantial portion of its Victorian era building stock, including the 1858 Former Court of Mines building and a portion of the 1861 Maryborough Fire Brigade Station.

As of 2023, the Civic Square Precinct continues to operate as the central civic area adjacent to Maryborough's main commercial strip.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the development of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

The Civic Square Precinct is notable as the administrative and civic centre of a Victorian gold-mining town that largely developed between the mid-1850s and 1880s. It is composed of an impressive collection of mid to late nineteenth century civic, institutional and/or religious buildings, the majority of which were erected on a former miner's camp reserve that was designated for public use in 1857 following the establishment of Maryborough as a borough. Situated in close proximity to the main commercial strip of High Street (part of the Commercial Precinct), which developed from diggers' tracks, the Civic Square Precinct initially featured hospital, post office, treasury, survey office, and courthouse facilities that operated from tents or slab and canvas structures, before being gradually replaced with more permanent and ornate buildings in the following decades. As such, the area not only provides insight into the initial goldfields settlement patterns, but also illustrates the growth and consolidation of Maryborough as a key regional centre by the late nineteenth century.

While there are other noted civic and administrative buildings within the smaller goldfields towns of the Central Goldfields Shire, they are typically interspersed within the main commercial strip and are not concentrated within a designated civic area. The only area that compares in terms of concentration of civic and institutional buildings is located in Talbot:

- **Camp Street, Talbot, Talbot Area (located within HO208).** The area roughly comprising 3-8 Camp Street is situated just off the main commercial strip and consists of a small collection of civic, religious and/or institutional buildings dating back to the late nineteenth and early twentieth centuries. The buildings are evidently smaller in scale and less extravagant, and largely consist of single-story face brick or weatherboard buildings with a modest degree of ornamentation. The area overall is less cohesive owing to the presence of infill residential development, and it also lacks the distinct civic character of the Civic Square Precinct owing to the siting of individual buildings on modest, residential-like allotments.

Civic areas that are more comparable in size and scale are otherwise situated in regional goldfields centres elsewhere in Victoria. These include:

- **Castlemaine Central Conservation Area, Castlemaine (H0667, Mount Alexander Shire).** The Castlemaine Central Conservation Area comprises a large urban centre featuring a number of high-quality building stock of stone and masonry construction. Although not a formally planned civic square, the block bounded by Templeton Street, Hargraves Street, Lyttleton Street and Barker Street is particularly comparable as an area primarily composed of grand Victorian Free Classical style civic and administrative buildings dating back to the mid to late nineteenth century, including the 1898 Castlemaine Town Hall, the 1875 Castlemaine Post Office Building, the Castlemaine Court House and the 1857 Telegraph Station. Although this area is overall more cohesive and intact than the Civic Square Precinct, it nevertheless draws similarities in terms of developmental pattern and the quality, scale, and style of significant graded buildings.
- **Maldon Historic Central Area, Maldon (H0445, Mount Alexander Shire).** Although a large conservation area featuring a mixture of commercial, civic, religious and residential buildings, the area concentrated around the intersection of High Street and Francis Street is directly comparable in terms of its high concentration of civic and administrative buildings established between the mid and late nineteenth century, including the 1870 Maldon Post Office, the Maldon Athenaeum Library (re-built in 1932), the 1862 Maldon Court House and the 1873 former Temperance Hall. As with the Civic Square Precinct, these buildings were established on land that formed part of the original colonial goldfields settlement area, with some buildings also similarly sited on land designated for public use. While the area retains a higher degree of integrity, individual buildings are smaller and less ornate overall due to their earlier construction dates. As with the Castlemaine Central Conservation Area, the siting of the buildings is not centred around a formal town square that gives the Civic Square Precinct its distinct municipal character.

Precinct Map



Figure 33. Map showing individual property gradings within the Civic Square Precinct.

Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era(s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
8 Havelock Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
12 Havelock Street, Maryborough	Masonic hall	Federation/Edwardian Period (1902-c.1918)	S
67 Clarendon Street, Maryborough	Law enforcement (former)	Victorian Period (1851-1901)	S
69 Clarendon Street, Maryborough	Post office	Victorian Period (1851-1901)	S
71 Clarendon Street, Maryborough	Town hall	Victorian Period (1851-1901)	S
73 Clarendon Street, Maryborough	Vacant allotment	N/A	NC
9 Nightingale Street, Maryborough	Hospital	Victorian Period (1851-1901) With Post-war and Contemporary extensions	S (Victorian hospital building only) NC (post-war and contemporary extensions)
14 Campbell Street, Maryborough	Residential	Interwar period (c.1910-c.1940)	S
16-18 Campbell Street, Maryborough	Civic	Contemporary	NC
19 Campbell Street, Maryborough	Residential	Interwar period (c.1910-c.1940)	S
20 Campbell Street, Maryborough	Civic	Contemporary	NC
1 Neill Street, Maryborough	Fire utilities	Victorian Period (1851-1901)	S
2 Neill Street, Maryborough	Civic	Contemporary	NC
3 Neill Street, Maryborough	Town hall (extension)	Interwar Period (c.1910-c.1940)	C
4 Neill Street, Maryborough	Civic	Contemporary	NC
5 Neill Street, Maryborough	Residential	Victorian Period (1851-1901)	C

Street address	Place type	Style/era	Grading
6 Neill Street, Maryborough	Law enforcement (former)	Victorian Period (1851-1901)	S
8 Neill Street, Maryborough	Manse	Victorian Period (1851-1901)	S
9 Neill Street, Maryborough	Sunday school	Victorian Period (1851-1901)	S
10 Neill Street, Maryborough	Church	Victorian Period (1851-1901)	S

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 34. c. 1907 view of the Masonic Hall. *Source:* Unknown. c.1907. *Maryborough Masonic Hall*. Postcard. In collection: Shirley Jones Collection. ID 1678025. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/368090>.



Figure 35. c. 1920-54 view of Civic Square. *Source:* Rose Stereograph Co. c.1920-54. *Court House & Post Office in Civic Square, Maryborough, Vic.* Negative. In collection: Rose postcard collection of negatives. ID 1763835. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/63391>.



Figure 36. Former Presbyterian Manse at 6 Neill Street.



Figure 37. View of Alexander Miller Memorial Home at 14 Campbell Street.



Figure 38. Overview of Alexander Miller Memorial Home at 14 Campbell Street.



Figure 39. Oblique north-west facing street view of Neil Street.



Figure 40. Rear view of masonic hall and post-war extension.

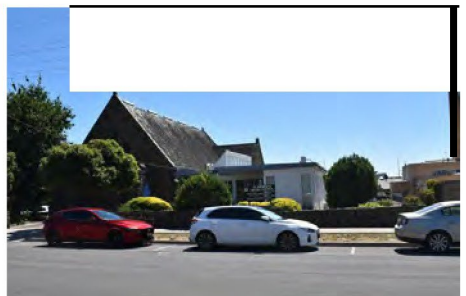


Figure 41. Streetscape view of Former Presbyterian Church and post-war extension.

Commercial Precinct

Heritage Place: Commercial Precinct

HO Reference: TBA

Date updated: 9 January 2024

Address: 1-3 Havelock Street, Clarendon Street, 57-177A & 70-212 High Street, 54-86 Alma Street, Napier Street, 39-45 Tuaggra Street, 35-95 & 38-108 Nolan Street, Maryborough



Figure 1. Commercial Precinct, Maryborough.

Item Group: Commercial

Key Theme: Building towns, cities and the garden state

Item Type: Commercial Precinct

Key Sub-theme: Making regional centres

Designer: N/A

Construction: 1850s-1930s

Builder: N/A

Style: Victorian (Free Classical and Italianate), Federation (Free Style), Interwar (Spanish Mission, Streamline Moderne)

Significance Level: Local

Controls: 0 External paint controls

0 Internal alteration controls

Tree controls

0 Included on Victorian Heritage Register

0 Incorporated Plans

0 Outbuildings and fence not exempt

0 Prohibited uses may be permitted

0 Aboriginal Heritage Place

0 Solar energy system controls

Curtilage

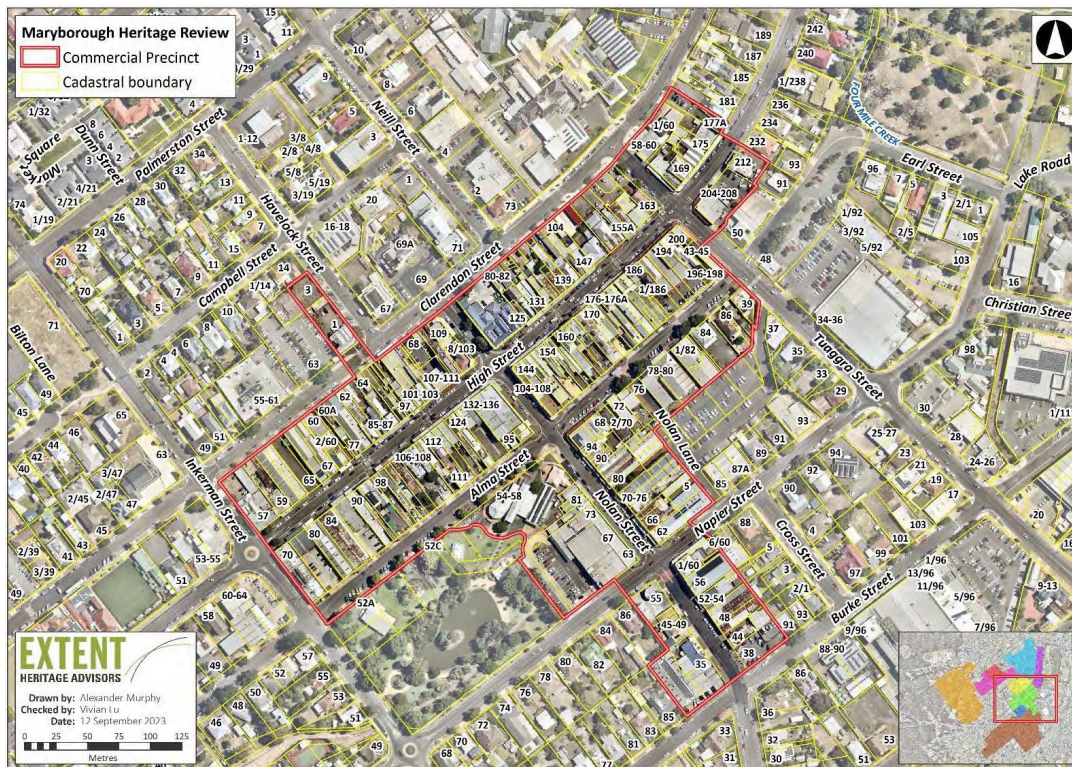


Figure 2. Aerial map showing boundary of Commercial Precinct.

Statement of Significance

What is significant?

The Commercial Precinct, comprising commercial and civic properties along Havelock, Clarendon, High, Alma, Napier, Tuaggra, and Nolan Street, Maryborough, is locally significant.

The precinct is predominantly characterised by significant and contributory graded buildings, along with a small number of non-contributory graded buildings.

Significant properties include:

- Albion Hotel, 57 High Street, Maryborough;
- Former State Savings Bank, 106 High Street, Maryborough;
- Sutherland Chambers, 113A High Street, Maryborough;
- Bull & Mouth Hotel, 119-125 High Street, Maryborough;
- Flagstaff Hotel, 155 High Street, Maryborough;
- Former Union Bank of Australia, 162 High Street, Maryborough;
- Former Public Library, 163 High Street, Maryborough;
- W.H. Ying Garage, 74 Alma Street, Maryborough;
- Paramount Theatre, 56 Nolan Street, Maryborough;
- Brock Worrall Goods building, 60 Nolan Street, Maryborough;
- 66 Nolan Street, Maryborough;
- 90 & 92 Nolan Street, Maryborough;
- 103 Nolan Street, Maryborough;
- Williams' Buildings, 116 Nolan Street, Maryborough; and
- Supreme Court Hotel, 1 Havelock Street, Maryborough

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The street layout of High Street initially developed by gold diggers as opposed to laid out as part of a formal town survey;
- The consistent facade arrangement of shop fronts, established by the alignment ruling made by Maryborough Town Council in 1858;
- The regularity and harmony of the commercial buildings within the precinct, generally characterised by substantial, attached, single to two storey buildings with above awning facade detailing, parapet forms, signage, shopfront fenestration, external wall tiling, and the general lack, or low prominence, of chimneys;
- Awnings/verandahs to the street frontages, typical of commercial high streets, with features such as turned timber or cast-iron posts, cast iron lacework and balustrades, and bullnosed or hipped roofs. Of particular significance are the original verandahs at 115 High, 60 Nolan Street, 84 Alma Street, and 147 High Street.
- The pairing of a primarily commercial precinct with a collection of civic buildings at the northeastern end of High Street (such as the Former Public Library at 163 High Street);
- The remnant Victorian era house at 39 Tuaggra Street, Maryborough, reflecting the original residential character of this area of the precinct;

- Examples of highly intact and significant commercial buildings, as listed above;
- The predominance of Victorian, Federation and interwar commercial styles as a tangible representation of Maryborough's historical commercial development;
- Key features and original detailing to the buildings characteristic of their respective Victorian, Federation and interwar styles and periods including:
 - Free Classical style influences such as highly embellished and stuccoed facades, pediments, cornice mouldings, brackets, dentils and corbels, precast lettering and numbering denoting construction year, and dichromatic brickwork, bagged brick, or face red brick construction (Victorian);
 - Parapeted or hipped roof forms, facade elements including dentils, end corbels, or string courses, and masonry or red brick construction (Federation);
 - More visually restrained detailing, relief panels with stylised font derived from Moderne sources, recessed main shop front entrances, aluminium or timber fenestration, and predominantly face brick construction (interwar).
 - Examples of other individual styles such as Spanish Mission (at 49 Nolan Street) and Streamline Moderne (at 70 High Street).
- Views to, from and within the precinct, as well as the prominent terminating vista along Nolan Street to the Maryborough Post Office building (VHR H1754, outside the precinct)

How is it significant?

The Commercial Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Commercial Precinct is historically significant as an intact example of a Victorian gold-mining commercial area that illustrates the key phases of development in the Maryborough township between the 1850s and interwar period. This is evident in the layout of High Street, which forms the original town centre and was developed by the gold mining population during the Gold Rush as opposed to laid out as part of a formal town survey, as well as the collection of Victorian, Federation and interwar commercial and civic buildings, which demonstrate the consolidation of the township by the late nineteenth century following increased wealth and the completion of the Maryborough Railway Station, and continued development into the first decades of the twentieth century in response to the Maryborough's growing manufacturing industry. As such, the Commercial Precinct not only forms a tangible link to the Gold Rush story in the Central Victorian Goldfields region, but also illustrates the consolidation of the Maryborough township over the late nineteenth and early twentieth centuries. (Criterion A)

The Commercial Precinct is aesthetically significant as a visually cohesive collection of attached one to two storey commercial buildings dating from the 1850s to the interwar era. Although designed in a variety of styles from the Victorian, Federation, and interwar eras, the area demonstrates a sense of uniformity in terms of their setbacks, form, scale, building heights and materials, such as above-verandah facade detailing, parapet form, awnings/verandahs to street frontages and face brick or render finishes. The presence of a prominent terminating vista to the Maryborough Post Office (part of the Civic Precinct), in conjunction with the curved and relatively wide layout of High Street and Nolan Street, contributes to the precinct's aesthetic significance by providing significant views to, from and within the precinct. (Criterion E)

HERCON Criteria Assessment

A	Importance to the course, or pattern of our cultural or natural history	<p>The Commercial Precinct is historically significant as an intact example of a Victorian gold-mining commercial area that illustrates the key phases of development in the Maryborough township between the 1850s and interwar period. This is evident in the layout of High Street, which forms the original town centre and was developed by the gold mining population during the Gold Rush as opposed to laid out as part of a formal town survey, as well as the collection of Victorian, Federation and interwar commercial and civic buildings, which demonstrate the consolidation of the township by the late nineteenth century following increased wealth and the completion of the Maryborough Railway Station, and continued development into the first decades of the twentieth century in response to the Maryborough's growing manufacturing industry. As such, the Commercial Precinct not only forms a tangible link to the Gold Rush story in the Central Victorian Goldfields region, but also illustrates key phases of Maryborough's development as a township over the late nineteenth and early twentieth centuries.</p>
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	This place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	This place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	This place does not meet this criterion.
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	<p>The Commercial Precinct is aesthetically significant as a visually cohesive collection of attached one to two storey commercial buildings dating from the 1850s to the interwar era. Although designed in a variety of styles from the Victorian, Federation, and interwar eras, the area demonstrates a sense of uniformity in terms of their setbacks, form, scale, building heights and materials, such as</p>

		above-verandah far;ade detailing, parapet form, awnings/verandahs to street frontages and face brick or render finishes. The presence of a prominent terminating vista to the Maryborough Post Office (part of the Civic Precinct), in conjunction with the curved and relatively wide layout of High Street and Nolan Street, contributes to the precinct's aesthetic significance by providing significant views to, from and within the precinct.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	This place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	This place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	This place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Commercial Precinct occupies a 'T' shaped extent along the main commercial precinct of Maryborough and is bisected by High Street, Alma Street and Nolan Street. The precinct is generally bounded by Burns Street and Napier Street to the southeast, Inkerman Street to the southwest, Clarendon Street to the northwest, and Tuaggra Street to the northeast. The commercial buildings date from the mid to late Victorian, Federation and interwar periods. The precinct is located beside the Civic Square Precinct which is centred at the northwestern end of Nolan Street. The precinct is also located beside the Philips Botanical Garden located along its southwestern boundary.

The Commercial Precinct generally consists of attached one to two storey commercial development, with contributory commercial buildings generally presenting altered shop fronts. These buildings usually feature symmetrical far;ades above the awning level characterised by shaped parapets, timber sash windows where a first level is present, and simple detailing to the far;ade with various levels of integrity.

Characteristics of Victorian era commercial buildings are derived from the Italianate and Free Classical styles. This can be observed in the highly embellished and stuccoed far;ades, as well

as ornamented parapets featuring pediments, cornice mouldings, brackets, dentils, and corbels either of brick or precast. Other precast elements that are characteristic of the era include finials, scrolls, and relief panels. Precast lettering and numbering are often included in Victorian buildings which indicate the respective construction years.



Figure 3. Victorian shopfront 'C. Allison' at 94 Nolan Street, Maryborough. *Source: Google Street view, 2023.*



Figure 4. Victorian shopfronts at 202 High Street, Maryborough.

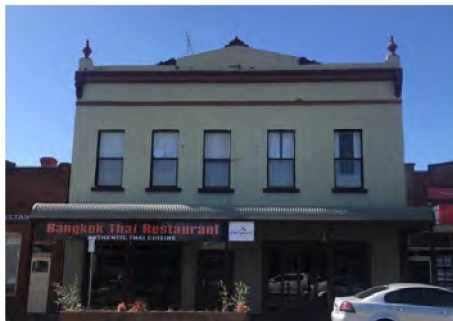


Figure 5. 96 Victorian shopfronts at High Street, Maryborough.

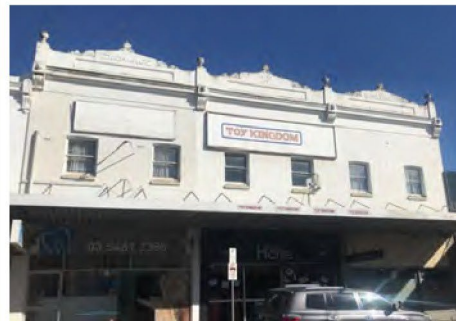


Figure 6. Victorian shopfronts 'Exchange Building' at 135 High Street, Maryborough.

Federation era commercial buildings are generally characterised by face red brick (some overpainted) and simpler detailing. The precinct also includes a number of single-storey Federation commercial buildings with multiple shopfronts. Although generally more restrained, some Federation era buildings present Italianate style detailing such as including dentils, end corbels, or string courses.



Figure 7. Federation shopfronts at 77 and 79 Nolan Street, Maryborough.



Figure 8. Federation shopfront 'Kaye's Building' at 99-105 High Street, Maryborough.



Figure 9. Federation shopfronts 'Caledonian House' at 202 High Street, Maryborough.



Figure 10. Federation shopfronts at 148-152 High Street, Maryborough.

Interwar era commercial buildings typically consist of single-storey buildings with multiple shopfronts designed in a restrained style. A number of these demonstrate the stylistic eclecticism of the period and make use of architectural elements derived from the Spanish Mission Revival and Streamline Moderne styles, such as stepped, geometric or curvilinear parapets, rounded corners, and stylised lettering.



Figure 11. Spanish Mission style shopfronts 'Hastings Buildings' at 49 Nolan Street, Maryborough.



Figure 13. Streamline Moderne style building at 70 High Street, Maryborough.

Figure 12. Interwar era shopfronts 'Jukes Buildings Auction Maryborough Mart' at 86 Nolan Street, Maryborough.



Figure 14. Moderne/Art Deco style building 'Anear's Buildings' at 71-73 High Street, Maryborough.

Nolan Street bisects High Street and forms the main thoroughfare between the railway station and the Civic Precinct following the arrival of the railway in the c.1870s. During this period, Nolan Street became an extension of the town's commercial area, linking High Street to the Railway Station. Commercial developments peaked in the 1920s and 1930s and extant commercial buildings are generally more intact than those along High Street. The main roundabout junction between Nolan Street and High Street forms the centre of the precinct. The surrounding public space and footpaths are lined with pebblecrete paving with cast iron bollards featuring acanthus leaves, a barley twist form, and ball finial. The roundabout is laid with concrete and features a wrought iron lamppost with four ball lights atop a tiered concrete pentagon base. This junction and surrounding area feature a number of significant and highly intact buildings fronting Nolan Street including:

103 Nolan Street - A two storey Victorian Free Classical building formerly used as the AMP building. It features characteristics typical of the style, derived from Classical elements and orders including horizontal banding on a granite base, rendered, arched windows with keystone level course, corner main entrance with shield and festoon mouldings on the ground level. The upper level presents similarly arranged windows with keystones. Ionic pilasters and round columns extend across the facade leading to a moulded cornice course with dentils. It addresses its junction position with a chamfered corner facade housing the main entrance door and key architectural features including the round Ionic columns, expressed pediment, and parapet topped with a precast Amicus statue (symbolism historically used and associated with AMP).

116 Nolan Street, 'Williams' Buildings' - Constructed in 1926, this interwar era two storey building presents a narrow massing with ornate shopfront detailing, including stained glass windows, and wall tiling. The above-awning along the upper-level features intact fenestration, piers with horizontal banding, cornice with dentils, as well as a parapet with recessed paneling and extruded piers. Like the former AMP building at 103 Nolan Street, the Williams' Building also addresses its junction position with a chamfered corner housing

the main entrance and parapet topped with scroll and shield moulding and spire. The Williams' Building is also associated with the adjacent Federation era single-storey structure dating from 1909 at 102 Nolan Street. This structure features a fairly intact shopfront and fenestration arrangement and retains original elements such as wall tiling and stained-glass windows. The above-awning level features an overextended parapet featuring a stepped balustrade with precast ball finials leading to the highest centred pediment.

- 119-125 Nolan Street, Bull and Mouth Hotel - Constructed in 1904, this two-storey Federation era hotel presents a highly ornate facade along its prominent corner position. The corner facade houses the main entrance and an oriel window topped with a cupola and spire. The ground level features horizontal banding and large windows with arched fanlights. The upper level is more ornate with paired sash windows with fluted corbels, cornice lintel and keystone, joined by a balconette with a precast balustrade. The parapet includes a string course, cornice moulding, precast moulded balustrade, and piers topped with pyramidal finial. Flanking the cupola are shaped gable parapets with precast lettering topped with shell moulding.



Figure 15. Bull and Mouth Hotel at 119-125 Nolan Street, Maryborough.



Figure 16. Former AMP building at 103 Nolan Street, Maryborough.



Figure 17. Williams Building at 116 Nolan Street, Maryborough.



Figure 18. Williams Building at 102 Nolan Street, Maryborough.

Other significant commercial building along Nolan Street include:

- 56 Nolan Street, Paramount Theatre - A two storey interwar theatre building featuring an intact above-parapet level with simple expressed string course and piers, lettering, and a stepped parapet.
- 60 Nolan Street, Brock Worrall Goods and Mandeville's Coffee Palace - A two storey Victorian face red brick building with relatively restrained ornamentation limited to the shaped valance and fretwork to the awning and simple parapet detailing. It also features intact fenestration to both levels and painted signage.
- 92 Nolan Street, Collins House - A single storey interwar building featuring two intact shopfronts, fenestration, wall tiling, tiled threshold, turned timber awning. The above awning level features a rendered parapet with face brick trim, with interwar style detailing to the moulded motif and relief panel with stylised font.



Figure 19. Paramount Theatre at 56 Nolan Street, Maryborough.



Figure 20. Brock Worrall Goods building at 60 Nolan Street, Maryborough.



Figure 21. Collins Building at 92 Nolan Street, Maryborough.

High Street forms the main backbone of the precinct with a diverse collection of commercial buildings. In addition to the significant buildings fronting the junction with Nolan Street, significant buildings along High Street include:

- 57 High Street, Albion Hotel - a two-storey Victorian era hotel established in 1871 and located at the western extent of the precinct. It presents a simple bagged brick structure with neatly arranged timber sash windows and a hipped roof with corrugated sheet metal.
- 106 High Street - A two-storey Victorian Italianate building, formerly in use as the State Savings Bank. The ground level features ashlar moulding and a small, enclosed yard to the side of a double fronted facade with cast iron post and palisade. Victorian windows are arranged with pilasters and classically ordered architraves. Upper-level windows include cast iron balustrade. The main group of three windows features round Corinthian ordered pilasters, dentils, and pediment. The bays are defined with Corinthian style pilasters on the upper level. Corbelled overhanging eaves with cornice moulding leading to a parapet with balusters. The ground level facade has been partially altered with bank infrastructure, signage, and advertising.
- 113A High Street, Sutherland Chambers - A two storey Victorian Free Classical building. The facade presents a symmetrical arrangement with arched fenestration on the ground level and level course. The upper level presents three sash windows with a moulded architrave, keystone, corbel and pediment, quoining, and an ornate cast iron balustrade to the centre window. The parapet features an overhanging cornice with dentils, balusters, and centred pediment. The building includes a rear residence fronting Clarendon Street of face brick with ornate cast iron detailing porch and verandah.
- 155 High Street, Flagstaff Hotel - A Victorian hotel presenting a simple massing and form with a stepped and arched parapet. The hotel features a distinct verandah and awning with ornate cast iron detailing. The ground level includes tall windows with arched fanlight and keystone. The hotel includes a side wing with a similarly shaped arch parapet to match the main building.
- 162 High Street - A Victorian Free Classical two storey hotel. It features flanking ordered entrances with pediment forming level course and sash windows. Flanking windows at the upper-level feature ashlar moulding while the entered paired windows feature a false bullseye widow, balusters, moulded voussoir, and keystone with Corinthian style pilasters. The parapet includes a cornice moulding with shaped brackets, and flat parapet with end gables with a circular pattern.
- 163 High Street - A Victorian building known as the Former Public Library located at the corner of Tuaggra Street. The face red brick presents a modest single storey massing and form. Its facade includes a rendered base, four multi-pane casement windows with arched fanlight. Dichromatic brick detailing highlights the string course, pilasters, and arched voussoirs. The main parapet features a moulded cornice, stepped and pediment parapet with precast relief panels, shield, festoons, vermiculated panel. The Tuaggra Street frontage features similar pedimented parapets with vermiculated panels with shaped corbels over the eastern facade.



Figure 22. Albion Hotel at 57 High Street, Maryborough.



Figure 23. Former State Savings Bank at 106 High Street, Maryborough.



Figure 24. Victorian era Sutherland Chambers at 113A High Street, Maryborough.



Figure 25. Flagstaff Hotel at 115 High Street, Maryborough.

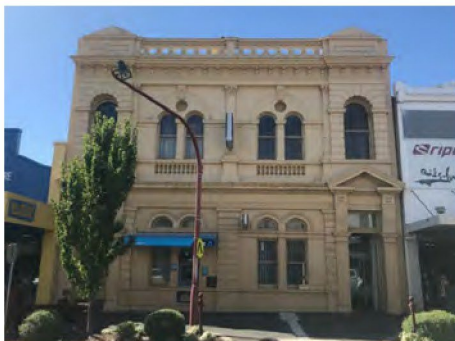


Figure 26. Former Union Bank of Australia, 162 High Street, Maryborough.



Figure 27. Former Public Library building at 163 High Street, Maryborough.

Alma Street typically presents single-storey buildings with a smaller overall massing to the main string of commercial buildings along High Street. A significant building along Alma Street is located at 74 Alma Street 'W.H. Ying Garage'. This single storey interwar face brick garage

presents a simple form with minimal detailing except the rendered course above lintel level and rendered name panel with extruded lettering.

Sections of both Clarendon and Alma Streets serve as the rear service streets for High Street. Alma Street also adjoins the botanic gardens, Phillips Gardens. Both streets have been variously altered, but still retain the traditional rear service street form.

The precinct also includes two properties along Havelock Street. 1 Havelock Street is a two storey, Victorian era corner hotel. The section of the building largely fronting Clarendon Street comprises a splayed corner entrance, a dentilated cornice and timber sash hung windows. The section fronting Havelock Street comprises a two-storey verandah with cast iron lacework and doors and windows with expressed quoining. Both facades include signage that reads 'Supreme Court Hotel,' and the hotel also has a Carlton Draught signage atop its corner parapet. 3 Havelock Street on the other hand is an interwar era commercial building.



Figure 28. Supreme Court Hotel, 1 Havelock Street, Maryborough.

The street frontages within the precinct include awnings over the footpath, typical of commercial high streets. Awnings present within the precinct are varied in height and form and are inconsistently located along the footpaths. However, some original awnings have been retained, typically along significant commercial buildings including at the Flagstaff Hotel at 115 High Street and Brock Worrall Goods building at 60 Nolan Street. Other intact awnings include at the Victorian era building at 84 Alma Street and the interwar Lyal Eales Stores at 147 High Street. Original features typically comprise of turned timber of cast iron posts, cast iron lacework and balustrades, and bullnosed or hipped awnings.

Ground floor shopfronts of commercial buildings are also generally highly altered. Victoria era commercial buildings shopfronts have typically been less affected by alterations and have remained relatively intact. Conversely, Federation and interwar era commercial shopfronts have been more affected by alterations. Original Federation and interwar era shopfronts typically present a recessed main entrance, allowing for prominent front display windows. Original or early features include aluminium or timber fenestration to the intact shopfronts, along with tiled or stone thresholds, wall tiling, stained and leadlight glass detailing. In addition to the intact shopfronts that characterise the significant graded commercial buildings identified earlier, other intact shopfronts can be seen at the interwar Jukes Building Maryborough Auction Mart building

at 86 Nolan Street, the Victorian C. Allison building at 94 Nolan Street, the Federation Williams' Building at 102 Nolan Street and the Federation building at 98 High Street.



Figure 29. 147 High Street, Maryborough.

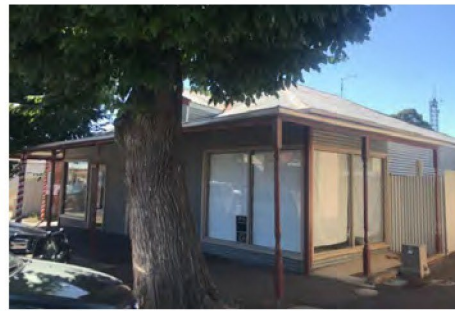


Figure 30. 84 Alma Street, Maryborough.



Figure 31. 98 High Street, Maryborough.



Figure 32. 104 High Street, Maryborough.

The Commercial Precinct also features a number of non-contributory post-war and contemporary developments. While contemporary alterations to shopfronts are common, the precinct still retains numerous significant buildings that are representative of the key phases of commercial development in Maryborough from the 1850s onwards.

Alterations and Additions

- General alterations visible to commercial shopfronts include:
 - Alterations and removal of original or early shop front awnings.
 - Alterations to original or early shop front detailing including new fenestration and removal of decorative elements.
 - Contemporary signage and advertising on awnings and mounted to facades.
 - Alterations or removal of original or element elements above awning level.
 - Some overpainting or original face brick facades and elements or introduction of contemporary colour schemes.

- Non-contributory post-war development at 55, 62, 85, 95, and 97 Nolan Street, 82 and 86 Alma Street, 41 and 58 Tuaggra Street, 77, 95, 107, 110, 147, 155A, 156, 177, and 186 High Street, and 64A and 104 Clarendon Street.
- Non-contributory contemporary development at 44, 73, 91, 98, and 105-111 Nolan Street, 54-58, 70, 72, 76 Alma Street, 72, 80, 82, 84, 86, 90, 118-124, 136, 139, 157-161, and 169 High Street, and 60, 64, and 68 Clarendon Street.
- Alterations to significant commercial buildings visible from the public domain include:
 - Major alteration to the ground level of the Victorian Italianate building at 108 High Street, Maryborough, consisting of the installation of banking infrastructure and visually invasive commercial signage. *
 - New doors added to the former AMP building, wall mounted glass advertising boards, and HVAC externally mounted to windows at 103 Nolan Street, Maryborough.
 - Minor additions including bank infrastructure, non-sympathetic awning with commercial advertising, and wall mounted commercial signage to the Victorian era building at 162 High Street, Maryborough

The Commercial Precinct is in good condition and of moderate to high integrity overall. The buildings generally consist of alterations to various extents. However, a number of significant buildings have been retained and are generally of high integrity. The commercial nature of the precinct and streetscape has been maintained, including later public domain elements such as wrought iron lamp posts.

** Denotes element that detracts from the cultural significance of the place.*

History

Historical context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinton area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 33. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. Township of Maryborough, County of Talbot. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

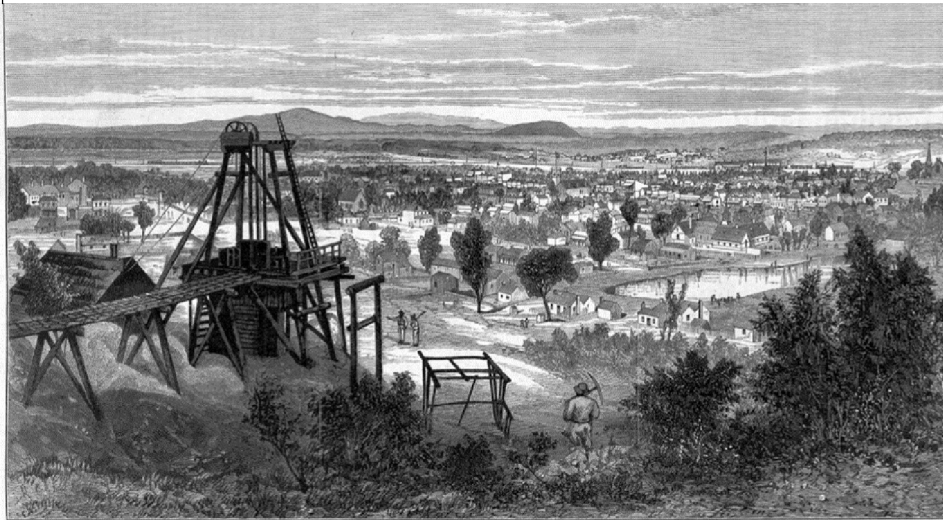


Figure 34. 1881 sketch of Maryborough township, looking south-west. Source: May, A & Alfred Martin Ebsworth. 1881. Maryborough. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The Commercial Precinct comprises a portion of the original settlement area that formed the Maryborough township following the colonial encounter with gold. Established in an ad hoc manner adjacent to the gold diggings to the south from 1854, this area initially comprised a long, unmade road characterised by an eclectic mix of stores, houses, and tents (Osborn and DuBourg 2011, 68). As described in one May 1855 account, High Street consisted of:

"... one street nearly two miles in length, and is composed of buildings of every description, from the well-finished store or public house, built of wood or iron, to the very convenient description of tents and huts... The township ... contains numerous hotels; many of them in the hands of Americans. Some of the stores are very expensive; the largest belongs to the Messrs Mitchell..." (The Argus 1855)

By the time the town was formally surveyed in December 1855, High Street was further populated with a mixture of hotels, banks, and newspaper offices (see Figure 35). The greatest concentration of commercial buildings were situated in the area between Inkerman Street and Hospital Street (now known as Tuaggra Street) that currently forms the majority of the Commercial Precinct. Early buildings erected in this area by 1855 include The Bull and Mouth Hotel at the intersection of Nolan and High Street (re-built in 1902), as well as the London Chartered Bank (now demolished) at the site of present day 122 High Street (Surveyor General's Department 1856).

Meanwhile, the area to the east currently comprising commercial buildings along Nolan Street consisted of unsurveyed land bisected by the Main Lead (Surveyor General's Department 1856) (see Figure 35).



Figure 35. 1855 survey showing Commercial Precinct area. *Source:* Surveyor General's Department. 1856. Township of Maryborough County of Talbot. Map. Historic Plan Collection VPRS8168. Public Record Office Victoria.

Further improvements to buildings were made in 1856, with some temporary sites constructed of canvas replaced with wood, iron, and glass (Osborn and DuBourg 2011, 77). However, significant improvements only took place in 1858 following a resolution by the newly formed local government that mandated all buildings along High Street be 'aligned' by 1 July 1858 (Osborn, 2011, 103). This improved the overall streetscape considerably, and at the end of 1858, land values along High Street had risen from £5 to £50 per foot (Bick and Kellaway 1992b) (see Figure 36). More commercial buildings, particularly hotels, were consequently erected throughout the 1860s, however the majority of these are no longer extant (Osborn and DuBourg 2011, 105-07).



Figure 36. c.1866 view of High Street, looking north. *Source:* Osborn, B and DuBourg, T. 2011. *Maryborough: A Social History 1854-1904*. Maryborough: Central Goldfields Shire Council.

The area continued to develop throughout the 1870s and 1880s, fuelled not only by the extension of the railway line from Castlemaine and the subsequent completion of the first Maryborough Railway Station in 1874, but also an increase in trade and industrial activities throughout the 1880s (Osborn and DuBourg 2011, 293). Nolan Street also became an extension of the town's commercial area, linking High Street with the Railway Station. Many existing buildings along High Street were replaced with highly ornate, masonry buildings designed in the Italianate style. Examples of this trend can be seen at:

- The Albion Hotel at 57 High Street (a two-storey public house designed by Charles Toutcher and built by William Simeon in 1871);
- State Savings Bank at 106 High Street (built in 1872 by the Savings Bank, replacing the more modest Levi's furniture warehouse building) (see Figure 37);

- Former Public Library Buildings at 163 High Street (an ornate brick masonry building constructed in 1880, with alterations to the facade in 1897-98, a side gable and side entry addition in the c.1950s and a rear entry porch addition in 1992) (see Figure 39);
- Supreme Court Hotel at 1 Havelock Street (constructed in 1879, with a two-storey verandah addition and first floor wing to Clarendon Street added in c.1900);
- Sutherland Chambers at 113A High Street (a highly ornate two-storey Free Classical style commercial building constructed in 1887); and
- Flagstaff Hotel at 155 High Street (a two-storey brick masonry building built in the c.1870s featuring an upper level verandah ornamented with cast iron lacework) (see Figure 38 and Figure 39).

By the early twentieth century, businesses along High Street included grocers, gold buyers, ironmongers, timber merchants, bakers, butchers, confectioners, fruit sellers, drapers, hotels, tobacconists, auction marts, horse bazaars, ice-cream manufacturers, pharmacists, coffee palaces, and even photographic gallery (Osborn and DuBourg 2011, 114). Of particular note was the Bull and Mouth Hotel at 119-125 High Street, which comprised a highly ornate Italian Renaissance style building completed in 1904 to designs by architect W. E. Gribble (Osborn and DuBourg 2011, 371). As with the ornate masonry buildings of the late nineteenth century, this building replaced a more modest Bull and Mouth Hotel building dating to the mid nineteenth century (The Ballarat Star 1904, 7).

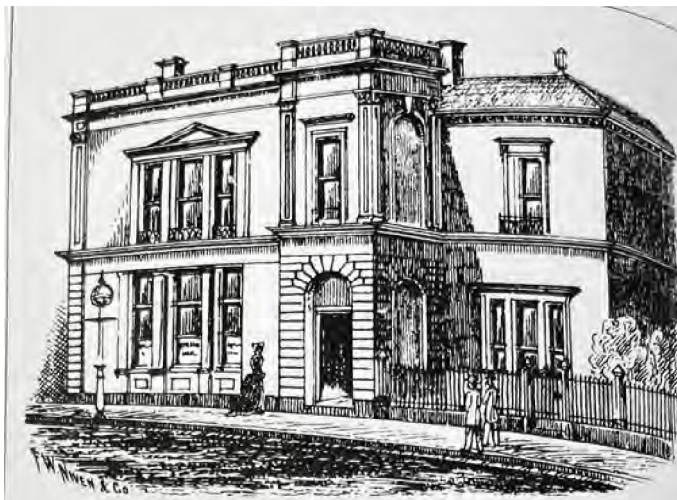


Figure 37. c.1886 view of the State Savings Bank. Source: Osborn, B and DuBourg, T. 2011. *Maryborough: A Social History 1854-1904*. Maryborough: Central Goldfields Shire Council.



Figure 38. 1897 Jubilee Day Parade. Looking south down High Street, showing the aligned building frontages along the street. Note the Flagstaff Hotel marked in blue Source: Unknown. 1897. *Jubilee Day in Maryborough, June 22, 1897*. Digitised photograph. In collection: Albumen prints. ID 1951213. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/462673>.



Figure 39. Peace Day, 19 July 1919. Looking south down High Street. Note the Former Public Library Buildings marked in red, and the Flagstaff Hotel marked in blue. Source: Osborn, B and DuBourg, T. 2011. *Maryborough: A Social History 1854-1904*. Maryborough: Central Goldfields Shire Council.

The township's growing manufacturing industry throughout the interwar period ensured the continuation of commercial development throughout the early twentieth century. The newly established Nolan Street was consequently filled out throughout the first few decades of the twentieth century. Noted extant buildings in this part of the precinct include:

- The Paramount Theatre at 56 Nolan Street (two-storey building erected in 1926 by Mr McDonald);
- The Harris Buildings at 66 Nolan Street (one-storey Federation Free Style building erected in 1922);
- The Willimas Buildings at 116 Nolan Street (a restrained one-storey Federation Free Classical building erected in 1909 and a highly ornate two-storey Federation Free Classical building erected in 1926); and
- The W. H. Ying Garage at 74 Alma Street (one storey brick building erected in 1931).

This latter building is of particular note as a garage established by mechanic Willam Henry Wong Ying, reflecting the ongoing presence of the Chinese community in the township in the post Gold Rush era.



Figure 40. 1915 view of Nolan Street. *Source:* Osborn, B. 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough, Vic.: Central Goldfields Shire Council.

The Commercial Precinct remained the commercial hub of Maryborough throughout the mid to late twentieth century. While a number of buildings have been demolished and replaced with post-war or contemporary style buildings, a substantial portion of late nineteenth and early twentieth century building stock remain. Public realm elements, including bollards and streetlamps also appear to have been added sometime after 1961. As of 2023, the precinct continues to remain in use as a central commercial area that services the local Maryborough community.



Figure 41. 1961 view of Nolan Street looking north-west from the intersection of Nolan Street and High Street. Note the Bull and Mouth Hotel to the right, the AMP building to the left. *Source:* Unknown. 1961. *Nolan Street and the Post Office, Maryborough, 1961.* In collection: John Young Collection. Victorian Places.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the development of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

The Commercial Precinct comprises a substantial and largely intact streetscape of Victorian, Federation and interwar buildings that were established in tandem with the key phases of growth and consolidation in the township of Maryborough. This is generally demonstrated in the layout High Street, which was initially developed from diggers' tracks rather than being part of a formal town survey, the scale of its ornate masonry 1870s and 1880s buildings, which coincided with the extension of the railway line and the increase in industrial activities by the late nineteenth century, as well as the concentration of interwar era buildings along Nolan Street, reflecting a renewed period of growth fueled by industrialisation. While there are other commercial areas

within the Central Goldfields Shire dating back to the Gold Rush, they are comparably smaller in scale, lack the presence of interwar commercial development, and do not feature the consistency in scales, form and setbacks that give the Commercial Precinct a clear town centre character. These include:

- **Broadway, Dunolly Area, Dunolly (located within HO205).** Broadway, Dunolly comprises a streetscape of Victorian era commercial buildings dating back to the late 1860s and 1870s. As with the Commercial Precinct, it similarly demonstrates cohesion in terms of materials, building heights and setbacks, particularly in relation to the rows of intact front verandahs supported by timber posts. The building stock is less ornate than the Commercial Precinct overall however, and features a number of residential buildings interspersed between commercial buildings.
- **Scandinavian CrescenUPrince Alfred Street, Talbot Area, Talbot (located within HO208).** Developed following the colonial counter with the Scandinavian Lead near Black Creek, the Scandinavian Crescent/Prince Alfred Street in the Talbot Area is comparable to the Commercial Precinct as a commercial area that was informally established by goldminers as a goldfields settlement. It not only shares with the Commercial Precinct similarities in terms of its curved road layout, but also features a number of ornate Italianate style buildings dating to the 1870s. While its initial developmental pattern is comparable, it is evidently smaller than the Commercial Precinct in Maryborough due to the absence of ongoing commercial development into the early twentieth century.

Commercial areas that are more comparable in size and scale are otherwise situated elsewhere in the Victorian goldfields. These include:

- **Avoca Township Precinct (HO501, Pyrenees Shire).** The Avoca Township Precinct features a mixture of commercial and residential buildings dating between the 1850s and 1930s. High Street is similarly characterised by a mixture of Victorian, Federation and interwar shops, stores, and hotel buildings, reflecting both the initial phase of development spurred by the Gold Rush, and the renewed wave in the early twentieth century following the establishment of local industries. It is overall less consistent in terms of allotment sizes and side setbacks and is also bisected by a substantial median strip.
- **Castlemaine Central Conservation Area, Castlemaine (HO667, Mount Alexander Shire).** The Castlemaine Central Conservation Area comprises a large urban centre featuring a number of high-quality building stock of stone and masonry construction. Barker Street in particular compares to the Commercial Precinct as a streetscape of commercial buildings featuring a mixture of ornate Victorian Italianate style shops, interspersed with several Federation and interwar era stores and shops. The Castlemaine Central Conservation Area is also similar in terms of degree of integrity and intactness; however, it lacks the public infrastructure that distinguishes the Commercial Precinct.

Precinct Map



Figure 42. Map showing individual property gradings within the Commercial Precinct.

Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era(s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
35 Nolan Street, Maryborough	Commercial	Contemporary	NC
38 Nolan Street, Maryborough	Commercial	Contemporary	NC
44 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
46 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
48 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
49 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
52-54 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
55 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
56 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
60 Nolan Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
62 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
66 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
68 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
73 Nolan Street, Maryborough	Commercial	Contemporary	NC
77 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
79 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
80 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
85 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
86 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
90 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
91 Nolan Street, Maryborough	Civic	Contemporary	NC
92 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
94 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
95 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
97 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
98 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
102 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
103 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	S
105-111 Nolan Street, Maryborough	Commercial	Contemporary	NC
116 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
119-125 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period /1902-c.1918)	S
54-58 Alma Street, Maryborough	Civic	Contemporary	NC
70 Alma Street, Maryborough	Commercial	Contemporary	NC
72 Alma Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
74 Alma Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
76 Alma Street, Maryborough	Commercial	Contemporary	NC
78 Alma Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
82 Alma Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
84 Alma Street, Maryborough	Commercial	Victorian Period (1851-1901)	NC
86 Alma Street, Maryborough	Residential Commercial	Post-war Period (1945-1965)	NC
39 Tuaggra Street, Maryborough	Residential	Victorian Period (1851-1901)	C
41 Tuaggra Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
54 Tuaggra Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
58 Tuaggra Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
57 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
59 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
61 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
65 High Street, Maryborough	Parking lot	Contemporary	NC
67 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
70 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
71-73 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
72 High Street, Maryborough	Commercial	Contemporary	NC
77 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
79 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
80 High Street, Maryborough	Commercial	Contemporary	NC
82 High Street, Maryborough	Commercial	Contemporary	NC
83 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
84 High Street, Maryborough	Commercial	Contemporary	NC
86 High Street, Maryborough	Commercial	Contemporary	NC
89 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
90 High Street, Maryborough	Commercial	Contemporary	NC
91 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
94 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
93-95 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
96 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
97 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
98 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
99-105 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
104 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
107 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
106 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
110 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
113A High Street, Maryborough	Commercial Residential	Victorian Period (1851-1901)	S
114 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
118-124 High Street, Maryborough	Commercial	Contemporary	NC
119-125 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	S
127 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
131 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
135 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
136 High Street, Maryborough	Commercial	Contemporary	NC
139 High Street, Maryborough	Commercial	Contemporary	NC
147 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
148-152 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
154 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
155 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
155A High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
156 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
158 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
160 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
157-161 High Street, Maryborough	Commercial	Contemporary	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
162 High Street, Maryborough	Civic	Victorian Period (1851-1901)	S
163 High Street, Maryborough	Civic	Victorian Period (1851-1901)	S
166 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
167 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
169 High Street, Maryborough	Commercial	Contemporary	NC
172 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
174 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
175 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
176 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
177 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
178-180 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
184 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
186 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
190-192 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
194 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
196-198 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
202 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
204-208 High Street, Maryborough	Commercial	Contemporary	NC
212A High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
60A Clarendon Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
60A Clarendon Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
62 Clarendon Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
64 Clarendon Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
66 Clarendon Street, Maryborough	Commercial	Contemporary	NC
82 Clarendon Street, Maryborough	Commercial	Interwar Period (c.1910- c.1940)	C
104 Clarendon Street, Maryborough	Commercial	Post-war Period (1945- 1965)	NC
1 Havelock Street, Maryborough	Commercial	Victorian Period (1851- 1901)	S
3 Havelock Street, Maryborough	Commercial	Interwar Period (c.1910- c.1940)	C

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. **All** photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 43. Interwar stained glass shopfront windows at 116 Nolan Street.



Figure 44. Ground floor shopfront at 77 Nolan Street with stained glass detailing.



Figure 45. Former Public Library building at 163 High Street (side elevation fronting Tuaggra Street).



Figure 46. Spanish Mission style Hastings Buildings at 49 Nolan Street.

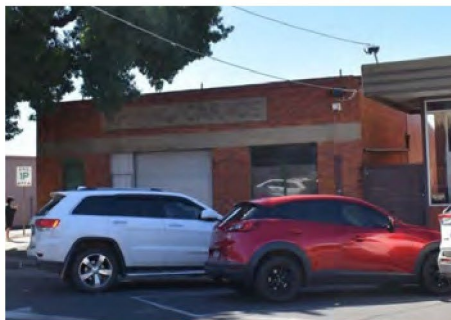


Figure 47. W. H Ying Garage and 74 Alma Street.



Figure 48. Interwar commercial building at 83 High Street.

Eastern Residential Precinct

Heritage Place: Eastern Residential Precinct

HO Reference: TBA

Date updated: 9 January 2024

Address: 4-42 & 5-37 Argyle Road, 1-5 & 8 Carrick Street, 2-12 & 3 Casey Street, 1-25 & 12-30 Fraser Street, 4-12 Golden Wattle Drive, 3-23 & 4 Higham Street, 1-31 & 4-38 Logan Street, 2-4 & 5-7 Lowenstein Street, 1-13 & 2-8 Majorca Road, 2-18 & 3-15 McKean Street, 146-220 & 153-159 Railway Street, 2-28 & 11-29 Sutton Road, Maryborough



Figure 1. View of Fraser Street, looking southeast.

Item Group: Residential Buildings

Key Theme: Building towns, cities and the garden state

Item Type: Residential Precinct

Key Sub-theme: Making regional centres

Designer: N/A

Construction: c.1875-1940s

Builder: N/A

Style: Victorian, Edwardian, Interwar and Post-war

Significance Level: Local

Controls: **Q** External paint controls

Internal alteration controls

● Tree controls

0 Included on Victorian Heritage Register

Q Incorporated Plans

● Outbuildings and fence not exempt (Fence - 4 Argyle Road; Outbuilding - 7 and 10 Lowenstein

Street and 162 Railway
Street)

- ☐ Prohibited uses may be permitted
- ☐ Aboriginal Heritage Place
- ☒ Solar energy system controls

Curtilage



Figure 2. Aerial map showing boundary of Eastern Residential Precinct.

Statement of Significance

What is significant?

The Eastern Residential Precinct, primarily comprising a large residential area along with a church and commercial shop building, bounded by Argyle Road, Carrick Street, Casey Street, Fraser Street, Golden Wattle Drive, Higham Street, Logan Street, Lowenstein Street, Majorca Road, McKean Street, Railway Street and Sutton Road, Maryborough, is locally significant.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 4 and 11 Argyle Road, Maryborough;
- 7 Lowenstein Street, Maryborough;
- 162, 208 and 210 Railway Street, Maryborough;

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotment patterns created by the nineteenth and twentieth century subdivisions;
- The Victorian-era church building, otherwise known as the former Primitive Methodist Church at 19 Argyle Road, designed in the Victorian Carpenter Gothic style and constructed of weatherboard;
- The former schoolhouse at 8 Higham Street, designed in the Edwardian style and constructed of weatherboard;
- The interwar era commercial shop at 11 Majorca Road, constructed of weatherboard and attached to the adjacent interwar era residence;
- The regularity and harmony of freestanding Victorian era residences characterised by hipped roof forms, weatherboard or face brick, verandahs, timber fretwork or cast-iron lacework, corbelled chimneys, decorative brackets and timber joinery;
- Modest weatherboard Victorian residences with interwar era alterations to verandahs including addition of masonry posts and balustrades.
- The regularity and harmony of freestanding Federation era residences characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard, verandahs with timber valences, and timber sash windows;
- Interwar era development including a mixture of California bungalow forms and Spanish Mission residences, and primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;
- Sympathetic post-war development characterised by hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. These buildings are generally

complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;

- The retention of some original and/or sympathetic low front fences of timber picket, iron palisade and brick masonry. Of particular significance is the fence at 4 Argyle Road;
- The retention of some original outbuildings. Of particular significance are the outbuildings at 7 and 10 Lowenstein Street and 162 Railway Street;
- The general uniformity of allotments, setbacks and low-scale building heights across the housing stock;
- The mature flowering gum (*Eucalyptus ficifolia*), flame tree (*Brachychiton populneus*), peppercorn (*Schinus areira*) and Chinese windmill palm (*Trachycarpus fortunei*) at 4 Argyle Road; the mature eucalypt at 7 Lowenstein Street; the Chinese windmill palm (*Trachycarpus fortunei*) at 17 Fraser Street; the peppercorn tree (*Schinus areira*) at 18 Fraser Street; the five peppercorn (*Schinus areira*) and two pomegranate (*Punica granatum*) trees at 159 Railway Street.

How is it significant?

The Eastern Residential Precinct is of local historical, representative, and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Eastern Residential Precinct is of historical significance to the township of Maryborough as a subsequent phase of the expansion of the township post the Gold Rush period in the late nineteenth and early twentieth centuries. The precinct is situated outside of the original 1850s government survey of Maryborough, to the east of the Blackmans Lead, one of the main sites of the Maryborough rushes. The building stock developed around the Maryborough Railway Station and line, after its establishment in 1874, and was constructed in distinct phases including the late Victorian period, early Federation years and interwar period as well as early post-war period. The precinct is not only characteristic of the area's growth post the initial Gold Rush period, but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries, as well as the importance of the extension of the railway line to Maryborough. (Criterion A)

The Eastern Residential Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, interwar and post-war era architectural styles. The precinct illustrates the key phase of growth of the township of Maryborough in the aftermath of the initial Gold Rush period. Collectively the buildings demonstrate cohesion in terms of form, height and materials and exhibit key architectural features of their respective styles. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard, verandahs with timber valences, and timber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting

predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in regional goldmining towns. (Criterion D)

The Eastern Residential Precinct is of aesthetic significance for the inclusion of some high-quality individual examples of Victorian, Federation and interwar era buildings that reflect the economy and development of the township from the late nineteenth century. These include the more elaborate examples of late Victorian era dwellings at 4 and 11 Argyle Road, 7 Lowenstein Street and 208 Railway Street characterised by weatherboard or brick, hipped roofs with bracketed eaves, and verandahs with timber fretwork or cast iron filligree; the interwar Spanish Mission residence at 162 Railway Street comprising a double fronted rendered brick facade with a curved corner, centred curved brick portico featuring paired Tuscan columns, wide chimney, and brick detailing; and the interwar bungalow example at 210 Railway Street with its wide gabled roof, exposed eaves, verandah supported by brick piers and expressed timber frames. The remnant original fence at 4 Argyle Road and outbuildings at 7 and 10 Lowenstein Street are also of note. The precinct includes a number of notable mature tree plantings including the mature flowering gum (*Eucalyptus ficifolia*), flame tree (*Brachychiton acerifolius*), peppercorn (*Schinus areira*) and Chinese windmill palm (*Trachycarpus fortunei*) at 4 Argyle Road; the mature eucalypt at 7 Lowenstein Street; the Chinese windmill palm (*Trachycarpus fortunei*) at 17 Fraser Street; the peppercorn tree (*Schinus areira*) at 18 Fraser Street; the five peppercorn (*Schinus areira*) and two pomegranate (*Punica granatum*) trees at 159 Railway Street. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Eastern Residential Precinct is of historical significance to the township of Maryborough as a subsequent phase of the expansion of the township post the Gold Rush period in the late nineteenth and early twentieth centuries. The precinct is situated outside of the original 1850s government survey of Maryborough, to the east of the Blackmans Lead, one of the main sites of the Maryborough rushes. The building stock developed around the Maryborough Railway Station and line, after its establishment in 1874, and was constructed in distinct phases including the late Victorian period, early Federation years and interwar period as well as early post-war period. The precinct is not only characteristic of the area's growth post the initial Gold Rush period, but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries, as well as the importance of the extension of the railway line to Maryborough.
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.



C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	<p>The Eastern Residential Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, interwar and post-war era architectural styles. The precinct illustrates the key phase of growth of the township of Maryborough in the aftermath of the initial Gold Rush period. Collectively the buildings demonstrate cohesion in terms of form, height and materials and exhibit key architectural features of their respective styles. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard, verandahs with timber valences, and timber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in regional goldmining towns.</p>
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	<p>The Eastern Residential Precinct is of aesthetic significance for the inclusion of some high-quality individual examples of Victorian, Federation and interwar era buildings that reflect the economy and development of the township from the late nineteenth century. These include the more elaborate examples of late Victorian era dwellings at 4 and 11 Argyle Road, 7 Lowenstein Street and 208 Railway Street characterised by weatherboard or brick, hipped roofs with bracketed eaves, and verandahs with timber fretwork or cast iron filligree; the interwar Spanish Mission residence at 162 Railway Street comprising a double fronted rendered brick facade with a curved corner, centred curved brick portico featuring paired Tuscan columns, wide chimney, and brick detailing; and the interwar bungalow examples at 210 Railway Street with</p>

		its wide gabled roof, exposed eaves, verandah supported by brick piers and expressed timber frames. The remnant original fence at 4 Argyle Road and outbuildings at 7 and 10 Lowenstein Street are also of note. The precinct includes a number of notable mature tree plantings including the mature flowering gum (<i>Eucalyptus ficifolia</i>), flame tree (<i>Brachychiton acerifolius</i>), peppercorn (<i>Schinus areira</i>) and Chinese windmill palm (<i>Trachycarpus fortunei</i>) at 4 Argyle Road; the mature eucalypt at 7 Lowenstein Street; the Chinese windmill palm (<i>Trachycarpus fortunei</i>) at 17 Fraser Street; the peppercorn tree (<i>Schinus areira</i>) at 18 Fraser Street; the five peppercorn (<i>Schinus areira</i>) and two pomegranate (<i>Punica granatum</i>) trees at 159 Railway Street.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Eastern Residential Precinct comprises a triangular extent of land located to the east of the Maryborough railway line. The precinct is generally bounded by Railway Street, Golden Wattle Drive, the railway line to the west, Gilles Street to the east, and Lowenstein Street to the north. The precinct is bisected by Rogers Street, Majorca Road, Carrick Street, Higham Street, Argyle Road, Fraser Street, Sutton Street, Casey Street, McKean Street and Logan Street. Additional cross laneways within the precinct include Logan Lane, Higham Lane, Gilles Lane, and Sutton Lane.

The predominantly residential precinct includes the Fraser Street Playground and is located in close proximity to other open public spaces including the Jack Pascoe Reserve to the east and the Gilles Street Childrens Playground to the south. Non-residential buildings within the precinct include the church hall at 19 Argyle Road and commercial shop at 11 Majorca Road. The church hall comprises a Victorian Carpenter Gothic style building presenting a simple open gable form and massing, clad with weatherboard, and featuring gothic arched fenestration. The shop at 11 Majorca Street comprises a simple weatherboard structure with a front verandah dating to the

Federation period. It is attached to an interwar era residence designed in the functionalist style with a stepped form, expressed chimneys, balustrade, and portico entrance.



Figure 3. Shop and residence at 11 Majorca Street, Maryborough.



Figure 4. Church hall at 19 Argyle Road, Maryborough.

The Eastern Residential Precinct presents a consistent collection of Victorian, Federation, and interwar era residences, with little variation between residences of a similar era. Additionally, residences across the three identified periods predominantly comprise of single-storey weatherboard construction. Victorian residences in the precinct are typically single fronted symmetrical or double fronted weatherboard cottages with front verandahs and are relatively simple with minimal applied detailing. Federation and interwar era residences are typically double fronted and of weatherboard or brick construction with brick balustrades to the front faades.

The precinct presents a collection of largely identical Federation and interwar era double fronted weatherboard residences with an open gable, front porch, and skillion awning across the faade. Standard in form and materiality, the unifying features can be observed in the front porches which comprise rendered masonry with a varied collection of detailing including fluted rectilinear or rounded columns above the brick posts, expressed panels (some with lettering), and half-timbered gable with lattice or shingles.



Figure 5. 190 Railway Street, Maryborough.



Figure 6. 19 Logan Street, Maryborough.



Figure 7. 23 Argyle Road, Maryborough.



Figure 8. 29 Argyle Road, Maryborough.

Railway Street forms the western boundary of the precinct, running parallel to the rail corridor. Victorian era residences are located at 153, 159, 164, 176, 180, 194, 202, 204, 206, and 208 Railway Street. Federation residences are located at 150, 170, 172 (original dwelling), 182, 184, 198, and 200 Railway Street and interwar era residences are located at 146, 152, 154, 155, 156, 158, 162, 166, 172 (later alterations), 178, 188, 190, 210 and 220 Railway Street.

A substantial Victorian residence is located at 208 Railway Street comprising a single fronted symmetrical weatherboard cottage. Its strong symmetry is emphasised by the intact chimneys, fenestration, and bullnosed verandah with a centred gable pitch to the main entrance. The verandah awning is supported on four, equally spaced wide rendered brick posts which are likely an early twentieth century addition. The residence is also more ornately detailed than other Victorian cottages with its shaped valance and strapwork to the awning, and the panelled and bracketed cornice.

Notable interwar era residences include the double fronted, rendered brick bungalow with a curved corner, centred curved brick portico featuring paired Tuscan columns, a wide chimney, and brick detailing at 162 Railway Street. Another substantial bungalow is located at 210 Railway Street and comprises a cross gable face red brick form with prominent half-limbered gable bays, verandah with brick piers, and double hung sash windows with expressed timber frames and scalloped lintel detailing. The high-pitched roof is clad with Marseilles tiles, squat chimneys, a wide overhang, and exposed rafter eaves.



Figure 9. 208 Railway Street, Maryborough.



Figure 10. 162 Railway Street, Maryborough.



Figure 11. 158 Railway Street, Maryborough.



Figure 12. 210 Railway Street, Maryborough.

Majorca Road bisects the precinct connecting it to the town on the western side of the railway via the level crossing at Inkerman Street. Interwar era residences form the main group of residences along Majorca Street. Victorian era residences are located at 6 and 8 Majorca Road, with Federation era residences at 9 and 11 (original residence) Majorca Road, and interwar era residences at 1, 2, 3, 4 and 13 Majorca Road. An interwar era shop is located at 11 Majorca Road, attached to the adjacent 13 Majorca Road residence. 2 Majorca Road is an intact dwelling and comprises an asymmetrically arranged weatherboard bungalow featuring a double gable facade with wide, arched openings to the front porch, and a bay window.



Figure 13. 2 Majorca Road, Maryborough.

Logan Street extends north between Majorca Road and Higham Street. The southern extent of Logan Street presents a group of relatively similar and modest Federation and interwar era weatherboard residences. The northern half of Logan Street presents more Victorian era cottages. Victorian era residences are located at 5, 11, 12, 13, 17, 23, 28, 29, 30, 34 and 38 Logan Street. Federation era residences are located at 3, 21, 27 and 31 Logan Street and interwar era residences at 1, 6, 7, 8, 9, 10, 15, 18, 19, 24, 25, and 32 Logan Street.

Substantial residences include the Victorian cottage at 11 Logan Street comprising a single fronted and symmetrical weatherboard residence. It is notable for its shaped timber fretwork, valance, and strapwork to its front awning, supported on an interwar era brick balustrade addition. 10 Logan Street comprises a double fronted, gabled interwar bungalow. It is clad with fibro and includes a skillion awning across the front facade, supported on brick piers and timber posts, with shaped arched valances and fronted by a sympathetic timber picket fence.



Figure 14. 11 Logan Street, Maryborough.



Figure 15. 10 Logan Street, Maryborough.

The housing stock along Higham Street mostly comprises of Victorian era residences along its western extent comprising 3, 4, 7, and 9 Higham Street. Federation era residences are located at 5, 19 and 21 Higham Street and interwar era residences are predominantly located along the eastern half of the street at 13 and 23 Higham Street.

Argyle Road runs parallel to Higham Street and mostly comprises of a mix of Victorian and interwar era residences. Victorian residences are located at 4, 5, 7, 10, 11, 13, 14, 19, 20 (original residence), 24, 30, 35, 36, and 42 Argyle Road. Interwar era residences are located at 16, 18, 20 (later alterations), 23, 27, 29, and 33 Argyle Road while Federation era residences at 6, 17, 26, 28, 31, 37, and 40 Argyle Road.

The Victorian villa at 4 Argyle Street is significant. It comprises a single fronted brick villa with a hipped roof, corbelled chimneys, bracketed eaves, verandah with cast iron lacework, dichromatic brickwork quoining, and intact fenestration. It is set on a large corner allotment set with mature trees and an intact front fence comprising a rusticated stone base with piers with a hipped cap and palisade fence.

Other Victorian residences are located at 4, 11, 31 and 33 (original residence) Argyle Road. 33 Argyle Road comprises a double fronted weatherboard interwar bungalow adapted from an earlier Victorian residence. It features a half-timbered shingled gable, expressed face brick chimneys, skillion awning across the front facade with brick piers and paired timber posts.



Figure 16. 4 Argyle Road, Maryborough.



Figure 17. 11 Argyle Road, Maryborough.



Figure 18. 40 Argyle Road, Maryborough.



Figure 19. 33 Argyle Road, Maryborough.

Majority of the dwellings along McKean Street are non-contributory post-war and contemporary residences with a Victorian era residence at 6 McKean Street, a Federation era residence at 15 McKean Street and an interwar era residence at 16 McKean Street. 16 McKean Street is a

double fronted weatherboard bungalow with a half-timbered gable, skillion awning across the facade supported on squat posts and fluted columns with a sympathetic front picket fence.

The housing stock along Sutton Road includes Victorian era residences at 17, 22, 24 and 26 Sutton Road and a Federation residence at 14 Sutton Road. The street predominantly comprises interwar era residences which are located at 11, 13, 15, 20, 28, and 29 Sutton Road. The residences at 13 and 15 Sutton Road are similar to other Federation and interwar residences found throughout the precinct featuring gabled bays, and skillion awnings supported on fluted columns. Other intact residences include the interwar double fronted brick residence with arched fenestration to the brick porch at 20 Sutton Road and the ornate Victorian era villa at 24 Sutton Road.



Figure 20. 16 McKean Street, Maryborough.



Figure 21. 13 Sutton Road, Maryborough.



Figure 22. 15 Sutton Road, Maryborough.



Figure 23. 20 Sutton Road, Maryborough.



Figure 24. 24 Sutton Road, Maryborough.

The housing stock along Fraser Street is largely representative of the Victorian era. These residences are located at 9, 12, 13, 15, 17, 18, and 23 Fraser Street. The interwar era residences are located at 21 and 26 Fraser Street with a Federation era residence at 30 Fraser Street. Intact residences include the Victorian cottage at 9, 17 and 18 Fraser Street. 18 Fraser Street is notable for its rammed earth structure and mature peppercorn trees beside the main cottage.



Figure 25. 9 Fraser Street, Maryborough.



Figure 26. 17 Fraser Street, Maryborough.



Figure 27. 18 Fraser Street, Maryborough.



Figure 28. Rammed earth structure at 18 Fraser Street, Maryborough.

Residences along Casey Street, Golden Wattle Drive, and Lowenstein Street form the northern extent of the precinct, north of Sutton Road. Casey Street includes Victorian residences at 4, 8 and 12 Casey Street, Federation era residences at 2 Casey Street, and interwar residences at 3, 6 and 10 Casey Street. Golden Wattle Drive includes two Victorian residences at 8 and 12 and an interwar era residence at 4 Golden Wattle Drive. Lowenstein Street includes Victorian residences at 7 Lowenstein Street and an interwar residence at 4 Lowenstein Street.

The dwelling at 7 Lowenstein Street is a substantial and significant example of a Victorian weatherboard villa featuring a symmetrical form and facade, intact chimneys, ornate cast iron lacework and cornice detailing.



Figure 29. 8 Golden Wattle Drive, Maryborough.



Figure 30. 7 Lowenstein Street, Maryborough.

Early post-war era residences are also dotted throughout the precinct. They are typically characterised by weatherboard cladding, hipped roofs, stepped form and often with a balcony and narrow rectangular brick chimney block. These residences are located at 12, 15, 22, and 25 Argyle Road, 5 Carrick Street, 19 and 24 Fraser Street, 5 Lowenstein Street, 2 and 4 McKean Street, 186 Railway Street, 6 and 10 Sutton Road,

Residences within the precinct are largely modest in form and applied detailing suggesting a historical working-class demographic of the area. The variety of residences is also represented in the inconsistent setbacks along the streetscape. Sympathetic front fences and walls typically consist of timber picket fences to Victorian and early Federation era residences and low brick fences to Federation and interwar era residences. Notable examples include 4 Argyle Road. Front fences within the precinct are largely altered with numerous non-sympathetic additions, along with side or front carport or garages that are highly visible from the public domain.

Non-contributory residences including post-war austerity and contemporary residences are interspersed throughout the precinct. Also interspersed throughout the precinct are non-contributory period residences affected by non-sympathetic alterations and additions.

Alterations and Additions

- Residences generally include rear single storey extensions to various extents which are typically not visible from the public domain unless located on a corner allotment.
- Residences include side or rear garage and carport additions with varied visibility from the public domain including at 3, 23, 26 and 32 Argyle Road, 12 Golden Wattle Drive, 5, 7, and 21 Higham Street, 3 Majorca Road, 198 Railway Street and 32 Sutton Road.
- Solar panel addition visible from the public domain at 16 Argyle Road, 6 and 14 Higham Street, 168, 190 and 208 Railway Street.
- Some non-contributory alterations to otherwise contributory residences including but not limited to the removal of original detailing, contemporary fenestration, new paint schemes, addition of unsympathetic front fences or walls.
- Post-war infill development at 32 Argyle Road, 3 Fraser Street, 15, and 17 Higham Street, 4, 14, 16, and 36 Logan Street, 2 Lowenstein Street, 7 Majorca Road, 18 McKean Street, 160, 168, 174 and 212 Railway Street, 4, 16, 18, 19, 21, and 23 Sutton Road.
- Contemporary infill development at 8, 21 and 34 Argyle Road, 1, 7, 11 and 28 Fraser Street, 6 Golden Wattle Drive, 11 Higham Street, 22 and 26 Logan Street, 8, 9, 11 and 13-13A McKean Street, 192 and 196 Railway Street, 2 and 25 Sutton Road.
- New concrete slab and awning to the front of the commercial shop at 11 Majorca Road.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 31. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

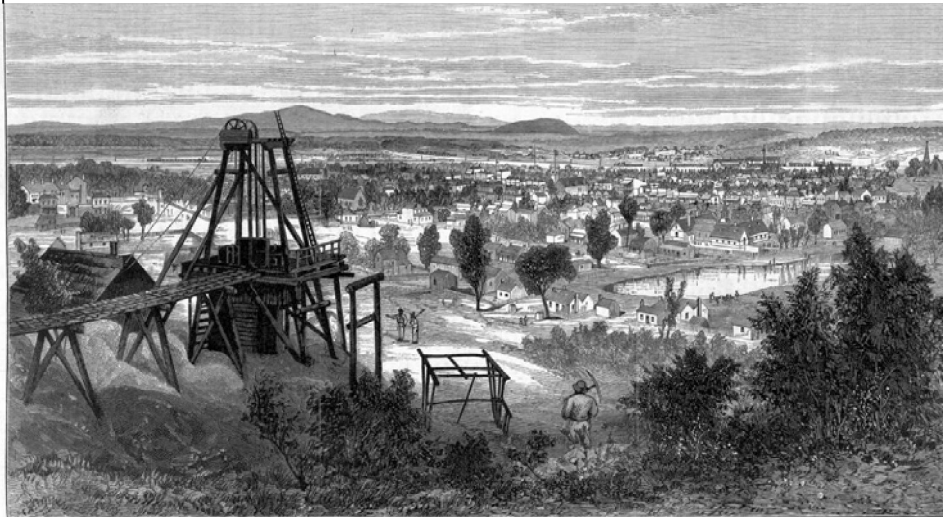


Figure 32. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The Eastern Residential Precinct lies to the east of Blackmans Lead, one of the major sites used for mining operations during the Victorian Gold Rush (Figure 33). The area did not form part of the original 1850s township subdivision and was most likely used by gold seekers for their respective mining operations. The precinct area remained unsurveyed and was eventually subdivided into Crown Allotments 430, 480, 50B, 50C, 500 and 58C, towards the late nineteenth century as Maryborough established itself as a permanent township (Figure 34).



Figure 33. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing the Blackman Lead and approximate location of Eastern Residential Precinct. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FEB86214FD5?image=1>.

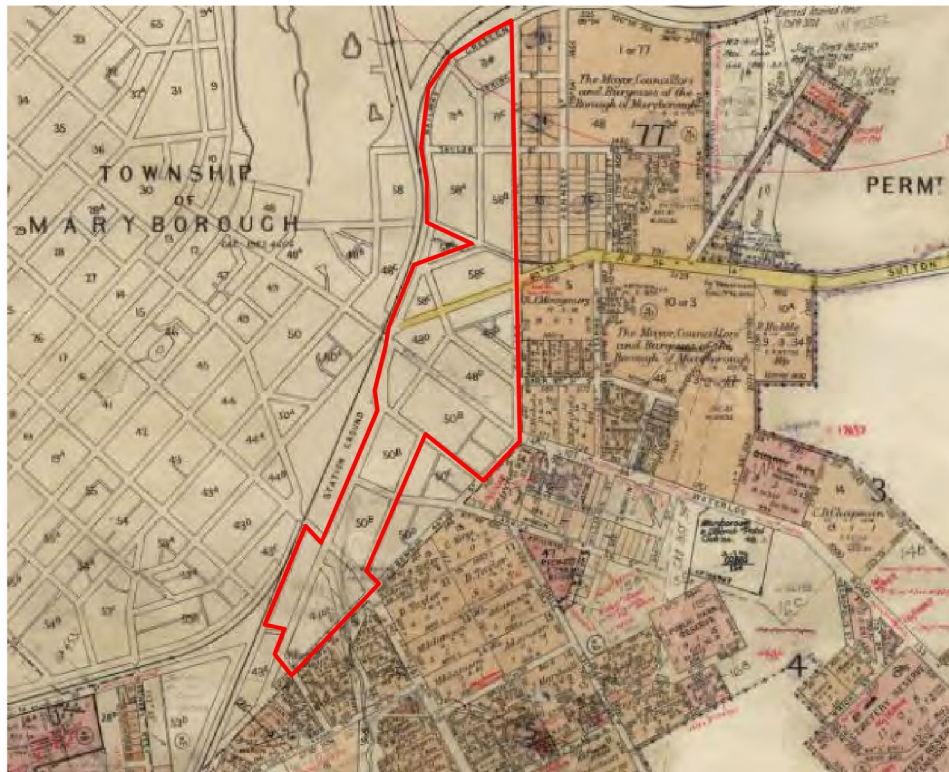


Figure 34. Extract from 1962 map showing the approximate curtilage of the Eastern Residential Precinct, outlined in red. *Source:* Department of Lands and Survey. 1962. *Maryborough Sheet 4*. Parish plan. Regional Land Office Parish and Township Plans Digitised Reference Set VPRS 16171/P0001/6. Public Records Office Victoria. <https://mapwarper PROV.VIC.GOV.AU/maps/2367>.

The Railway Station and the railway link to Castlemaine were established in 1874 (Beck et al. 1992). The area to the east of the station developed after its establishment. As with the remainder of the township, the building stock comprised typically standard sized, modest nineteenth and early twentieth century residences, interspersed with the odd, much larger, and costlier dwelling (Beck et al. 1992).

The former Primitive Methodist Church building was constructed in 1876 in Napier Street and moved to its current location at 19 Argyle Road in 1903-04. The Victorian weatherboard structure is one of a small number of nineteenth century Methodist churches surviving in Victoria (Beck et al. 1992). It was used as a Methodist Church parish post its relocation.

The house at 4 Argyle Road was constructed in 1892 for stonemason John Gwilym. Gwilym owned a business on the other side of the railway line and build the house during the boom period of the late nineteenth century. By 1928, the house was owned by Amy Gwilym. The substantial weatherboard residences at 11 Argyle Road and 7 Lowenstein Street were

constructed c. 1893 and c. 1900 respectively. They form part of the small group of houses that are grander than their standard, flat front, minimally ornamented counterparts.

By the early twentieth century, a number of new businesses and industrial complexes were established east of the railway (Beck et al. 1992). Many of the private residences in earlier years were built for successful business and professional men and local tradesmen. The post 1916 era was an important one for the construction of private residences in Maryborough, particularly during the 1920s and 1930s, as residences were built for new social groups moving into town, such as factory managers in new local industries that were set up (Beck et al. 1992).

The significant interwar era residences located at 162 and 210 Railway Street were constructed c.1940 and c.1920-30 respectively. The abovementioned houses facing Railway Street including 4 Argyle Road shows the longstanding desirability of Railway Street owing to its prime location opposite the Maryborough Railway Station.

The precinct also includes a commercial shop at 11 Majorca Road. The shop is attached to the adjacent residence at 13 Majorca Road and was most likely built during the Federation era however its exact construction date is not known. The shop at one point operated as a milk bar with its owners residing next door (Gazette General 1978, 43). Today the precinct is still predominantly residential with the exception of the church and shop buildings.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centres throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

With streetscapes primarily comprised of a mixture of post-1890s Victorian and early twentieth century Federation and interwar era houses, the Eastern Residential Precinct illustrates the steady residential growth in Maryborough as the economy transitioned from goldmining to manufacturing. In addition to the few comparable residential areas on the Heritage Overlay that are located within Maryborough, the Eastern Residential Precinct is also analogous to several extant late nineteenth and early twentieth residential precincts situated within the aforementioned goldfields towns outside of the municipality. As with examples in Maryborough, late nineteenth and early twentieth century residential areas in these goldfield towns are similarly characterised by rows of freestanding, modestly scaled weatherboard and brick residences set on generous allotments located outside of the boundaries of the original township. This character parallels with historical developmental patterns associated with the

Gold Rush and its aftermath. In the absence of comparable mid-scale goldfields towns and heritage places within the Central Goldfields Shire that are outside of Maryborough, these precincts provide a supplementary benchmark to substantiate the relative significance of the Eastern Residential Precinct.

Comparable examples include:

Palmerston Street Precinct, Maryborough (Central Goldfields Shire HO TBC).

Palmerston Street Precinct comprises a predominantly residential area featuring streetscapes of freestanding, single-storey properties constructed between c.1870 and c.1940. Although the area east of Palmerston Street forms part of the original township subdivision, and as a result comprises several earlier properties dating to c.1870s, the area nevertheless compares as a group of modestly scaled Victorian, Federation, and interwar era properties with sympathetic post-war era development. Both precincts exhibit similar materials, scale, detailing and form despite variation in setbacks, styles and typology. Key comparative features include the incorporation of front verandahs, hipped or gabled roof forms generally clad with corrugated metal, weatherboard and timber materials, the modest application of ornamentation, and generous front and side setbacks. The Eastern Residential Precinct is overall a more modest precinct owing to its working-class history. It includes a modest church building, as opposed to the more impressive church and school building in Palmerston Street Precinct, along with a small commercial shop.

- **Western Residential Precinct, Maryborough (Central Goldfields Shire HO TBC).** The Western Residential Precinct, located to the west of the Maryborough railway, comprises a predominantly residential area featuring streetscapes of freestanding, single-storey Victorian, Federation and interwar era residences. Similar to the Eastern Residential Precinct, it lies completely outside the original township subdivision and is comparable in terms of its materials, scale, detailing, form, and typology despite variation in setbacks and styles. Key comparative features include the incorporation of front verandahs, hipped or gabled roof forms generally clad with corrugated metal, weatherboard and timber materials, the modest application of ornamentation, and generous front and side setbacks. Given its location further away from the centre of town and its working-class character, the Eastern Residential Precinct displays fewer individual examples of distinctly affluent residences. Both precincts however demonstrate the post Gold Rush development of the Maryborough township.
- **Camp Reserve and Environs, Castlemaine (HO668, Mount Alexander Shire).** The Camp Reserve and Environs is also a large residential area located next to a railway line that most likely influenced its development. It is characterised by a mixture of substantially intact, modestly scaled Victorian, Federation and interwar residences set on generously sized allotments. Although distinct in terms of its rising slopes and curvilinear road layouts, it nevertheless shares with the Eastern Residential Precinct consistencies in scale, setbacks, materials and forms, such as hipped and gabled roofs generally clad with corrugated metal, profiled chimneys, brick and timber materials, sash windows and a predominance of front verandahs. As with the Eastern Residential Precinct, the residential allotments do not form part of the original township boundary and were instead gradually established following the subdivision of the 1851 Commissioner's Camp, which formerly served as the administrative



centre for all of the Central Victorian goldfields. The precinct retains several mid-nineteenth century buildings dating from its use as a Camp Reserve.

The Eastern Residential Precinct is a large collection of Victorian, Federation and interwar era buildings interspersed with sympathetic early post-war residences. Given the above comparative analysis, the precinct compares well in terms of variation in styles and typologies exhibited but is overall a more modest, less intact precinct. The precinct however demonstrates the expansion of Maryborough township prompted by the initial Gold Rush period and the subsequent development of the Maryborough railway. It comprises an eclectic mix of buildings that largely include modest built forms, representative of the working-class character of the area, along with a few grand residences.

Precinct Map



Figure 35. Map showing individual property gradings within the Eastern Residential Precinct.

Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era(s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
4 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	S
5 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
7 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Argyle Road, Maryborough	Residential	Contemporary	NC
10 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	S
12 Aravle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
13 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
14 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
16 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
17 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
18 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
19 Aravle Road, Maryborough	Religious	Victorian Period (1851-1901)	C
20 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901) Interwar Period (c.1910-c.1940)	C
21 Argyle Road, Maryborough	Residential	Contemporary	NC
22 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
23 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
24 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
25 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
26 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
27 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
29 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
32 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
33 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Argyle Road, Maryborough	Residential	Contemporary	NC
35 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
36 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
40 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
42 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
1 Carrick Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Carrick Street, Maryborough	Residential	Victorian Period (1851-1901)	C
5 Carrick Street, Maryborough	Residential	Post-War Period (1945-1965)	C
8 Carrick Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
2 Casey Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
3 Casey Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
4 Casey Street, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Casey Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Casey Street, Maryborough	Residential	Victorian Period (1851-1901)	C
10 Casey Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
12 Casey Street, Maryborough	Residential	Victorian Period (1851-1901)	C
1 Fraser Street, Maryborough	Residential	Contemporary	NC
3 Fraser Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
7 Fraser Street, Maryborough	Residential	Contemporary	NC
9 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
11 Fraser Street, Maryborough	Residential	Contemporary	NC
12 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
13 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Fraser Street, Maryborough	Residential	Post-War Period (1945-1965)	C
21 Fraser Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
23 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
24 Fraser Street, Maryborough	Residential	Post-War Period (1945-1965)	C
25 Fraser Street, Maryborough	Park	-	C
26 Fraser Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
28 Fraser Street, Maryborough	Residential	Contemporary	NC
30 Fraser Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
4 Golden Wattle Drive, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
6 Golden Wattle Drive, Maryborough	Residential	Contemporary	NC
8 Golden Wattle Drive, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Golden Wattle Drive, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
4 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
5 Higham Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
7 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Higham Street, Maryborough	Residential	Contemporary	NC
13 Higham Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
15 Higham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
17 Higham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Higham Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
21 Higham Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
23 Higham Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
1 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
3 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
4 Logan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
5 Loaan Street, Marvborouah	Residential	Victorian Period (1851-1901)	C
6 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
7 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
9 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
10 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
11 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Logan Street, Marvborough	Residential	Victorian Period (1851-1901)	C
13 Loaan Street, Marvborouah	Residential	Victorian Period (1851-1901)	C
14 Loqan Street, Marvborough	Residential	Post-War Period (1945-1965)	NC
15 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Logan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
17 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
19 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
21 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
22 Logan Street, Maryborough	Residential	Contemporary	NC
23 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
24 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
25 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Logan Street, Maryborough	Residential	Contemporary	NC
27 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
28 Loaan Street, Marvborouah	Residential	Victorian Period (1851-1901)	C
29 Loqan Street, Marvborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
30 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
32 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Looan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
36 Logan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
38 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
2 Lowenstein Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
4 Lowenstein Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
5 Lowenstein Street, Maryborough	Residential	Post-War Period (1945-1965)	C
7 Lowenstein Street, Maryborough	Residential	Victorian Period (1851-1901)	S
1 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
2 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
3 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
4 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
5 Majorca Road, Maryborough	Empty block	N/A	NC
6 Majorca Road, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Majorca Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
8 Majorca Road, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Majorca Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
11 Majorca Road, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
13 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
2 McKean Street, Maryborough	Residential	Post-War Period (1945-1965)	C
3 McKean Street, Maryborough	Empty block	N/A	NC
4 McKean Street, Maryborough	Residential	Post-War Period (1945-1965)	C
5 McKean Street, Maryborough	Empty block	N/A	NC
6 McKean Street, Maryborough	Residential	Victorian Period (1851-1901)	C
7 McKean Street, Maryborough	Empty block	N/A	NC
8 McKean Street, Maryborough	Residential	Contemporary	NC
9 McKean Street, Maryborough	Residential	Contemporary	NC
11 McKean Street, Maryborough	Residential	Contemporary	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
13-13A McKean Street, Maryborough	Residential	Contemporary	NC
15 McKean Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
16 McKean Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
18 McKean Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
146 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
150 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
152 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
153 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
154 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
155 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
156 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
158 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
159 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
160 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
162 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	S
164 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
166 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
168 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
170 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
172 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918) Interwar Period (c.1910- c.1940)	C
174 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
176 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
178 Railway Street, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
180 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
182 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918}	C
184 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
186 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	C
188 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
190 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
192 Railway Street, Maryborough	Residential	Contemporary	NC
194 Railwat Street, Marlborough	Residential	Victorian Period (1851-1901)	C
196 Railway Street, Maryborough	Residential	Contemporary	NC
198 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918}	C
200 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
202 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
204 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
206 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
208 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	S
210 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
212 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
218 Railway Street, Maryborough	Empty block	N/A	NC
220 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	NC
2 Sutton Road, Maryborough	Residential	Contemporary	NC
4 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
6 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	C
10 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	C
11 Sutton Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
13 Sutton Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Sutton Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
15 Sutton Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
17 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
18 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
20 Sutton Road, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
21 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
22 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C
25 Sutton Road, Maryborough	Residential	Contemporary	NC
26 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Sutton Road, Maryborough	Residential	Contemporary	NC
28 Sutton Road, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C
29 Sutton Road, Maryborough	Residential	Interwar Period (c.1910- c.1940)	C

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The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 36. 4 Argyle Road, Maryborough.



Figure 37. 5 Argyle Road, Maryborough.



Figure 38. 6 Argyle Road, Maryborough.



Figure 39. 7 Argyle Road, Maryborough.



Figure 40. 8 Argyle Road, Maryborough.



Figure 41. 10 Argyle Road, Maryborough.



Figure 42. 11 Argyle Road, Maryborough.



Figure 43. 12 Argyle Road, Maryborough.



Figure 44. 13 Argyle Road, Maryborough.



Figure 45. 14 Argyle Road, Maryborough.



Figure 46. 15 Argyle Road, Maryborough.



Figure 47. 16 Argyle Road, Maryborough.



Figure 48. 17 Argyle Road, Maryborough.



Figure 49. 18 Argyle Road, Maryborough.



Figure 50. 19 Argyle Road, Maryborough.



Figure 51. 20 Argyle Road, Maryborough.



Figure 52. 21 Argyle Road, Maryborough.



Figure 53. 22 Argyle Road, Maryborough.



Figure 54. 23 Argyle Road, Maryborough.



Figure 55. 24 Argyle Road, Maryborough.



Figure 56. 25 Argyle Road, Maryborough.



Figure 57. 26 Argyle Road, Maryborough.



Figure 58. 27 Argyle Road, Maryborough.



Figure 59. 28 Argyle Road, Maryborough.



Figure 60. 29 Argyle Road, Maryborough.



Figure 61. 30 Argyle Road, Maryborough.



Figure 62. 31 Argyle Road, Maryborough.



Figure 63. 32 Argyle Road, Maryborough.



Figure 64. 33 Argyle Road, Maryborough.



Figure 65. 34 Argyle Road, Maryborough.



Figure 66. 35 Argyle Road, Maryborough.



Figure 67. 36 Argyle Road, Maryborough.



Figure 68. 37 Argyle Road, Maryborough.



Figure 69. 40 Argyle Road, Maryborough.



Figure 70. 42 Argyle Road, Maryborough.



Figure 71. 5 Carrick Street, Maryborough.



Figure 72. 2 Casey Street, Maryborough.



Figure 73. 3 Casey Street, Maryborough.



Figure 74. 4 Casey Street, Maryborough.



Figure 75. 6 Casey Street, Maryborough.



Figure 76. 8 Casey Street, Maryborough.



Figure 77. 10 Casey Street, Maryborough.



Figure 78. 12 Casey Street, Maryborough.



Figure 79. 1 Fraser Street, Maryborough.



Figure 80. 7 Fraser Street, Maryborough.



Figure 81. 9 Fraser Street, Maryborough.



Figure 82. 11 Fraser Street, Maryborough.



Figure 83. 12 Fraser Street, Maryborough.



Figure 84. 13 Fraser Street, Maryborough.



Figure 85. 15 Fraser Street, Maryborough.



Figure 86. 17 Fraser Street, Maryborough.



Figure 87. 18 Fraser Street, Maryborough.



Figure 88. 19 Fraser Street, Maryborough.



Figure 89. 21 Fraser Street, Maryborough.



Figure 90. 23 Fraser Street, Maryborough.



Figure 91. 24 Fraser Street, Maryborough.



Figure 92. 25 Fraser Street, Maryborough.



Figure 93. 26 Fraser Street, Maryborough.



Figure 94. 28 Fraser Street, Maryborough.



Figure 95. 30 Fraser Street, Maryborough.



Figure 96. 4 Golden Wattle Drive, Maryborough.



Figure 97. 6 Golden Wattle Drive, Maryborough.



Figure 93. 26 Fraser Street, Maryborough.



Figure 94. 28 Fraser Street, Maryborough.



Figure 95. 30 Fraser Street, Maryborough.



Figure 96. 4 Golden Wattle Drive, Maryborough.



Figure 97. 6 Golden Wattle Drive, Maryborough.



Figure 98. 8 Golden Wattle Drive, Maryborough.



Figure 99. 12 Golden Wattle Drive, Maryborough.



Figure 100. 3 Higham Street, Maryborough.



Figure 101. 4 Higham Street, Maryborough.



Figure 102. 5 Higham Street, Maryborough.



Figure 103. 7 Higham Street, Maryborough.



Figure 104. 9 Higham Street, Maryborough.



Figure 105. 11 Higham Street, Maryborough.



Figure 106. 13 Higham Street, Maryborough.



Figure 107. 15 Higham Street, Maryborough.



Figure 108. 17 Higham Street, Maryborough.



Figure 109. 19 Higham Street, Maryborough.



Figure 110. 21 Higham Street, Maryborough.



Figure 111. 23 Higham Street, Maryborough.



Figure 112. 1 Logan Street, Maryborough.



Figure 113. 3 Logan Street, Maryborough.



Figure 114. 4 Logan Street, Maryborough.



Figure 115. 5 Logan Street, Maryborough.



Figure 116. 6 Logan Street, Maryborough.



Figure 117. 7 Logan Street, Maryborough.



Figure 118. 8 Logan Street, Maryborough.



Figure 119. 9 Logan Street, Maryborough.



Figure 120. 10 Logan Street, Maryborough.



Figure 121. 11 Logan Street, Maryborough.



Figure 122. 12 Logan Street, Maryborough.



Figure 123. 13 Logan Street, Maryborough.



Figure 124. 14 Logan Street, Maryborough.



Figure 125. 15 Logan Street, Maryborough.



Figure 126. 16 Logan Street, Maryborough.



Figure 127. 17 Logan Street, Maryborough.



Figure 128. 18 Logan Street, Maryborough.



Figure 129. 19 Logan Street, Maryborough.



Figure 130. 21 Logan Street, Maryborough.



Figure 131. 22 Logan Street, Maryborough.



Figure 132. 23 Logan Street, Maryborough.



Figure 133. 24 Logan Street, Maryborough.



Figure 134. 25 Logan Street, Maryborough.



Figure 135. 26 Logan Street, Maryborough.



Figure 136. 27 Logan Street, Maryborough.



Figure 137. 28 Logan Street, Maryborough.



Figure 138. 29 Logan Street, Maryborough.



Figure 139. 30 Logan Street, Maryborough.



Figure 140. 31 Logan Street, Maryborough.



Figure 141. 32 Logan Street, Maryborough.



Figure 142. 34 Logan Street, Maryborough.



Figure 143. 36 Logan Street, Maryborough.



Figure 144. 38 Logan Street, Maryborough.



Figure 145. 2 Lowenstein Street, Maryborough.



Figure 146. 4 Lowenstein Street, Maryborough.



Figure 147. 5 Lowenstein Street, Maryborough.



Figure 148. 7 Lowenstein Street, Maryborough.



Figure 149. 1 Majorca Road, Maryborough.



Figure 150. 2 Majorca Road, Maryborough.



Figure 151. 3 Majorca Road, Maryborough.



Figure 152. 4 Majorca Road, Maryborough.



Figure 153. 6 Majorca Road, Maryborough.



Figure 154. 7 Majorca Road, Maryborough.



Figure 155. 8 Majorca Road, Maryborough.



Figure 156. 9 Majorca Road, Maryborough.



Figure 157. 11 Majorca Road, Maryborough.



Figure 158. 13 Majorca Road, Maryborough.



Figure 159. 2 McKean Street, Maryborough.



Figure 160. 6 McKean Street, Maryborough.



Figure 161. 9-11 McKean Street, Maryborough.



Figure 162. 13-13A McKean Street, Maryborough.



Figure 163. 15 McKean Street, Maryborough.



Figure 164. 16 McKean Street, Maryborough.



Figure 165. 18 McKean Street, Maryborough.



Figure 166. 146 Railway Street, Maryborough.



Figure 167. 150 Railway Street, Maryborough.



Figure 168. 152 Railway Street, Maryborough.



Figure 169. 153 Railway Street, Maryborough.



Figure 170. 154 Railway Street, Maryborough.



Figure 171. 155 Railway Street, Maryborough.



Figure 172. 156 Railway Street, Maryborough.



Figure 173. 158 Railway Street, Maryborough.



Figure 174. 159 Railway Street, Maryborough.



Figure 175. 160 Railway Street, Maryborough.



Figure 176. 162 Railway Street, Maryborough.



Figure 177. 164 Railway Street, Maryborough.



Figure 178. 166 Railway Street, Maryborough.



Figure 179. 168 Railway Street, Maryborough.



Figure 180. 170 Railway Street, Maryborough.



Figure 181. 172 Railway Street, Maryborough.



Figure 182. 174 Railway Street, Maryborough.



Figure 183. 176 Railway Street, Maryborough.



Figure 184. 178 Railway Street, Maryborough.



Figure 185. 180 Railway Street, Maryborough.



Figure 186. 182 Railway Street, Maryborough.



Figure 187. 184 Railway Street, Maryborough.



Figure 188. 186 Railway Street, Maryborough.



Figure 189. 188 Railway Street, Maryborough.



Figure 190. 190 Railway Street, Maryborough.



Figure 191. 192 Railway Street, Maryborough.



Figure 192. 194 Railway Street, Maryborough.



Figure 193. 196 Railway Street, Maryborough.



Figure 194. 198 Railway Street, Maryborough.



Figure 195. 200 Railway Street, Maryborough.



Figure 196. 202 Railway Street, Maryborough.



Figure 197. 204 Railway Street, Maryborough.



Figure 198. 206 Railway Street, Maryborough.



Figure 199. 208 Railway Street, Maryborough.



Figure 200. 210 Railway Street, Maryborough.



Figure 201. 212 Railway Street, Maryborough.



Figure 202. 220 Railway Street, Maryborough.



Figure 203. 2 Sutton Road, Maryborough.



Figure 204. 4 Sutton Road, Maryborough.



Figure 205. 6 Sutton Road, Maryborough.



Figure 206. 10 Sutton Road, Maryborough.



Figure 207. 11 Sutton Road, Maryborough.



Figure 208. 13 Sutton Road, Maryborough.



Figure 209. 14 Sutton Road, Maryborough.



Figure 210. 15 Sutton Road, Maryborough.



Figure 211. 16 Sutton Road, Maryborough.



Figure 212. 17 Sutton Road, Maryborough.



Figure 213. 18 Sutton Road, Maryborough.



Figure 214. 19 Sutton Road, Maryborough.



Figure 215. 20 Sutton Road, Maryborough.



Figure 216. 21 Sutton Road, Maryborough.



Figure 217. 22 Sutton Road, Maryborough.



Figure 218. 23 Sutton Road, Maryborough.



Figure 219. 24 Sutton Road, Maryborough.



Figure 220. 25 Sutton Road, Maryborough.



Figure 221. 26 Sutton Road, Maryborough.



Figure 222. 27 Sutton Road, Maryborough.



Figure 223. 28 Sutton Road, Maryborough.



Figure 224. 29 Sutton Road, Maryborough.

Former Gaol Precinct

Heritage Place: Former Gaol Precinct

HO Reference: TBA

Date updated: 9 January 2024

Address: 18-30 Goldsmith Street, 5-17 Peel Street, 21-35 & 24-36 Barkly Street, 92-102 Inkerman Street, Maryborough



Figure 1. Former Gaol, looking northwest on Inkerman Street.

Item Group: Law Enforcement & Residential Buildings

Key Theme: Building towns, cities and the garden state

Item Type: Gaol/Lock-up & Residential Precinct

Key Sub-theme: Making regional centres

Designer: Unknown

Construction: 1880s-1952

Builder: Unknown

Style: Victorian (Italianate), Interwar (Arts and Crafts, Bungalow, Old English, Spanish Mission), Post-war (Streamline Moderne)

Significance Level: Local

Controls:	0	External paint controls	0	Internal alteration controls	0	Tree controls
	0	Included on Victorian Heritage Register	0	Incorporated Plans	0	Outbuildings and fence not exempt
	0	Prohibited uses may be permitted	0	Aboriginal Heritage Place	0	Solar energy system controls

Curtilage



Figure 2. Aerial map showing boundary of Former Gaol Precinct.

Statement of Significance

What is significant?

The Former Gaol Precinct, generally bounded by Goldsmith Street, Peel Street, Raglan Street, and Inkerman Street, and comprising a series of residential properties, along with remnant buildings of the former Maryborough Gaol, is locally significant. The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 94 Inkerman Street, Maryborough;
- 96 Inkerman Street, Maryborough;
- 20 Goldsmith Street, Maryborough;
- 21 Barkly Street, Maryborough; and
- 25 Barkly Street, Maryborough

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- Wide, open streetscapes with concrete kerbing, footpaths and crossovers;
- Expansive front setbacks with landscaped front lawns and gardens;
- Highly intact residences including hipped, gabled, or parapeted roof forms featuring slate or terracotta Cordova tiling, and detailing such as face brick chimneys shaped timber elements such as brackets, finials and bargeboards, cast iron lacework, half-timbered open-gable detailing, exposed masonry fenestration detailing, and shaped gable parapets with arched openings;
- The general uniformity of building setbacks and heights;
- Original or sympathetic front fences of timber or masonry construction, including 21 Barkly Street, 23 Barkly Street, 25 Barkly Street, 31 Barkly Street, 35 Barkly Street, 17 Peel Street and 26 Barkly Street. Of specific significance is the bluestone and sandstone brick fence 100 Inkerman Street, constructed with stone from the former Gaol;
- The predominance of eclectic interwar styles, including Bungalow, Arts and Crafts, Spanish Mission and Old English, illustrating the development of the precinct following the subdivision of the Gaol grounds in the early twentieth century, as well as the stylistic eclecticism of the 1930s period;
- High quality 1930s residences along Barkly Street which comprise the township's only row of 1930s dwellings, illustrating the period of homebuilding in the early 1930s as a result of economic prosperity stemming from industrialisation;
- The use of building materials derived from the former Maryborough Gaol buildings in the construction of the 1930s residences, as is the case at 25 Barkly Street;
- Remnant Victorian era development opposite the former Maryborough Gaol at 92 Inkerman Street, illustrating earlier nineteenth century development in the area;
- The visually prominent remnant buildings associated with the Former Maryborough Gaol, including the front offices and quarters buildings at 94 and 96 Inkerman Street; and
- The Streamline Moderne style residence at 20 Goldsmith Street (including its substantial allotment and grounds) as one of the few examples within Maryborough.

How is it significant?

The Former Gaol Precinct is of local historical and aesthetic significance to the Central Victorian Goldfields.

Why is it significant?

The Former Gaol Precinct is historically significant for its association with the Former Maryborough Gaol, a large complex of bluestone buildings that was established in 1861 on the town's foothills following campaigning from the Maryborough community and the newly formed Maryborough Town Council. The establishment of the Gaol is indicative of the size and status of the town during the Gold Rush, and also forms part of a larger phase of prison construction in regional Victoria during the mid nineteenth century. The remnant front offices and quarters buildings not only form a tangible link to Maryborough's role in Victoria's penal system, but also provides insight into the administration of the penal system during the 1860s. (Criterion A)

The Former Gaol Precinct is historically significant as an intact collection of high-quality residences primarily constructed during the interwar period following the closure of the Former Maryborough Gaol in 1914. Predominantly developed during the early 1930s during a period of homebuilding stemming from industrialisation, these houses not only illustrate the town's continued prosperity in the aftermath of the Gold Rush, but also the success of its emergent manufacturing sector as the economy transitioned away from goldmining. The remnant Victorian residence at 92 Inkerman Street as an example of earlier nineteenth century development in the area prior to the closure of the Maryborough Gaol. (Criterion A)

The Former Gaol Precinct is of aesthetic significance as an intact group of high-quality and visually cohesive interwar residences, interspersed with sympathetic Victorian style development. Although primarily designed a mixture of eclectic interwar styles, including Arts and Crafts, Spanish Mission and Old English, homogeneity is achieved through shared or related architectural elements and proportions, such as hipped or gabled roof forms, brick masonry or weatherboard construction, uniform setbacks and heights, timber or brick front fences, grouped timber framed stained glass windows, verandahs supported by masonry piers, prominent arches and gables ornamented with face brick detailing or half-timbering. The 1952 Streamline Moderne residence at 20 Goldsmith Street also contributes to the precinct's aesthetic significance as a visually discernible example of a Moderne style residence set on a substantial allotment. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history.</i>	The Former Gaol Precinct is historically significant for its association with the Former Maryborough Gaol, a large complex of bluestone buildings that was established in 1861 on the town's foothills following campaigning from the Maryborough community and the newly formed Maryborough Town Council. The establishment of the Gaol is indicative of the size and status of the town during the Gold Rush, and also forms oart of a laraer
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		<p>phase of prison construction in regional Victoria during the mid nineteenth century. The remnant front offices and quarters buildings not only form a tangible link to Maryborough's role in Victoria's penal system, but also provides insight into the administration of the penal system during the 1860s.</p> <p>The Former Gaol Precinct is historically significant as an intact collection of high-quality residences primarily constructed during the interwar period following the closure of the Former Maryborough Gaol in 1914. Predominantly developed during the early 1930s during a period of homebuilding stemming from industrialisation, these houses not only illustrate the town's continued prosperity in the aftermath of the Gold Rush, but also the success of its emergent manufacturing sector as the economy transitioned away from goldmining. The remnant Victorian residence at 92 Inkerman Street as an example of earlier nineteenth century development in the area prior to the closure of the Maryborough Gaol.</p>
<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history.</i>	This place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history.</i>	This place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments.</i>	This place does not meet this criterion.
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics.</i>	<p>The Former Gaol Precinct is of aesthetic significance as an intact group of high-quality and visually cohesive interwar residences, interspersed with sympathetic Victorian style development. Although primarily designed a mixture of eclectic interwar styles, including Arts and Crafts, Spanish Mission and Old English, homogeneity is achieved through shared or related architectural elements and proportions, such as hipped or gabled roof forms, brick masonry or weatherboard construction, uniform setbacks and heights, timber or brick front fences, arched timber framed stained glass</p>

		windows, verandahs supported by masonry piers, prominent arches and gables ornamented with face brick detailing or half-timbering. The 1952 Streamline Moderne residence at 20 Goldsmith Street also contributes to the precinct's aesthetic significance as a visually discernible example of a Moderne style residence set on a substantial allotment.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period.</i>	This place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions.</i>	This place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	This place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Former Gaol Precinct occupies a rectangular extent of land and is bounded by Goldsmith Street to the northwest, Peel Street to the northeast, Inkerman Street to the southwest, and the rear of the properties along the south-eastern side of Barkly Street. Old Gaol Lane, Goldsmith Lane and Peel Lane dissect the area in addition to Barkly Street. The residential precinct largely occupies land formerly part of the Maryborough Gaol that operated from 1861 to 1914. Following the closure of the Gaol, subdivision and development of the land resulting in the present housing stock comprises largely of Interwar residences. The precinct is characterised with a wide, open streetscape and nature strips with concrete kerbing, footpaths, and crossovers. The nature strips are generally planted with a variety of interspersed street trees.



Figure 3. View northeast along Inkerman Street, Maryborough.



Figure 4. View southwest along Barkly Street, Maryborough.

Victorian style residences are situated on allotments to the southwestern side of the precinct. This includes 18 Goldsmith Street and 92 and 102 Inkerman Street. The residences present a simple, single fronted and single storey weatherboard clad residence with a symmetrically arranged front facade and a hipped roof. Other features characteristic of the style includes a return verandah, timber sash windows, face brick chimneys positioned symmetrically, shaped timber elements such as brackets, finials and bargeboards, and cast-iron lacework. With the exception of 92 Inkerman Street however, these residences were constructed during the interwar period and do not comprise original examples of early Victorian era dwellings.

94 and 96 Inkerman Street consists of the remaining Offices and Quarter's building which flanked the original entrance to the former Maryborough Gaol. The two storey masonry structures present a square massing, symmetrical single fronted facade, and hipped roof with slate tiles. The two structures are mostly identical except 94 includes a centred main entrance fronting Inkerman Street, while the front facade of 96 only consists of windows. The structures are finished with a harling with exposed stone blockwork to the base course and quoining. The timber sash windows, and main entrance door are also dressed with stone on the front facade.

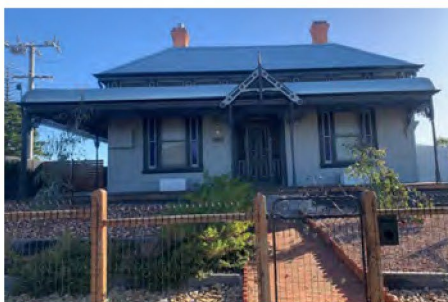


Figure 5. 92 Inkerman Street, Maryborough.



Figure 6. 102 Inkerman Street, Maryborough.

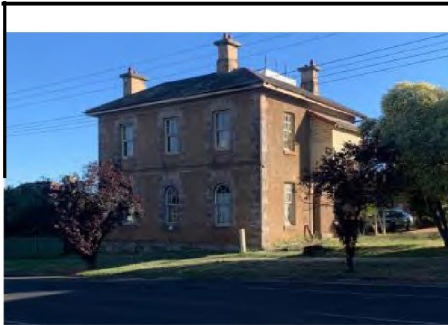


Figure 7. Former Maryborough Gaol building at 96 Inkerman Street, Maryborough.

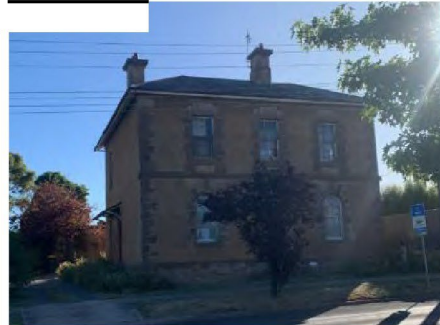


Figure 8. Former Maryborough Gaol building at 94 Inkerman Street, Maryborough.

Early Federation era residences within the precinct can be observed at 98 Inkerman Street, and 9, 11, 13, 15 and 17 Peel Street. Residences typically present open gable forms clad with weatherboard, sash window banks, timber shingle, and half-timbered detailing.



Figure 9. 17 Peel Street, Maryborough.



Figure 10. 9 Peel Street, Maryborough.

Interwar era residences with Arts and Crafts influences can be observed 23, 25, 26, 29 and 35 Barkly Street, presenting a layered open gable front facade, half-timbered gables, with a detailed use of render and exposed masonry to highlight fenestrations.



Figure 11. 26 Barkly Street, Maryborough.



Figure 12. 23 Barkly Street, Maryborough.



Figure 13. 29 Barkly Street, Maryborough.



Figure 14. 35 Barkly Street, Maryborough.

A residence with notable features along Inkerman Street can be observed at the Interwar Arts and Crafts style residence at 100 Inkerman Street for its use of bluestone and sandstone blocks in the front wall, likely constructed from material from the former gaol. The residence also includes a rear bluestone rubble open gable structure, likely formerly used as stables, accessible off Old Gaol Lane.



Figure 15. Bluestone rubble shed at the rear of 100 Inkerman Street as seen from the backyard of 98 Inkerman Street, Maryborough. *Source:* Realestate au.

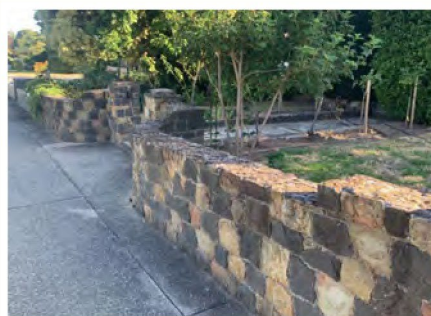


Figure 16. Bluestone and sandstone block front wall at 100 Inkerman Street, Maryborough.

<https://www.realestate.com.au/property/98-inkerman-st-maryborough-vic-3465>

Other notable Interwar era residences include Spanish Mission style residences at 21 and 31 Barkly Street and 5 Peel Street and an Interwar Moderne style residence at 20 Goldsmith Street. The Spanish Mission style is defined through the distinctly shaped gable parapet with arched openings and barley twist columns. Other characteristic elements of the style visible within the precinct include the use of roughcast render, terracotta Cordova tiles and sash windows. 20 Goldsmith Street represents the only Interwar Moderne example within the precinct. Set on a large block, the residence is defined through its form consisting of curved walls and windows with a flat parapet. Subtle detailing further accentuates the horizontal massing. The use of face blond brick at 20 Goldsmith Street, is atypical to the Moderne style.



Figure 17. 21 Barkly Street, Maryborough.



Figure 18. Archdale, 5 Peel Street, Maryborough.



Figure 19. 20 Goldsmith Street, Maryborough.



Figure 20. 20 Goldsmith Street, Maryborough.
Source: Google Maps, 2023.

The housing stock within the Precinct presents a diverse group of single-storey Interwar and Federation/Edwardian era residences, representing the development of the area following the closure and progressive demolition of the former Maryborough Gaol. Residences largely present a cohesive single storey form with hipped or gable roofs with varied detailing representative of the various stylistic trends of the period. Residences within the precinct generally present varied setbacks with low front fences or open front yards. Sympathetic front

fences and walls typically consist of low brick walls to Interwar era residences and timber picket fences to Victorian and early Federation era residences.

There is minimal incursion of non-contributory Post-war austerity and contemporary residences. There are also limited examples of second storey, front garage, and carport additions that detract from the overall presentation of the precinct.

Alterations and Additions

- Non-contributory front wall or fence addition at 102 Inkerman Street.
- Non-contributory garage or carport visible along the front facade at 15 Peel Street 36 Barkly Street.
- Non-contributory rear extensions or second storey additions visible from the public domain at 7, 13 and 17 Peel Street, 92 and 98 Inkerman Street.
- Solar panels added to the front roof face at 18 Goldsmith Street and 98 Inkerman Street.
- Contemporary residential development at 30 Goldsmith Street.
- Non-contributory Post-war residential development at 36 Barkly Street and 24 Goldsmith Street.

History

Historical context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 21. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

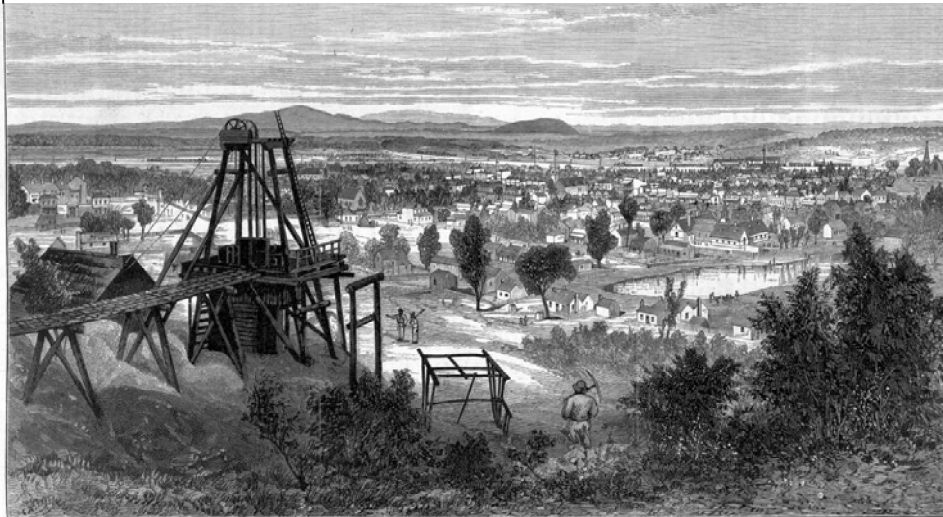


Figure 22. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. NS22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The Former Gaol Precinct is situated on land further north-west of the original 1855 colonial settlement area in Maryborough (Gilks 1856). Located adjacent to the designated Police Reserve and Market Reserve, the area, partially elevated on a hill, was designated as a site for the proposed Maryborough Gaol following lobbying by both the community and the newly formed Maryborough Town Council in 1858 (Osborn and DuBourg 2011, 96; *The Age* 1858, 4; *The Age* 1859, 5; *Maryborough and Dunolly Advertiser* 1859, 2). Construction took place between 1859 and 1860 on 6.25 acres of land bounded by Inkerman, Goldsmith, Peel and Barkly Streets at a cost of £21,000 (*Mount Alexander Mail* 1859, 5). It was subsequently opened in 1861 and the complex consisted of a

"massive bluestone building, just over the brow of the hill, to the left of the camp is the gaol itself, and forms a conspicuous object on approaching the township from almost any direction. It is oblong, and of considerable height, having the ground floor divided into compartments of cells of various sizes, storerooms..." (*Maryborough and Dunolly Advertiser* 1860, 2).

The gaol was used not only to detain prisoners across the northwestern region, but also to house the destitute, old, physically handicapped, homeless, or the severely ill (Osborn, 2004, 10-12). Although considered an improvement from the existing Maryborough lock-up and lauded in one 1862 newspaper account for its "effectual safe-keeping, no less than for the care of their health and even comfort to a certain degree", the complex was nonetheless designed to punish and restrain prisoners (*Maryborough and Dunolly Advertiser* 1862, 2).

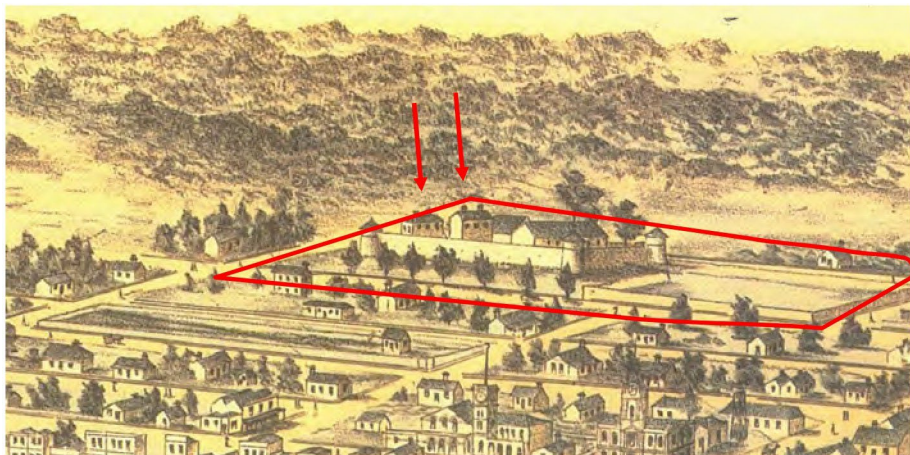


Figure 23. Extract of 1886 lithograph showing the former Maryborough Gaol complex. The extant buildings at 94 and 96 Inkerman Street are demarcated by arrows. The approximate extent of the Former Gaol Precinct is demarcated in red. Inkerman Street is at the left-hand side of the box. *Source:* Niven, F. W. c.1886. *View of Maryborough, Victoria, Australia*. Lithograph. In CGSC Art Gallery. Central Goldfields Shire.



Figure 24. c.1866 photograph showing the Maryborough Gaol. *Source:* Unknown. c.1866. *H.M. Gaol, Maryboro*. Photograph: albumen silver, 22.5 x 28 cm. State Library of Victoria.
<https://www.slv.vic.gov.au/pictoria/qid/slv-pic-aab35031>.

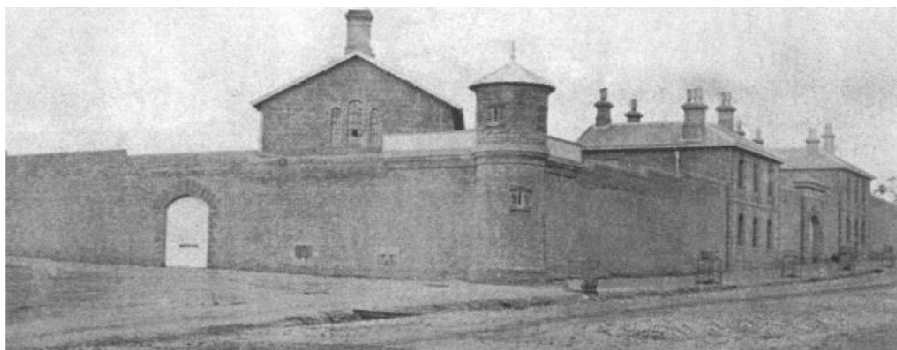


Figure 25. Late 1860s view of the Maryborough Gaol from Inkerman Street. *Source:* Osborn, B. 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough, Vic.: Central Goldfields Shire Council.

As conditions for the destitute improved, dependency on the gaol as a poorhouse decreased, resulting in its closure and the subsequent housing development on the site. The development of several courthouses by the late nineteenth century also diminished the importance of the Gaol, and the buildings had become run down by 1900 (Osborn and DuBourg 2011, 309). From 1902, the Maryborough Gaol was used as a police lock-up, and by 1905, the building was described as a "veritable monument of uselessness" located on the outskirts of town (Osborn 1995, 2). Land to the east of the buildings within the gaol complex, along with land opposite the complex fronting Barkly Street, appears to have been subdivided shortly after (Bick et al. 1992) (Figure 26). However, only several of the vacant allotments along the southern Barkly Street allotments were developed upon (see Figure 27).

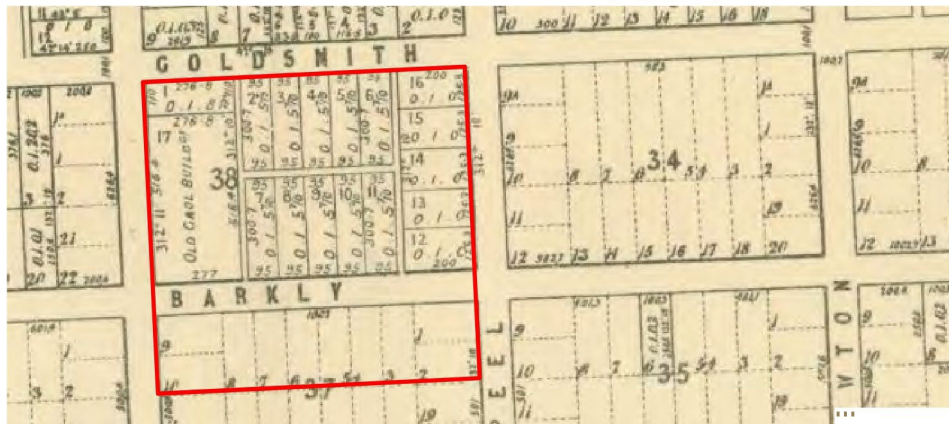


Figure 26. 1905 allotment plan showing the Former Gaol Precinct outlined in red. Note the subdivided land to the east of the 'Old Gaol Buildings'. *Source:* Department of Crown Lands and Survey. 1905. *Parish of Maryborough, County of Talbot.* Map, 57 x 69 cm. Maps Collection. State Library of Victoria.

Meanwhile, the buildings themselves remained in situ until they were formally closed in 1914, which saw all buildings with the exception of two front offices and quarters buildings progressively demolished throughout the 1910s and 1920s. Stone from the gaol was used to build the High School in 1915 and then the Pioneer Memorial Tower in 1932-33 (Osborn, 2004, 10-12). The stone was also used for the foundations of several houses, including 36 Nolan Street (Maryborough Midlands Historical Society). Despite the earlier proposed 1902 subdivision on land east of the buildings, the area was not developed upon until the 1930s when it was finally opened for the private development (see Figure 27). Several residences were however erected on the allotments along Barkly Street opposite the gaol complex by the 1920s (Figure 27).



Figure 27. c.1925 photograph showing the Maryborough Gaol Complex outlined in red. Note Gaol land to the east that has yet to be developed upon, and the Victorian era house at 92 Inkerman Street marked with a red arrow. *Source:* Pratt, Charles Daniel. c.1925. *Country town, possibly Maryborough,*

Victoria. Negative, 10.0 x 12.5 cm. In collection: Airspy collection of aerial photographs. ID 1653861. State Library of Victoria.

Following the provision of private development on the site of the former Gaol, freestanding residences were erected throughout the 1930s, with several substantial villas erected by 1932 (Osborn, 2004, 10-12). With the exception of the earlier Victorian residence at 92 Inkerman Street, existing residences along the southern side of Barkly Street were also replaced with interwar dwellings. By this period, the land bounded by present day Goldsmith Street, Old Gaol Lane, Barkly Street, and Inkerman Street had also been subdivided around the surviving front offices and quarters buildings (see Figure 28).

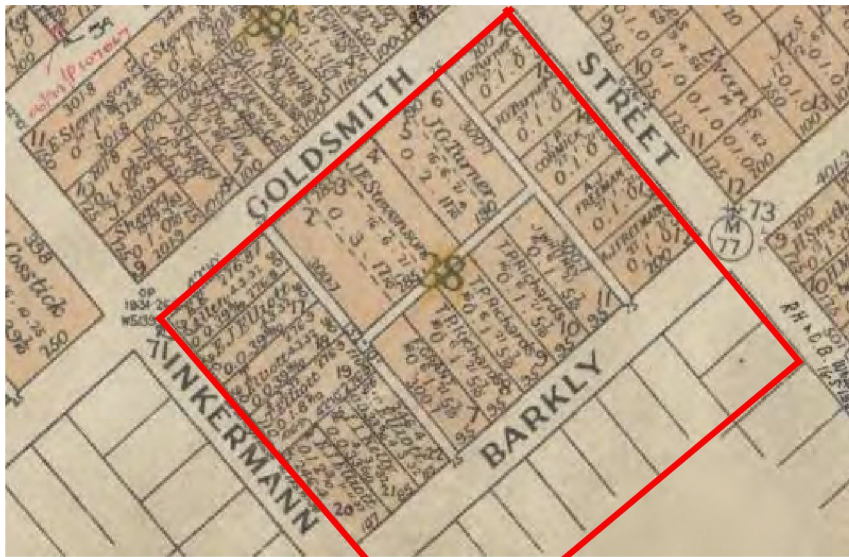


Figure 28. 1948 township plan showing the Former Gaol Precinct outlined in red. Source: Department of Lands and Survey. 1948. *Township of Maryborough - Parish of Maryborough - Country of Talbot*. Map. In collection: Regional Land Office Parish and Township Plans Digitised Reference Set. VPRS16171. Public Record Office Victoria.

These newly established houses consisted of a mixture of timber and brick masonry interwar dwellings designed in the Bungalow, Arts and Crafts and Old English styles. The style and scale of these early 1930s houses not only reflected the stylistic eclecticism of the period, but also a renewed period of home building in the following the economic prosperity stemming from industrialisation.

The first to be completed was bookmaker Tom Elliott's Arts and Crafts style residence at 25 Barkly Street (Osborn, 2004, 10-12; Maryborough Advertiser 1932). Notably, it featured bluestone and timber materials derived from the demolished Gaol buildings (Osborn, 2004, 10-12; Maryborough Advertiser 1932). Elliot would also oversee the development of the Spanish Mission style villa at 21 Barkly Street (Maryborough Advertiser 1932). Other buildings of note include the Streamline Moderne style residence and associated allotment at 20 Goldsmith Street, which constructed in 1952 following J.E. Stevenson's consolidation of three allotments

(see Figure 28). The anachronistic application of the Streamline Moderne style in this instance, typical of the 1930s, represents the continuation of building styles in country towns after they had lost their popularity within the city of Melbourne and other state capitals. While a number of buildings along the southern side of Barkly Street been demolished and replaced with post-war austerity or contemporary style buildings, the majority of the interwar housing stock survive intact. As of 2023, these houses continue to remain in use as private residences.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

With streetscapes primarily characterised by stylistically eclectic interwar era houses, the Former Gaol Precinct comprises a distinct residential era that illustrates the proliferation of housing in the early 1930s following industrialisation. The precinct's developmental history, resulting from the closure of the Maryborough Gaol and subsequent subdivision, is unusual within Maryborough and the surrounding townships, with comparable residential examples typically consisting of more modest interwar houses interspersed between earlier Victorian and Federation era dwellings. While there are no directly comparable precincts in terms of this development history, there are residential areas subject to the Heritage Overlay within Maryborough that compare with the Former Gaol Precinct in other ways.

Comparable examples include:

- **Raglan Street Precinct, Maryborough (Central Goldfields Shire HO TBC).** Raglan Street Precinct comprises a small residential area of properties constructed between c.1860s and 1930s. It is comparable as a cohesive group of freestanding, predominantly modest scale, Victorian, Federation, and interwar residences, interspersed with some post-war infill development, of brick or weatherboard construction. Although it was subdivided earlier than the Former Gaol Precinct, it compares in terms of visual consistency stemming from consistent setbacks, materials, scale, detailing and form despite variation in styles and typology.
- **Palmerston Street Precinct, Maryborough (Central Goldfields Shire HO TBC).** Palmerston Street Precinct comprises a residential area featuring streetscapes of freestanding, single-storey properties constructed between c.1870 and c.1940. Although the Palmerston Street Precinct lacks the development history of the Former Gaol Precinct, and is of a much larger scale, the two precincts bear similarities in terms of form, massing,

materiality, siting, and arrangement. Both precincts present a significant number of interwar era houses and are comparable as a group of modestly scaled Victorian, Federation, and interwar era properties with consistent setbacks, materials, scale, detailing and form.

- **Camp Reserve and Environs, Castlemaine (H0668, Mount Alexander Shire).** The Camp Reserve and Environs compares as a large residential area characterised by a mixture of substantially intact, modestly scaled Victorian, Federation and interwar residences set on generously sized allotments. As with the above examples, its housing stock is more diverse owing to the layers of residential development dating back to the mid nineteenth century. Nevertheless, there are several interwar examples, while generally more modest **in** terms of ornamentation, that compare in terms of intactness, style, materials, and scale.

Precinct Map



Grading Table

" S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era/s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
92 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
94 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	S
96 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	S
98 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period /1902-c.1918\	C
100 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C (residence), S (fence)
102 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940\	S
23 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940\	C
24 Barkly Street, Maryborough	Residential	Contemporary	NC
25 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
26 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
27 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
29 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940\	C
31 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940\	C
32 Barkly Street, Maryborough	Residential	Contemporary	NC
33 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
34 Barkly Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
35 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
36 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
18 Goldsmith Street, Maryborough	Residential	Victorian Period (1851-1901)	C
20 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940) Built in 1952	S
24 Goldsmith Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
26 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
5 Peel Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
7 Peel Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
9 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
11 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
13 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
15 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
17 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

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The Argus (Melbourne).

The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.

All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 30. View of 21 Barkly Street, from Inkerman Street.



Figure 31. Looking toward Inkerman Street from the intersection of Barkly and Inkerman Street.



Figure 32. 25 Barkly Street, Maryborough.



Figure 33. Detail view of bluestone base at 25 Barkly Street, Maryborough derived from the former Maryborough Gaol buildings.

Palmerston Street Precinct

Heritage Place: Palmerston Street Precinct

HO Reference: TBA

Date updated: 9 January 2024

Address: 1-21 & 6-18 Dundas Road, 91-109 Clarendon Street, 1-7 & 6-10 Nightingale Street, 1-37 & 6-28 Newton Street, 1-15 & 2-10 Wills Street, 53-75 & 52-78 Barkly Street, 61-71A & 60-62 Raglan Street, 37-69 & 40-62 Palmerston Street, Maryborough



Figure 1. View of Nightingale Street, looking north-west.

Item Group: Residential Buildings

Key Theme: Building towns, cities and the garden state

Item Type: Residential Precinct

Key Sub-theme: Living in country towns

Designer: N/A

Construction: c.1870-c.1940

Builder: N/A

Style: Victorian, Edwardian, Interwar and Postwar

Significance Level: Local

Controls: **Q** External paint controls

Internal alteration controls



Tree controls (mature Canary Island Palms (*Phoenix canariensis*) at 97 Clarendon Street, 37 and 41 Palmertson Street, and 3 and 11 Dundas Road and the Mexican Hawthorn tree

			(<i>Crataegus stipulacea</i>) at 42 Palmerston Street.
<input type="radio"/> Included on Victorian Heritage Register	<input type="radio"/> Incorporated Plans	<input checked="" type="radio"/>	Outbuildings and fence not exempt (Fence – 44 Palmerston Street & 61 Raglan Street)
<input type="radio"/> Prohibited uses may be permitted	<input type="radio"/> Aboriginal Heritage Place	<input checked="" type="radio"/>	Solar energy system controls

Curtilage

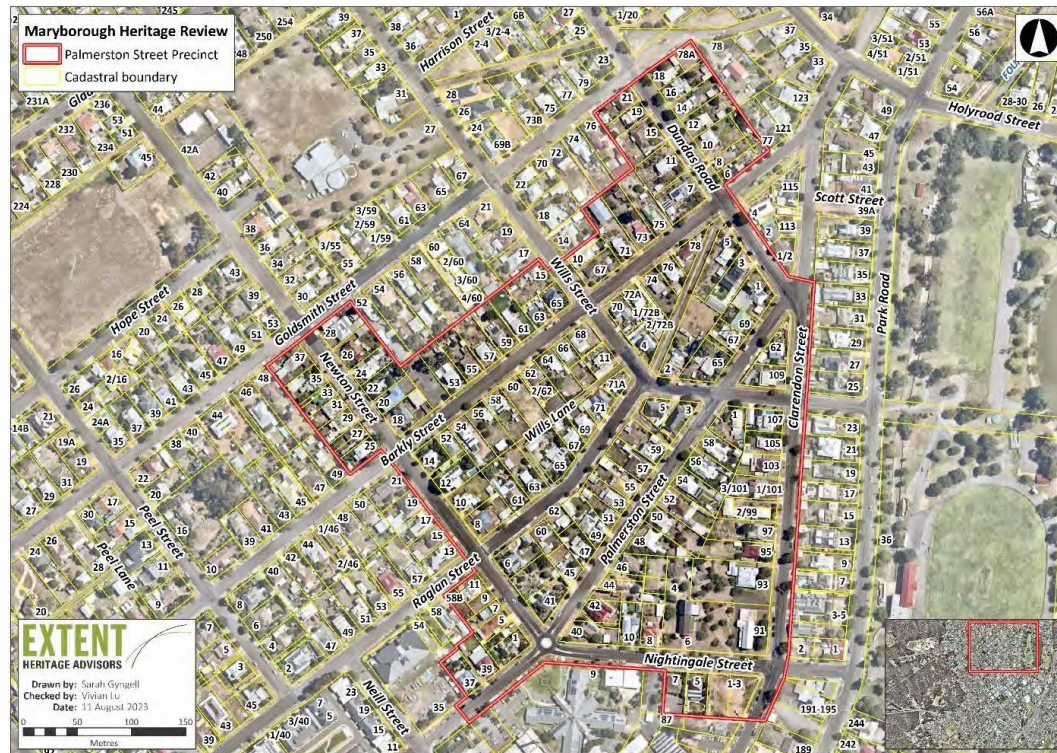


Figure 2. Aerial map showing boundary of Palmerston Street Precinct.

Statement of Significance

What is significant?

The Palmerston Street Precinct, primarily comprising a large residential area along with a church, school and associated buildings, bounded by Goldsmith Street, Dundas Road, Clarendon Street, Nightingale Street, Newton Street, Wills Street, Barkly Street, Raglan Street, Palmerston Street, Maryborough, is locally significant.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 91 and 93 Clarendon Street, Maryborough
- 6 Nightingale Street, Maryborough;
- 1 and 6 Newton Street, Maryborough;
- 37, 39, 41, 42, 46, 52, 54, 56 and 58 Palmerston Street, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotment patterns created by the nineteenth and twentieth century subdivisions;
- The Victorian-era church and associated school building, otherwise known as the Christ the King Church at the corner of Nightingale and Clarendon Street, designed in the Victorian Romanesque style with the church constructed of bluestone and the school of brick;
- The regularity and harmony of freestanding Victorian era residences characterised by hipped roof forms, weatherboard or face brick, deep verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery;
- The regularity and harmony of freestanding Federation era residences characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and timber sash windows;
- Interwar era development including a mixture of California bungalow forms and Spanish Mission residences, many with Classical Revival elements, and primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;
- Sympathetic postwar development characterised by hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;

- The retention of original and/or sympathetic low front fences of limber picket, iron palisade and brick masonry. Of particular significance are the fences at 44 Palmerston Street and 61 Raglan Street;
- The general uniformity of allotments, setbacks and low-scale building heights across the housing stock;
- The mature Canary Island Palms (*Phoenix canariensis*) at 97 Clarendon Street, 37 and 41 Palmerston Street, and 3 and 11 Dundas Road and the Mexican Hawthorn tree (*Crataegus stipulacea*) at 42 Palmerston Street.

How is it significant?

The Palmerston Street Precinct is of local historical, representative, and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Palmerston Street Precinct is of historical significance to the township of Maryborough as a continuation of the original government survey of Maryborough which occurred in the 1850s. Clarendon Street and Nightingale Street formed part of the original township whilst Palmerston Street formed part of the site occupied by the Californian Gully Lead. The building stock of the precinct, constructed in distinct phases including the mid to late Victorian period, early Federation years and the Interwar as well as early Postwar period, not only forms a tangible link to the area's early development as a Gold Rush town but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries. The Palmerston Street Precinct provides an effective portrait of the town's broader development from the mid nineteenth to the mid twentieth century. (Criterion A)

The Palmerston Street Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, Interwar and Postwar era architectural styles. They illustrate the key phases of emergence, growth, and consolidation of the township of Maryborough. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit key architectural features of their respective eras. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, deep verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and limber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in goldmining towns. (Criterion D)

The Palmerston Street Precinct is of aesthetic significance for the inclusion of individual examples of high-quality Victorian, Federation and Interwar era buildings that reflect the

economy and development of the township from the mid-nineteenth century. These include the impressive Victorian Romanesque church at 6 Nightingale Street characterised by a buttressed bluestone structure, steep pitched roof clad with slate tiles, open gable porch, bell tower and grouped arched windows with leadlight; the school building at 91 Clarendon Street characterised by a buttressed brick structure, steep pitched roofs, open gables, and lancet windows; the more elaborate examples of late Victorian era dwellings at 93 Clarendon Street, 1 and 6 Newton Street, 37, 39, 41, 56 and 58 Palmerston Street characterised by weatherboard or polychrome brick, hipped roofs with bracketed eaves, and deep verandahs with timber fretwork or cast iron filligree; the notable Federation/Edwardian residence at 42 Palmerston Street characterised by half-timbered open gables with a hipped roof, deep return verandah with timber valence and expressed window frames with decorative mouldings; the Spanish Mission residence with classical revival elements at 46 Palmerston Street comprising classically inspired stuccoed front facade consisting of a rounded front porch, with paired Tuscan columns and a decorative baluster parapet imitating a faux balcony; and the California bungalow examples at 52 and 54 Palmerston Street with their wide gabled roofs, exposed eaves, verandahs supported by brick piers and expressed timber frames. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Palmerston Street Precinct is of historical significance to the township of Maryborough as a continuation of the original government survey of Maryborough which occurred in the 1850s. Clarendon Street and Nightingale Street formed part of the original township whilst Palmerston Street formed part of the site occupied by the Californian Gully Lead. The building stock of the precinct, constructed in distinct phases including the mid to late Victorian period, early Federation years and the Interwar as well as early Postwar period, not only forms a tangible link to the area's early development as a Gold Rush town but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries. The Palmerston Street Precinct provides an effective portrait of the town's broader development from the mid nineteenth to the mid twentieth century.
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The Palmerston Street Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, Interwar and Postwar era architectural styles. They illustrate the key

		<p>phases of emergence, growth, and consolidation of the township of Maryborough. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit key architectural features of their respective eras. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, deep verandahs, cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and timber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in goldmining towns.</p>
E	Importance in exhibiting particular aesthetic characteristics	<p>The Palmerston Street Precinct is of aesthetic significance for the inclusion of individual examples of high-quality Victorian, Federation and Interwar era buildings that reflect the economy and development of the township from the mid-nineteenth century. These include the impressive Victorian Romanesque church at 6 Nightingale Street characterised by a buttressed bluestone structure, steep pitched roof clad with slate tiles, open gable porch, bell tower and grouped arched windows with leadlight; the school building at 91 Clarendon Street characterised by a buttressed brick structure, steep pitched roofs, open gables, and lancet windows; the more elaborate examples of late Victorian era dwellings at 93 Clarendon Street, 1 and 6 Newton Street, 37, 39, 41, 56 and 58 Palmerston Street characterised by weatherboard or polychrome brick, hipped roofs with bracketed eaves, and deep verandahs with timber fretwork or cast iron filligree; the notable Federation/Edwardian residence at 42 Palmerston Street characterised by half-timbered open gables with a hipped roof, deep return verandah with timber valence and expressed window frames with decorative mouldings; the Soanish</p>

		Mission residence with classical revival elements at 46 Palmerston Street comprising classically inspired stuccoed front facade consisting of a rounded front porch, with paired Tuscan columns and a decorative baluster parapet imitating a faux balcony; and the California bungalow examples at 52 and 54 Palmerston Street with their wide gabled roofs, exposed eaves, verandahs supported by brick piers and expressed timber frames.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Palmerston Street Precinct occupies a triangular extent of land mainly centred along Palmerston Street, Raglan Street and Barkly Street. The precinct is bounded by Clarendon Street to the east, Nightingale, and Newton Street to the south and southwest, Barkly Street to the northwest, and Dundas Road to the north. The precinct is characterised by wide, open streets and nature strips with concrete kerbing, footpaths, and crossovers. The nature strips are generally planted with a variety of interspersed semi-mature trees.

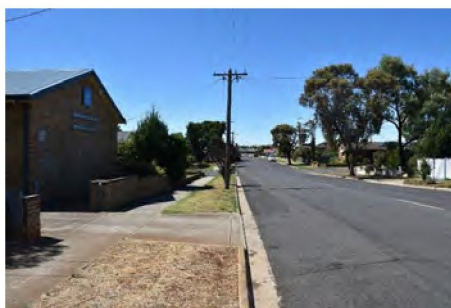


Figure 3. View southeast along Newton Street, Maryborough.



Figure 4. View southwest along Barkly Street, Maryborough.

The predominantly residential precinct comprises a diverse collection of single-storey Victorian, Federation and Interwar era residences ranging from modest Victorian and Federation era workers' cottages to substantial, affluent residences. Victorian era residences including both modest cottages and substantial villas, typically present a single fronted symmetrical form of weatherboard construction, with varied applied ornamentation. Federation and Interwar era residences typically present a double fronted form with half-timbered gables and brick balustrades to the front porches. Modest Federation and Interwar era residences are typically clad with weatherboard or fibro, with more substantial examples of face brick.

The Palmerston Street Precinct includes some religious buildings such as the Christ the King Anglican Church at 6 Nightingale Street and the Kingdom Hall of Jehovah's Witnesses at 20 Newton Street. The Christ the King Anglican Church dates to 1860 and consists of a Victorian Romanesque style church. The buttressed bluestone block structure fronts Nightingale Street and features a steeply pitched, open gable, slate tiled roof, an open gable porch and a bell tower. The church building includes a rear gable extension and a steep pyramidal roof clad with corrugated sheet metal topping the bell tower.



Figure 5. Christ the King Anglican Church.



Figure 6. Former school building and church.

In addition to the church and former school, the street includes a pair of Interwar era residences with Arts and Crafts influences at 5 and 7 Nightingale Street. The residences contain face brick and rendered, open gables with hipped and gabled terracotta Marseilles tiled roofs and face brick chimneys. The key characteristic of the Arts and Crafts style can be seen in the projecting open gable front porch with low pitched roofs and wide arched fenestration.



Figure 7. 5 Nightingale Street, Maryborough.



Figure 8. 7 Nightingale Street, Maryborough.

Clarendon Street forms the eastern precinct boundary and includes residences along the western side of the street. Located to the east of the Christ the King Church at 91 Clarendon Street is a former school building dating to 1864. The buttressed face red brick building with arched windows and weatherboard clad gabled roof, mirrors the church form. 93 Clarendon Street, which was built as the vicarage, is located to the rear of the Christ the King Church and former school allotment. It consists of a substantial face red brick Victorian villa set on a deep allotment featuring a deep return verandah with timber fretwork, intact chimneys, and bay window. It presents a deep setback with a bluestone block foundation course along the street front boundary. Other Victorian era residences include 95, 101, and 107 Clarendon Street (highly altered). The street also includes a Federation era residence at 97 Clarendon Street, and California Bungalows at 103 and 105 Clarendon Street.



Figure 9. 93 Clarendon Street, Maryborough.



Figure 10. 97 Clarendon Street, Maryborough.

Newton Street extends northwest from the junction of Palmerston Street and Nightingale Street. The street includes Victorian era residences at 1, 6, 7, 8, 10, 11, 22, and 35 Newton Street. A Federation era residence can be observed at 24 Newton Street and Interwar era residences at 12, 14, 18, 25, 26, 27, 29, 31, and 33 Newton Street. It also includes a postwar era community hall building presently used as the Kingdom Hall of Jehovah's Witnesses at 20 Newton Street.



Figure 11. 6 Newton Street, Maryborough.



Figure 12. 22 Newton Street, Maryborough.

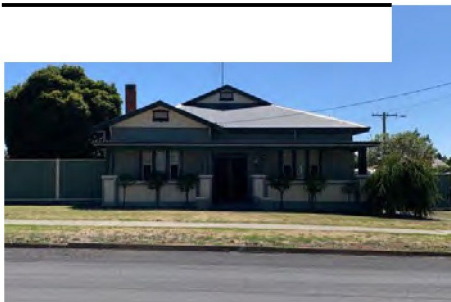


Figure 13. 8 Newton Street, Maryborough.



Figure 14. 31 Newton Street, Maryborough.

Palmerston Street includes Victorian, Federation, interwar and postwar era residences. Victorian residences can be seen at 37, 39, 41, 45, 49, 56, 58, 59, 65, and 67 Palmerston Street, Federation era residences at 42, 48 and 62 Palmerston Street, and Interwar era residences at 44, 46, 47, 50, 52, 53, 54, and 57 Palmerston Street. A number of significant Victorian era residences are situated around the junction with Nightingale Street. These include the single fronted weatherboard villa with cast-iron filigree at 37 Palmerston Street, the double fronted weatherboard villa with cast iron filigree at 39 Palmerston Street, and the single fronted villa with fine face brick detailing and cast-iron filigree at 41 Palmerston Street. The residence at 42 Palmerston Street is unique as it was originally constructed in 1888 in the Victorian style but underwent extensive works during the early twentieth century that contribute to its Federation character reminiscent of the Queen Anne style. The face red brick villa comprises of half-timbered open gables with a hipped roof, deep return verandah with timber valence and expressed window frames with decorative mouldings. The interwar Spanish Mission residence with classical revival elements at 46 Palmerston Street presents a distinct, classically inspired front stuccoed facade consisting of a rounded front porch with paired columns and a decorative baluster parapet imitating a faux balcony. The residences at 42 and 46 Palmerston Street are outstanding examples within the precinct.



Figure 15. 37 Palmerston Street, Maryborough.



Figure 16. 39 Palmerston Street, Maryborough.



Figure 17. 41 Palmerston Street, Maryborough.



Figure 18. 42 Palmerston Street, Maryborough.



Figure 19. 46 Palmerston Street, Maryborough.



Figure 20. 52 Palmerston Street, Maryborough.

Raglan Street predominantly consists of Interwar and postwar era residences. These include Interwar era residences at 61, 63, 67, and 69 Raglan Street. The only Victorian era residence can be observed at 65 Raglan Street. Barkly Street predominantly consists of Victorian and Interwar era residences. Victorian residences can be observed at 56, 61, 64, 71, 72A, 73, 74, and 75 Barkly Street, and Interwar era residences at 53, 54, 55, 57, 58, 59, 63, 65, 66, 68, and 70 Barkly Street. The only Federation/Edwardian era house can be observed at 76 Barkly Street.



Figure 21. 72 Barkly Street, Maryborough.



Figure 22. 75 Barkly Street, Maryborough.

Victorian weatherboard cottages are present at 2, 10, 11 and 15 Wills Street and a Federation weatherboard open gable residence with timber fretwork and shaped valences is present at 1 Wills Street.

Dundas Road forms the northern boundary of the precinct. It consists mainly of modest Victorian weatherboard clad cottages with a symmetrical single fronted facade. Victorian residences can be observed at 1, 3, 5, 6, 7, 14, 16, 18, and 19 Dundas Road. Within the group, 5 Dundas Road features a symmetrical front facade consisting of a pair of flush weatherboard clad open gables. 12 Dundas Road presents a Federation era residence, and 11 Dundas Road is an Interwar era residence.



Figure 23. 5 Dundas Road, Maryborough.



Figure 24. 14 Dundas Road, Maryborough.

Early postwar era residences typically characterised by weatherboard cladding, hipped roofs, stepped form and often with a balcony and narrow rectangular brick chimney block are dotted throughout the precinct. These residences can be observed at 78 Barkly Street, 10 and 21 Dundas Road, 14 and 37 Newton Street, 55 Palmerston Street, 71A Raglan Street and 4 Wills Street.

The housing stock within the precinct presents a large and diverse group of single-storey Victorian, Federation/Edwardian, interwar and postwar era residences. Residences along

Clarendon Street and Palmerston Street generally consist of larger villas and, while less opulent than the residences along Park Road, are considerably affluent examples of Victorian, Federation, and interwar residences within the precinct. Areas towards the western extents of the precinct generally consist of modest Victorian and Federation cottages, typically presenting simple symmetrical forms, weatherboard cladding and minimal detailing. The area also presents a higher concentration of interwar era residences framing the development period of the precinct. Residences within the precinct present varied setbacks with low front fences or open front yards. Sympathetic front fences and walls typically consist of timber picket or crimp wire fences to Victorian and early Federation era residences, and low brick walls to Federation and Interwar era residences. Notable examples include 44 Palmerston Street and 61 Raglan Street.

Non-contributory residences including Postwar Austerity residences are located interspersed throughout the precinct. While general development trends can be observed, the diversity of the housing stock is a prominent feature of the precinct. Due to the simple massing, form, and detailing of the residences, additions such as front and rear garage and carports, and solar panels are visually prominent from the public domain. Additional interspersed non-contributory residences further reduce the overall integrity of the precinct.

Alterations and Additions

- Residences generally include single storey rear extensions to various extents which are typically not visible from the public domain unless located on a corner allotment.
- Residences include side or rear garage and carport additions with varied visibility from the public domain. Garage and carport additions that are highly visible from the public domain include 101, 103 and 107 Clarendon Street, 54, 58 and 59 Barkly Street, 7 and 8 Nightingale Street, 24 and 28 Newton Street, 49, 51, 53, and 55 Palmerston Street, and 10 Wills Street.
- A number of residences include solar panels along the front roof plane, as seen at 107 Clarendon Street, 37 Newton Street, 54 and 58 Barkly Street and 1 Dundas Road.
- Some intrusive alterations to otherwise contributory residences including but not limited to the removal of original detailing, contemporary fenestration, new paint schemes, and addition of unsympathetic front fences or walls.
- Mid-late post-war infill development at 8 Nightingale Street, 99 Clarendon Street, 40, 57 and 69 Palmerston Street, 60 and 62 Raglan Street, No. 67 Barkly Street, No. 2, 8, and 15 Dundas Road, 20 Newtown Street and No. 3 and 5 Wills Street.
- Contemporary infill development at 3 Nightingale Street, 5 Newton Street, 4 Dundas Road, 52 and 72B Barkly Street, 113 Clarendon Street, and 71 Raglan Street.

Palmerston Road Precinct is in good to fair condition and is of moderate integrity overall.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 25. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

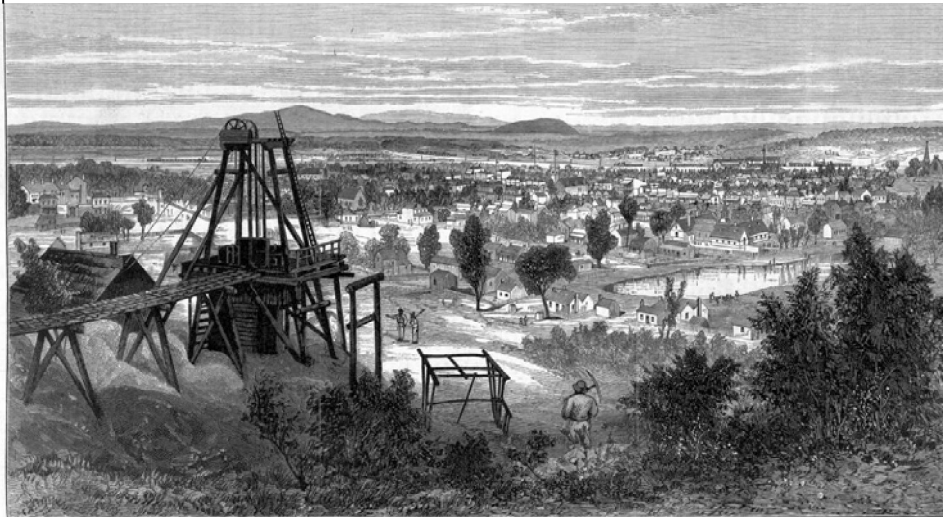


Figure 26. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

Clarendon and Nightingale Streets in the Palmerston Street Precinct formed part of the original township subdivision. Whilst sections and allotments are visible around these two streets, the area to the north and northwest of what is now Palmerston Street, remained unsurveyed at the time (refer Figure 27). This area was occupied by the Californian Gully Lead, one of the major sites used for mining operations during the Victorian Gold Rush. The 1856 Gilks map also shows the structures present with wooden buildings hatched and tents outlined (refer Figure 27).

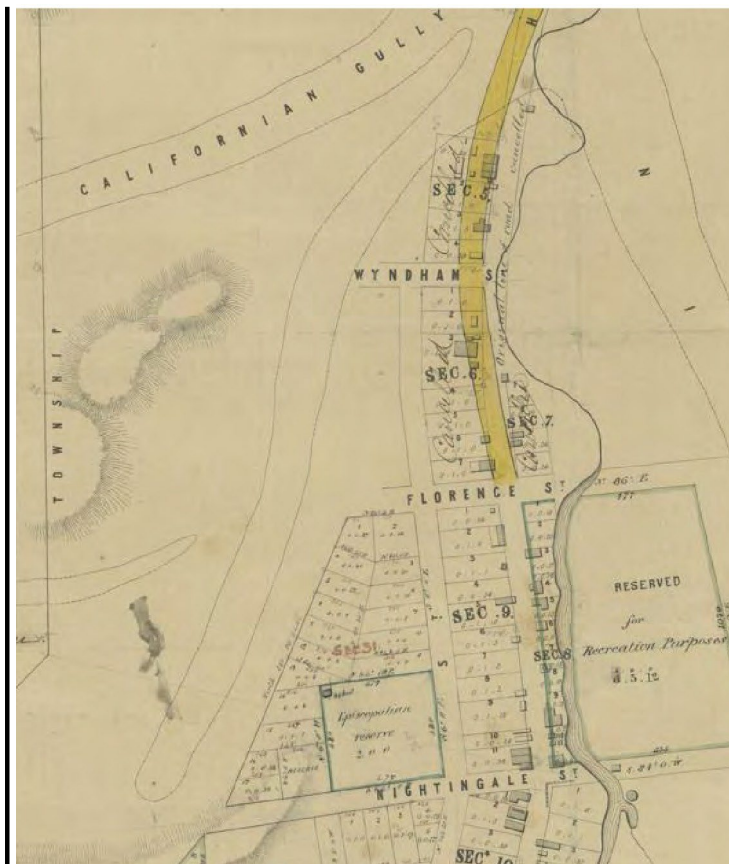


Figure 27. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing the Californian Gully Lead and allotments along Clarendon and Nightingale Streets. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FEB86214ED5?image=1>.

The early structures in the township of Maryborough were a mixture of primitive modest buildings and more elaborate civic structures associated with the wealth derived from the Gold Rush. The transient nature of this early development is illustrated by the fact that besides

churches and some public buildings, not many buildings from the first two decades of the township have survived (Bick et al. 1992, 31).

The 1856 Gilks map shows the presence of the 'Episcopalian Reserve' (later known as Church of England Reserve) (refer Figure 27). Tenders were called for a church on the reserve in 1858 with a maximum budget of £1500. Nathaniel Billing was chosen as the architect whilst Daniel Williams, who built the Maryborough gaol, was chosen as the builder (Osborn and DuBourg 2011, 139). The Christ Church (also known as Church of England and today the Christ the King Church) was constructed and opened in 1860. The Anglican church, as built in 1860, can be seen in a photograph from c.1866 (refer Figure 28). An 1874 image shows the presence of an open gable porch and bell tower which were most likely added to the church sometime between 1866-1874 (refer Figure 29). A chancel was added in 1909 and a vestry in 1969 (Bick et al. 1992). The pyramidal roof of the bell tower is missing in a photograph from 1972, however it is present in a photograph from 1979 which means that it was constructed between 1972-1979 (refer Figure 30 & Figure 31).

Tenders were advertised and a brick schoolhouse was erected in 1864, to the east of the church building (refer Figure 28). The schoolhouse was modelled on English school buildings with modifications to suit Australian conditions (Osborn and DuBourg 2011, 136). The church was extensively altered in the twentieth century, and these works most likely included the removal of the porch seen in the c.1866 photograph. The residence at 93 Clarendon Street was formerly included as part of the Church of England Reserve (available archival sources did not identify the construction date for the house). Now on its own allotment, it comprises a Victorian brick villa that seems to have been constructed as vicarage for the neighbouring Anglican church.



Figure 28. The Christ the King Church (background) and associated school building (foreground).
Source: Unknown. c.1866. *Church of England, and School, Maryboro'*. Photograph: albumin silver.
Accession no. H2936. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE22315688&mode=browse>.

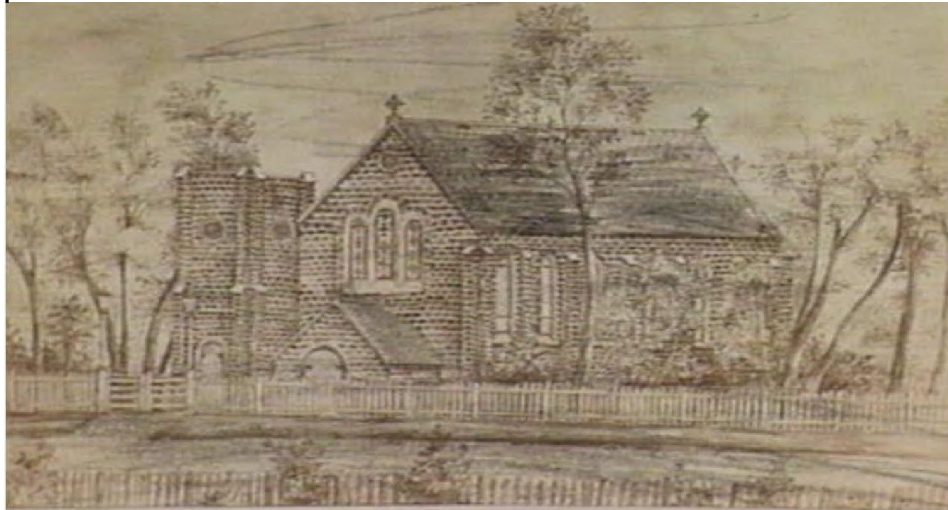


Figure 29. The Christ the King Church with the addition of the open gable porch and bell tower. *Source:* Weller, J. 1874. *Church of England, Maryborough, Victoria, 1874*. Photograph: albumin silver. Accession no. H82.41/1 & LTA 1475. State Library of Victoria. <https://viewer.slv.vic.gov.au/?entity=IE22139486&mode=browse>.



Figure 30. View of the bell tower without its pyramidal roof. *Source:* Collins, J. 1972. *Maryborough Church of England*. Photograph: gelatin silver. In collection: J. T. Collins. Accession no. H98.250/100. State Library of Victoria. <https://viewer.slv.vic.gov.au/?entity=IE5615882&mode=browse>.



Figure 31. View of bell tower with pyramidal roof. *Source:* Collins, J. 1979. Maryborough. *Christ Church, Nightingale St.* Photograph: gelatin silver. In collection: J. T. Collins. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IF5657981&mode=browse>.

The Victorian brick house at 101 Clarendon Street was constructed in 1876 and is known to be one of the oldest brick dwellings in the town (Bick et al. 1992). The house had a longstanding association with the early history of education in Maryborough, with various educators occupying the house in the mid-late nineteenth century. The weatherboard house at 10 Nightingale Street was constructed in 1883 and was also utilised for education purposes. The house, owned by pioneer squatter Alfred Joyce, was used as a school for girls and run by his daughters Florence and Lilian in the 1880s. In 1895, it was reestablished as a kindergarten by his other daughter Cecile Joyce who owned and lived in the house well into the 1940s (Bick et al. 1992).

The neighbouring residence at 42 Palmerston Street was also owned by the Joyce family. Constructed in 1888, the building underwent additions c.1908 and again in the 1920s (Bick et al. 1992). The house was initially owned by Alfred Joyce, into the 1890s, and later by his daughter Cecilia. From 1907 to 1930s, the house was owned by George Lucas, a well-known Maryborough draper (Bick et al. 1992).

The Victorian weatherboard residence at 1 Newton Street was constructed in 1896. The residence was the home of Henry Neville Phillips, Maryborough's seventh Town Clerk, from 1888 until his death in 1935 (Bick et al. 1992). Phillips was also responsible for the design of the rotunda in Princes Park, completed at the time of Maryborough's golden jubilee (Bick et al. 1992).

Constructed in 1924, the house at 97 Clarendon Street was owned by painters Leslie and Sydney Palmer (Bick et al. 1992). The Palmer's continued to own the property until 1936-37. Although constructed in the interwar period, the house exhibits Federation style features.

'California,' the interwar house at 46 Palmerston Street, was constructed in 1925. It was owned by manufacturer George Patience, who along with tool engineer Francis Nicholson, established the company Patience and Nicholson in 1924 (Bick et al. 1992). The company was instrumental in helping Maryborough transition and survive as a town post the Gold Rush era. 'California' was occupied by George Patience till 1932 and the house was later owned by another Maryborough businessman (Bick et al. 1992).

Construction dates for other notable properties within the precinct include 6 Newton Street (c.1900), 37 Palmerston Street (c.1890), 39 Palmerston Street (c.1900), 41 Palmerston Street (1890), 52 and 54 Palmerston Street (c.1930s), 56 and 58 Palmerston Street (c.1900) (Bick et al. 1992). The precinct today is still predominantly residential with the exception of the few religious buildings.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

With streetscapes primarily comprised of a mixture mid-late Victorian, early twentieth century Federation and interwar era houses along with postwar infill development, the Palmerston Street Precinct illustrates steady residential growth in Maryborough as the economy transitioned from goldmining to manufacturing. In addition to the few comparable residential areas on the Heritage Overlay that are located within Maryborough, the Palmerston Street Precinct is also analogous to several extant late nineteenth and early twentieth residential precincts situated within the aforementioned goldfields towns outside of the municipality. As with examples in Maryborough, late nineteenth and early twentieth century residential areas in these goldfield towns are similarly characterised by rows of freestanding, modestly scaled weatherboard and brick residences set on generous allotments located inside and outside of the boundaries of the original township. This character parallels with historical developmental patterns associated with the Gold Rush and its aftermath. In the absence of comparable mid-scale goldfields towns and heritage places within the Central Goldfields Shire that are outside of Maryborough, these precincts provide a supplementary benchmark to substantiate the relative significance of the Palmerston Street Precinct.

Comparable examples include:

Raglan Street Precinct, Maryborough (Central Goldfields Shire HO TBC). Raglan Street Precinct comprises a small residential area of properties constructed between c.1860s and 1930s. While it does not form part of the original 1855 township, it compares well as a cohesive group of Victorian, Federation, and interwar era properties, interspersed with some postwar infill development. Although residences are generally more ornate and intact than those within the Palmerston Street Precinct, it is nevertheless comparable in terms of visual consistency stemming from consistent setbacks, materials, scale, detailing, and form despite some variation in styles and typology. Raglan Street Precinct also includes a church but lacks the associated school building and vicarage present in Palmerston Street Precinct.

- **Western Residential Precinct, Maryborough (Central Goldfields Shire HO TBC).** The Western Residential Precinct comprises a predominantly residential area featuring streetscapes of freestanding, single-storey Victorian, Federation, and interwar era residences. Although the precinct lies completely outside the original township subdivision, it is comparable in terms of its consistent setbacks, materials, scale, detailing and form despite variation in styles and typology. Key comparative features include the incorporation of front verandahs, hipped or gabled roof forms generally clad with corrugated metal, weatherboard and timber materials, the modest application of ornamentation, and generous front and side setbacks. In addition to a church and associated school building, the Western Residential Precinct also contains a commercial hotel building, a typology missing from the Palmerston Street Precinct.
- **Camp Reserve and Environs, Castlemaine (HO668, Mount Alexander Shire).** The Camp Reserve and Environs compares as a large residential area characterised by a mixture of substantially intact, modestly scaled Victorian, Federation and interwar residences set on generously sized allotments. Although distinct in terms of its rising slopes and curvilinear road layouts, it nevertheless shares with Palmerston Street Precinct consistencies in scale, setbacks, materials, and forms, such as hipped and gabled roofs generally clad with corrugated metal, profiled chimneys, brick and timber materials, sash windows and a predominance of front verandahs. Unlike the Palmerston Street Precinct, the residential allotments do not form any part of the original township boundary and were instead gradually established following the subdivision of the 1851 Commissioner's Camp, which formerly served as the administrative centre for all of the Central Victorian goldfields. It does, however, retain several mid-nineteenth century buildings dating from its use as a Camp Reserve.

Based on the above comparative analysis, the Palmerston Street Precinct is a fine collection of Victorian, Federation and Interwar era buildings with Postwar residences scattered through the precinct. It compares well with other precincts in terms of the variation of styles and typologies exhibited but overall presents as a rather modest, slightly less intact precinct.

Precinct Map



Figure 32. Map showing individual property gradings within the Palmerston Street Precinct.

Grading Table

"S": Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era/s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
52 Barkly Street, Maryborough	Residential	Contemporary	NC
53 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
54 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
55 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
56 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
57 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
58 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
59 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
60 Barkly Street, Maryborough	Empty block	N/A	NC
61 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
62 Barkly Street, Maryborough	Residential	Contemporary	NC
63 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
64 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
65 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
66 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
67 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
68 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
70 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
71 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72A Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72B Barkly Street, Maryborough	Residential	Contemporary	NC
73 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
74 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
75 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
76 Barkly Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
78 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	C
91 Clarendon Street, Maryborough	Educational	Victorian Period (1851-1901)	S
93 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	S
95 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
97 Clarendon Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
99 Clarendon Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
101 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
103 Clarendon Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
105 Clarendon Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
107 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
109 Clarendon Street, Maryborough	Residential	Contemporary	NC
1 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
3 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
5 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	NC
10 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	C
11 Dundas Road, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
12 Dundas Road, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
14 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	NC
16 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	C
1 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	S
5 Newton Street, Maryborough	Residential	Contemporary	NC
6 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	S
7 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Newton Street, Maryborough	Empty block	N/A	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
10 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Newton Street, Maryborough	Residential	Post-war Period (1945-1965)	C
18 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
20 Newton Street, Maryborough	Religious	Post-war Period (1945-1965)	NC
22 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
24 Newton Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
25 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
27 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
29 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
31 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
33 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
35 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Newton Street, Maryborough	Residential	Post-war Period (1945-1965)	C
1-3 Nightingale Street, Maryborough	Residential	Contemporary	NC
5 Nightingale Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
6 Nightingale Street, Maryborough	Religious	Victorian Period (1851-1901)	S

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
7 Nightingale Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Nightingale Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
10 Nightingale Street, Maryborough	Religious	Victorian Period (1851-1901)	C
37 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
39 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
40 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
41 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
42 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	S
44 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
45 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
46 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
47 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
48 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
49 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
50 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
51 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
52 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
53 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
54 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
55 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
56 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
57 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
58 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
59 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
62 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
65 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
67 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
69 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
60 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
61 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
62 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
63 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
65 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
67 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
69 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
71 Raglan Street, Maryborough	Residential	Contemporary	NC
71A Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	C
1 Wills Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
2 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	NC

Street address	Place type	Style/era	Grading
4 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	C
5 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
10 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 33. 52 Barkly Street, Maryborough.



Figure 34. 53 Barkly Street, Maryborough.



Figure 35. 54 Barkly Street, Maryborough.



Figure 36. 55 Barkly Street, Maryborough.



Figure 37. 56 Barkly Street, Maryborough.



Figure 38. 57 Barkly Street, Maryborough.



Figure 39. 58 Barkly Street, Maryborough.



Figure 40. 59 Barkly Street, Maryborough.



Figure 41. 60 Barkly Street, Maryborough.



Figure 42. 61 Barkly Street, Maryborough.



Figure 43. 62 Barkly Street, Maryborough.



Figure 44. 63 Barkly Street, Maryborough.



Figure 45. 64 Barkly Street, Maryborough.



Figure 46. 65 Barkly Street, Maryborough.



Figure 47. 66 Barkly Street, Maryborough.



Figure 48. 67 Barkly Street, Maryborough.



Figure 49. 68 Barkly Street, Maryborough.



Figure 50. 70 Barkly Street, Maryborough.



Figure 51. 71 Barkly Street, Maryborough.



Figure 52. 72 Barkly Street, Maryborough.



Figure 53. 73 Barkly Street, Maryborough.



Figure 54. 74 Barkly Street, Maryborough.



Figure 55. 75 Barkly Street, Maryborough.



Figure 56. 76 Barkly Street, Maryborough.



Figure 57. 78 Barkly Street, Maryborough.



Figure 58. 91 Clarendon Street, Maryborough.



Figure 59. 93 Clarendon Street, Maryborough.



Figure 60. 95 Clarendon Street, Maryborough.



Figure 61. 97 Clarendon Street, Maryborough.



Figure 62. 99 Clarendon Street, Maryborough.



Figure 63. 101 Clarendon St, Maryborough.



Figure 64. 103 Clarendon Street, Maryborough.



Figure 65. 105 Clarendon Street, Maryborough.



Figure 66. 107 Clarendon Street, Maryborough.



Figure 67. 109 Clarendon Street, Maryborough.



Figure 68. 1 Dundas Road, Maryborough.



Figure 69. 3 Dundas Road, Maryborough.



Figure 70. 5 Dundas Road, Maryborough.



Figure 71. 6 Dundas Road, Maryborough.



Figure 72. 7 Dundas Road, Maryborough.



Figure 73. 8 Dundas Road, Maryborough.



Figure 74. 10 Dundas Road, Maryborough.



Figure 75. 11 Dundas Road, Maryborough.



Figure 76. 12 Dundas Road, Maryborough.



Figure 77. 14 Dundas Road, Maryborough.



Figure 78. 15 Dundas Road, Maryborough.



Figure 79. 16 Dundas Road, Maryborough.



Figure 80. 18 Dundas Road, Maryborough.



Figure 81. 19 Dundas Road, Maryborough.



Figure 82. 21 Dundas Road, Maryborough.



Figure 83. 1 Newton Street, Maryborough.



Figure 84. 5 Newton Street, Maryborough.



Figure 85. 6 Newton Street, Maryborough.



Figure 86. 7 Newton Street, Maryborough.



Figure 87. 8 Newton Street, Maryborough.



Figure 88. 11 Newton Street, Maryborough.



Figure 89. 10 Newton Street, Maryborough.



Figure 90. 12 Newton Street, Maryborough.



Figure 91. 14 Newton Street, Maryborough.



Figure 92. 18 Newton Street, Maryborough.



Figure 93. 20 Newton Street, Maryborough.



Figure 94. 22 Newton Street, Maryborough.



Figure 95. 24 Newton Street, Maryborough.



Figure 96. 25 Newton Street, Maryborough.



Figure 97. 26 Newton Street, Maryborough.



Figure 98. 27 Newton Street, Maryborough.



Figure 99. 28 Newton Street, Maryborough.



Figure 100. 29 Newton Street, Maryborough.



Figure 101. 31 Newton Street, Maryborough.



Figure 102. 33 Newton Street, Maryborough.



Figure 103. 35 Newton Street, Maryborough.



Figure 104. 37 Newton Street, Maryborough.



Figure 105. 1-3 Nightingale Street, Maryborough.



Figure 106. 5 Nightingale Street, Maryborough.



Figure 107. 6 Nightingale Street, Maryborough.



Figure 108. 7 Nightingale Street, Maryborough.



Figure 109. 8 Nightingale Street, Maryborough.



Figure 110. 10 Nightingale Street, Maryborough.



Figure 111. 37 Palmerston Street, Maryborough.



Figure 112. 39 Palmerston Street, Maryborough.



Figure 113. 40 Palmerston Street, Maryborough.



Figure 114. 41 Palmerston Street, Maryborough.



Figure 115. 42 Palmerston Street, Maryborough.



Figure 116. 44 Palmerston Street, Maryborough.



Figure 117. 45 Palmerston Street, Maryborough.



Figure 118. 46 Palmerston Street, Maryborough.



Figure 119. 47 Palmerston Street, Maryborough.



Figure 120. 48 Palmerston Street, Maryborough.



Figure 121. 49 Palmerston Street, Maryborough.



Figure 122. 50 Palmerston Street, Maryborough.



Figure 123. 51 Palmerston Street, Maryborough.



Figure 124. 52 Palmerston Street, Maryborough.



Figure 125. 53 Palmerston Street, Maryborough.



Figure 126. 54 Palmerston Street, Maryborough.



Figure 127. 55 Palmerston Street, Maryborough.



Figure 128. 56 Palmerston Street, Maryborough.



Figure 129. 57 Palmerston Street, Maryborough.



Figure 130. 58 Palmerston Street, Maryborough.



Figure 131. 59 Palmerston Street, Maryborough.



Figure 132. 62 Palmerston Street, Maryborough.



Figure 133. 65 Palmerston Street, Maryborough.



Figure 134. 67 Palmerston Street, Maryborough.



Figure 135. 69 Palmerston Street, Maryborough.



Figure 136. 60 Raglan Street, Maryborough.



Figure 137. 61 Raglan Street, Maryborough.



Figure 138. 62 Raglan Street, Maryborough.



Figure 139. 63 Raglan Street, Maryborough.

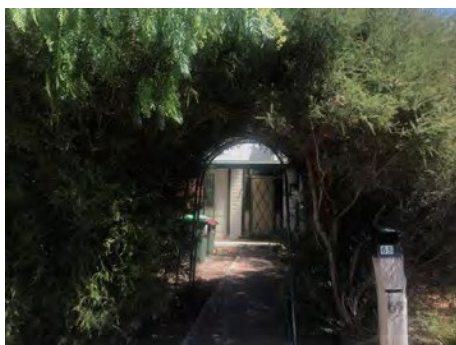


Figure 140. 65 Raglan Street, Maryborough.



Figure 141. 67 Raglan Street, Maryborough.



Figure 142. 69 Raglan Street, Maryborough.



Figure 143. 71 Raglan Street, Maryborough.



Figure 144. 71A Raglan Street, Maryborough.



Figure 145. 1 Wills Street, Maryborough.



Figure 146. 2 Wills Street, Maryborough.



Figure 147. 3 Wills Street, Maryborough.



Figure 148. 4 Wills Street, Maryborough.



Figure 149. 5 Wills Street, Maryborough.



Figure 150. 10 Wills Street, Maryborough.



Figure 151. 11 Wills Street, Maryborough.



Figure 152. 15 Wills Street, Maryborough.

Park Road Precinct

Heritage Place: Park Road Precinct

HO Reference: TBA

Date updated: 9 January 2024

Address: 1-2 Nightingale Street, 1-55 Park Road, 183-195 & 232-244 High Street, Maryborough



Figure 1. Oblique view of Park Road Precinct looking southwest.

Item Group: Residential Buildings

Key Theme: Building towns, cities and the garden state

Item Type: Residential Precinct

Key Sub-theme: Making regional centres

Designer: N/A

Construction: c.1880-1955

Builder: N/A

Style: Late Victorian, Edwardian, and Interwar Bungalow

Significance Level: Local

Controls:	0	External paint controls	0	Internal alteration controls	●	Tree controls (<i>Phoenix canariensis</i> at 15, 37 and 39 Park Road)
	0	Included on Victorian Heritage Register	0	Incorporated Plans	●	Outbuildings and fence not exempt (Fence at 7 Park Road)
	0	Prohibited uses may be permitted	0	Aboriginal Heritage Place	0	Solar energy system controls

Curtilage

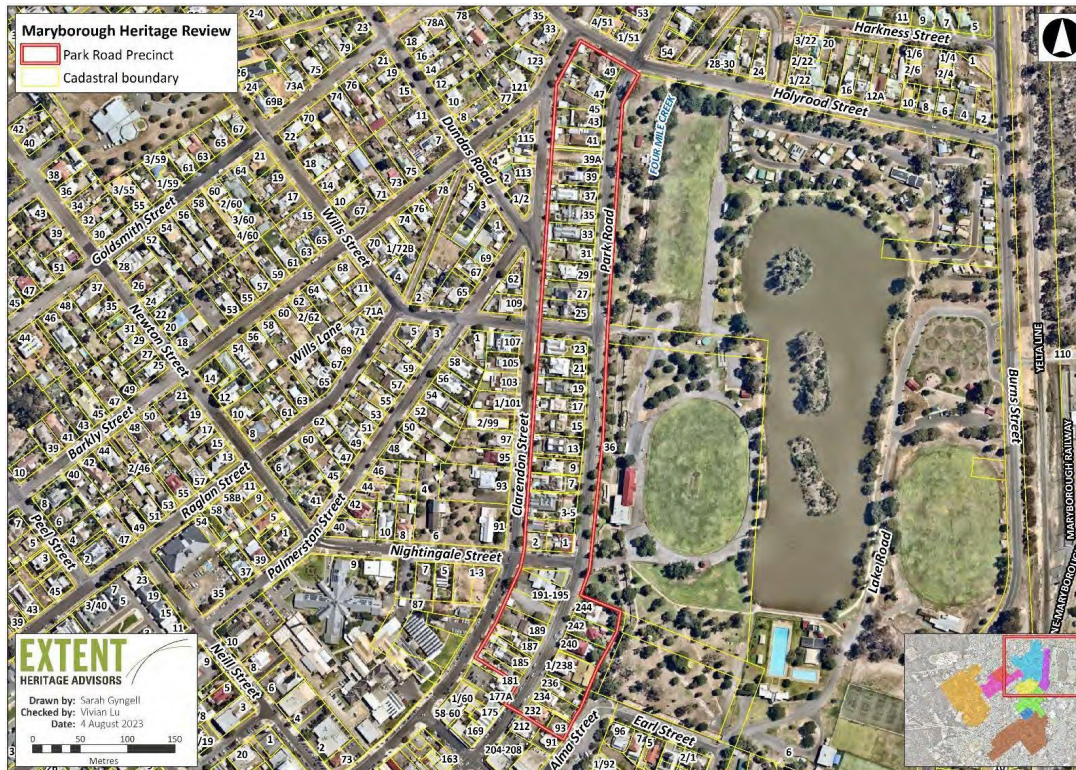


Figure 2. Aerial map showing the curtilage of the Park Road Heritage Area Precinct.

Statement of Significance

What is significant?

The Park Road Precinct, comprising a series of predominantly residential properties on Nightingale Street and Park Road North, Maryborough, is locally significant. There are also several examples of commercial properties which contribute to the overall significance of the precinct, particularly located towards the southern end of the precinct curtilage.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 3-5 Park Road, Maryborough;
- 7 Park Road, Maryborough; and
- 25-27 Park Road, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotments patterns established by nineteenth century subdivisions, with residences facing Princes Park on the opposite side of Park Road;
- Highly intact front facade arrangements, roof forms, openings and detailing;
- The predominance of Late Victorian Italianate and Interwar styles, illustrating the popularity of both designs as applied to early twentieth century suburban residences;
- The regularity and harmony of freestanding Late Victorian and Interwar era properties characterised by large, simple roof planes, red face brick, render or weatherboard fabric, gable verges, verandahs supported by masonry piers or wrought iron lacework, mature exotic plantings;
- The general uniformity of setbacks and heights.
- The pairing of a primary residential precinct with some commercial properties, including a substantial Victorian-era hotel (Park Hotel) and a bakery, both of which reflect the transition of High Street north into Park Road.
- Bills Horse Trough, located opposite 19 Park Road, which was installed in the c.1930s and is the last horse trough in the township;
- Generally contributory, although varied, traditional style low timber picket or iron palisade front fences and brick masonry walls. Of specific significance is the original wrought iron fence at 7 Park Road;
- Examples of Maryborough's most opulent housing stock, such as the highly intact Late Victorian residences at 3 and 7 Park Road, and the elaborate Edwardian 'Hadenham' house at 25-27 Park Road; and
- The mature exotic Palm (*Phoenix canariensis*) plantings at 15, 37 and 39 Park Road;

How is it significant?

The Park Road Precinct is of local historical and aesthetic significance to the Central Victorian Goldfields.

Why is it significant?

The Park Road Precinct is of historical significance to the township of Maryborough and broader Central Victorian Goldfields municipality as an original continuation of the government survey of Maryborough in the 1850s, joining the commercial precinct of High Street to the police camp reserve to the northwest of Princes Park. Park Road was a highly significant arterial route joining Maryborough with the Golden Triangle to the north, comprising Dunolly, Tarnagulla, and Moliagul. Following the establishment of Princes Park, Park Road in Maryborough's Gold Rush boom era rapidly became the most affluent residential streetscape in the township, and the dwellings and commercial properties present onsite today are a tangible link to this historically significant narrative. (Criterion A)

The Park Road Precinct is of aesthetic significance as a cohesive and intact nineteenth century residential precinct with several commercial properties including a large commercial hotel (the Park Hotel 195-197 High Street) and a bakery (1 Park Road), all of which was developed opposite a large public reserve. The Precinct is characterised by Late Victorian Italianate villas constructed either in weatherboard or brick masonry, typically with hipped roofs, verandahs with wrought iron lacework, deep setbacks, mature exotic plantings and raised allotments over the streetscape conveying privacy and dominance. Later development is characterised by highly intact and elaborate Edwardian residences constructed in brick masonry with terracotta tiling, hipped roofing with decorative projecting gable ends, elaborate timber fenestration and bracketing, exposed eaves, and deep verandahs as well as interwar dwellings with bungalow design traits including large hipped roof forms with projecting gable ends enclosing a deep porch, with brick masonry piers, leadlight windows and brick construction with a decorative use of render. Though Late Victorian and early twentieth century buildings are represented elsewhere in the township, the structures within the Precinct are of distinct aesthetic significant worthy of distinction from the rest of the township on account of the extent of ornamentation. The continuing theme however are largely deep setbacks, elaborate decoration, mature plantings, and high integrity. Mature plantings include the Canary Island Palm trees (*Phoenix canariensis*) at 15, 37 and 39 Park Road, which aesthetically are associated with Late Victorian landscaping. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Park Road Precinct is of historical significance to the township of Maryborough and broader Central Victorian Goldfields municipality as an original continuation of the government survey of Maryborough in the 1850s, joining the commercial precinct of High Street to the police camp reserve to the northwest of Princes Park. Park Road was a highly significant arterial route joining Maryborough with the Golden Triangle to the north, comprising Dunolly, Tarnagulla, and Moliagul. Following the establishment of Princes Park, Park Road in Maryborough's Gold Rush boom era rapidly became the most affluent residential road in the township, and the dwellings and commercial properties present onsite today are a tangible link to this historically significant narrative.
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The place does not meet this criterion.
E	<i>Importance in exhibiting particular aesthetic characteristics</i>	The Park Road Precinct is of aesthetic significance as a cohesive and intact nineteenth century residential precinct with several commercial properties including a large commercial hotel (the Park Hotel 195-197 High Street) and a bakery (1 Park Road), all of which was developed opposite a large public reserve. The Precinct is characterised by Late Victorian Italianate villas constructed either in weatherboard or brick masonry, typically with hipped roofs, verandahs with wrought iron lacework, deep setbacks, mature exotic plantings and raised allotments over the streetscape conveying privacy and dominance. Later development is characterised by highly intact and elaborate Edwardian residences constructed in brick masonry with terracotta tiling, hipped roofing with decorative projecting gable ends, elaborate timber fenestration and bracketing, exposed eaves, and deep verandahs as well as interwar dwellings with bungalow design traits including large hipped roof forms with projecting gable ends enclosing a deep porch, with brick masonry piers, leadlight windows and brick construction with a decorative use of

		render. Though Late Victorian and early twentieth century buildings are represented elsewhere in the township, the structures within the Precinct are of distinct aesthetic significant worthy of distinction from the rest of the township on account of the extent of ornamentation. The continuing theme however are largely deep setbacks, elaborate decoration, mature plantings, and high integrity. Mature plantings include the Canary Island Palm trees (<i>Phoenix canariensis</i>) at 15, 37 and 39 Park Road, which aesthetically are associated with Late Victorian landscaping.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Park Road Precinct occupies a linear area of land along Park Road which extends on a north south axis. The precinct adjoins the main commercial district of Maryborough at its southern extent along High Street which leads into Park Road. The precinct is also bounded by Clarendon Street to the west, Holyrood Street to the north, and Princes Park and Lake Victoria to the east. The residences are predominantly located along the western side of Park Road but includes some residences on both sides of the road south of the junction with Nightingale Street. The precinct is bisected by Nightingale Street, Wills Street, and Scott Street.



Figure 3. Lake Victoria and Princes Park, Maryborough.



Figure 4. Grandstand at Princes Park, Maryborough.

Park Road is a bi-directional road with a dedicated lane for parking along both sides. The road includes concrete kerbing with minimal concrete crossovers as residential parking is generally located from the western side of the residences along Clarendon Street. Concrete laid footpaths and nature strips are planted with semi-mature to mature London plane trees (*Planatus x acerifolia*). The eastern side of Park Road between Nightingale Street and Wills Street includes a row of mature Canary Island date palms (*Phoenix canariensis*). The Bills Horse Trough is located opposite 19 Park Road, on the eastern side of the road. Dating to the c.1930s, it consists of a painted concrete horse trough raised on concrete blocks with a decorative shaped crest. It is presently in use as a garden bed.



Figure 5. General view of the streetscape along Park Road, Maryborough.



Figure 6. Bills Horse Trough, opposite 19 Park Road, Maryborough.

Residences at the southern extent of the precinct, south of the junction with Nightingale Street consist of modestly sized single-storey residences. The area includes some commercial buildings like the two-storey Victorian era building at 238 High Street. The rendered brick building presents a strong, symmetrical front facade and is highly distinct within the predominantly residential precinct. Large, arched windows on the ground level and sash windows on the upper level with moulded architraves punctuate the facade. The facade is topped with a pedimented gable with an offset flat parapet. The facade is visually connected through the use of horizontal sill courses and moulded cornices and imitation quoining with a

vermiculated texture. Other commercial buildings include the two-storey Federation era hotel (now Park Hotel) and single-storey brick and weatherboard group of shops at the junction of Park Road and Nightingale Road.



Figure 7. 238 High Street, Maryborough.



Figure 8. 191-195 High Street, Maryborough.

South of Nightingale Street, the precinct consists of Victorian, Federation, and Inter-war era residences. Victorian era residences generally consist of weatherboard clad or face brick single-storey residence with a hipped roof typically clad with slate tiles and/or corrugated iron sheeting. Examples of symmetrical single fronted facade and fenestration with a raised front porch featuring ornate cast iron detailing can be seen at No. 179 and 185 and a double fronted Victorian residence with similar detailing at No. 183.

Inter-war California Bungalow residences present typical characteristics of the style including a half-timbered open gable form, hipped and gable roof with terracotta Marseilles tiles, rendered facade with clinker brick detailing emphasising fenestration. These residences can be observed at 240, 242 and 244 High Street. Residences at 189, 232 and 234 High Street present Art Deco influences seen the use of a wide arched opening to the buttressed front porch and a residence with Spanish Mission influences at 236 High Street. The distinct Art Deco and Spanish Mission residences are limited to the southern extent of the precinct.



Figure 9. 240 High Street, Maryborough.



Figure 10. 244 High Street, Maryborough.



Figure 11. 232 High Street, Maryborough.



Figure 12. 236 High Street, Maryborough.

Residences situated north of the junction with Nightingale Street identified in the Maryborough Heritage Study (1992) 'includes some of Maryborough's most opulent housing stock built between the 1880s and c.1910 (with some additional houses built prior to 1930)'. These residences are considerably large on a wide setback from Park Road with views overlooking Princes Park and Lake Victoria to the east. Notable opulent Victorian and Edwardian era residences include 3-5, 7, and 25-27 Park Road.

7 Park Road consists of a single storey Victorian Italianate weatherboard-clad residence with highly ornate cast iron filigree. It presents a symmetrical facade defined by a raised front porch and flanking projecting octagonal window bays. The hipped roof is clad with slate tiles and topped with crested cast iron ridge capping and finials, with face brick corbelled face brick chimneys with strapwork. The hipped porch awning is clad with corrugated sheet metal and features a centred arched dormer flanked by open gable dormers mirroring the position of the window bays. The defining feature of the residence is its front porch detailing consisting of paired cast iron Corinthian style posts with an ornate balustrade, valence, and lacework. The lacework is repeated on the awning gable dormers.

25-27 Park Road consists of a large double-storey face red brick Federation Queen Anne style residence. Located on a prominent corner position over two lots, at the junction with Wills Street, it can be considered the most impressive residence within the precinct. Its principal street facing

fa9ades are punctuated with projecting half-timbered open gable bays, dormer windows and gable verandah awnings. Deep verandahs with an emphasised corner bay are emblematic of the purposeful asymmetry of the Queen Anne style. It is highly embellished with fine timber detailing, brick strapwork and stone dressed windows.



Figure 13. 7 Park Road, Maryborough.



Figure 14. 25-27 Park Road, Maryborough.

Other Victorian/Federation residences present modest massing often with restrained detailing are still located on generous blocks. The residences conform to the wide setback and includes the Victorian era residences at 9, 15, 19, 35, 37, and 39 and Federation era residences at 17, and 23 Park Road.

33, 35, 37 and 39 Park Road form a group of four Victorian timber weatherboard residences. They present a similar, symmetrical front fa9ade form consisting of a raised front porch with centred brick steps, centred panelled door with sidelights flanked by sash windows topped with a hipped roof with two face brick chimneys. The residences also include a number of mature Canary Island date palms (*Phoenix canariensis*). While there are minor differences decorative elements such as the verandah posts and filigree detailing, porch awning profiles, timber corbels, and face chimney brickwork, the residence's form an overall cohesive group with the exception of 39 Park Road which has seen recent refurbishment work that has removed most of the decorative porch elements.

Other style types located along the main portion of Park Road include the Federation era residence at 23 Park Road with Arts and Crafts influences, and Victorian era residence at 29 Park Road with a distinct timber filigree.



Figure 15. 23 Park Road, Maryborough.



Figure 16. 29 Pak Road, Maryborough.



Figure 17. 35 Park Road, Maryborough.



Figure 18. 37 Park Road, Maryborough.

The housing stock within the precinct presents a large, unified group of intact residences representative of the late Victorian, Federation, and Inter-war periods. The residences typically present a highly intact front facade arrangement, roof form, and detailing. While the residences consist of a wide range of massing and forms specific to their stylistic period, they present a strong and consistent wide setback, further emphasised by generally contributory albeit varied low front fences and walls. Highly intact and contributory front fences include the bluestone base with cast iron palisade and posts at 7 Park Road, bluestone wall at 19 Park Road, Cypress hedge at 21 Park Road, and a number of timber picket fences at 17, 31, 33 Park Road.

Non-contributory residences including Post-War austerity residences are located at 181, 187 and 31 Park Road, however they already remain recessive with their setbacks and styles and are not visually prominent within the wider landscape. The presence of unsympathetic alterations to individual contributory properties are also relatively minor within its wider context of the precinct with the exception of one residence at 13 Park Road which is a Federation era residence with substantial second storey additions.

Alterations and Additions

- Residences commonly include later rear additions and extensions including garages. However, they are typically not visible from the public domain along Park Road. Some exceptions include the highly altered residence at 5 Park Road which includes extensive

relandscaping, new tennis court, and high brick wall along Park Road. This represents the most altered eastern facade along the otherwise row of largely unobstructed front yards along Park Road.

- Other structural extensions visible from Park Road include the gable shed at 23 Park Road, brick garage at 25-27 Park Road, gabled extension at 35 Park Road, and carport at 244 Park Road.*
- Altered, non-sympathetic front fence and walls include at 240, 5, 9, 13 Park Road.*
- Post-war infill development at 181, 187, 13 and 31 Park Road.
- Substantial second storey addition with a curved roof dormers at 13 Park Road.*
- Some removal of original detailing seen at 5 and 39 Park Road.

Therefore, the Park Road Precinct is considered to be in good condition and is of high integrity overall.

** Denotes element that detracts from the cultural significance of the place.*

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

opening of the Queen Anne Revival style Maryborough Railway Station (HO134/VHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

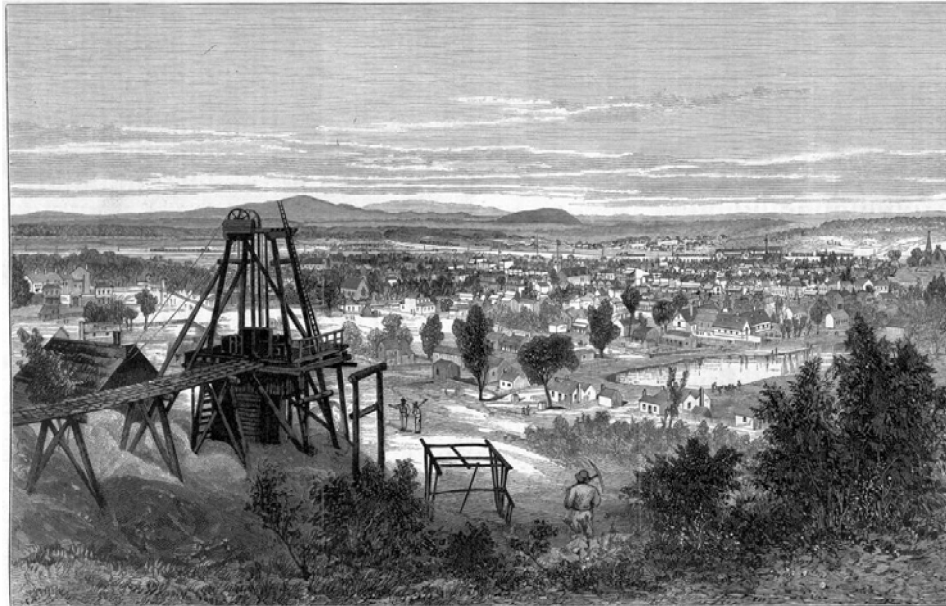


Figure 20. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Pty Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The development of the Park Road Precinct predates the establishment of Princes Park in 1863. Prior to the gazetting of Princes Park as a formal cricket and recreation ground in 1863, the portion that would become the park was occupied by the Main Lead and Blackman's Lead, making this site one of the main mining landscapes within the township of Maryborough. During the Gold Rush of the 1850s, Park Road was a major thoroughfare linking the Maryborough Diggings north with Dunolly and the broader Golden Triangle, comprising Dunolly, Moliagul, and Tarnagulla.

The importance of Park Road to Maryborough can also be recognised in the 1855 Government survey of Maryborough shown in Figure 21, which shows Park Road as an original continuation of High Street with early residences constructed facing the mining landscape. The same survey shows the land as being subdivided into rectilinear lots fronting the then High Street and backing onto Clarendon Street. However, an additional District Plan from the same year which shows the cricket reserve opposite Nightingale Street also shows the realignment of the northern portion of High Street which coincided with already established residences. These structures are in turn labelled as 'Cancelled', and the original road alignment is labelled as 'Original line of road cancelled' (Figure 21). With this, though there were buildings present on Park Road as early as 1855, it appears that a great number of them were removed following the realignment of the road. Yet, in the 1870s, F.W. Niven & Co. completed a lithograph of Maryborough which shows a collection of properties located on Park Road. None of the residential buildings shown north of Nightingale Street appear to be those currently represented today, however 238 High Street is shown, with twin roof hips and a parapet, in line with the southern boundary of Princes Park (Figure 22).

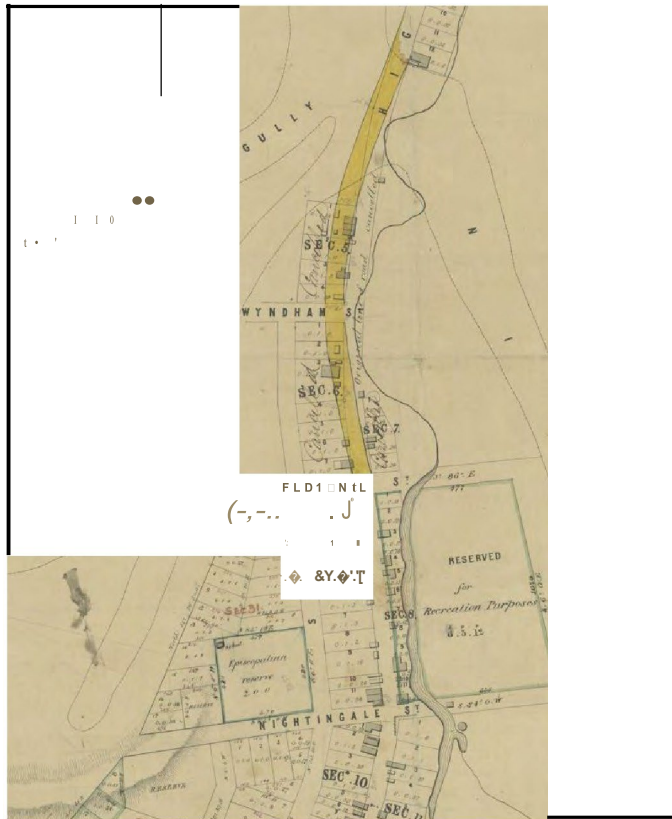


Figure 21. 1855 Government Survey of Maryborough, showing the Main Lead to the east of High Street (Park Road), and the road realignment in yellow with the 'cancelled' blocks. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

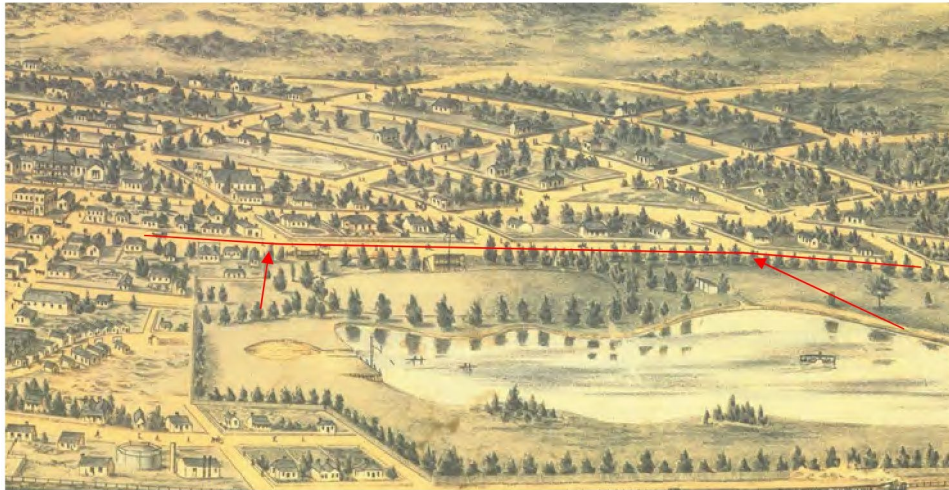


Figure 22. c.1870s view of Maryborough, cropped to look west over Princes Park and Park Road immediately behind the Pavilion. Source: Niven, F. W. c.1886. *View of Maryborough, Victoria, Australia*. Lithograph. In CGSC Art Gallery. Central Goldfields Shire.

Following the reservation of Princes Park and conversion of the mining landscape into a public recreational reserve, by the mid-1860s the northern portion of High Street was later renamed Park Road. Between this time and the turn of the century, the portion of Park Road north of Tuaggra Road and Holyrood Street was subject to substantial development characterised by large, stately properties and some commercial properties. The second wave of Late Victorian buildings and turn of the century residences that followed the initial 'cancelled' structures includes 5-9, 15-23, 29, and 33-39 Park Road. The construction dates for these dwellings are: 3-5 Park Road (1887-1888); 7 Park Road (1888) (shown in Figure 24); 9 Park Road (1892-1893); 13 Park Road (1884, with later 1930 alterations); 15 Park Road (1890); 17 Park Road (1887); 19 Park Road (1889); 21 Park Road (1890); 23 Park Road (1886); 29 Park Road (1895-1896); 33 Park Road (1891); 37 Park Road (1894-1895); 39 Park Road (1891-1892). Additional Late Victorian Buildings included within the Precinct, but in the northern end of High Street before it transitions into Park Road, include 179 High Street (pre-1885), 183 High Street (1885-1890), and 185 High Street (1887).

At the turn of the century, additional dwellings were constructed that reflected many of the same architectural characteristics of the Late Victorian dwellings. Specifically, this included single fronted single-storey buildings with verandahs and hipped roofs. These places include: the elaborate and highly significant 'Hadenham' at 25-27 Park Road (1902) (shown in Figure 25); and 35 Park Road, constructed in 1900-1901. By the early twentieth century, the Edwardian and Interwar California Bungalows were becoming more prevalent, as evidenced by 189 High Street (1937), and 232 High Street (c.1920-1930), 234 High Street (c. 1920-1930), 236 High Street (c. 1920-1930), as well as 240, 242 and 244 High Street which remain undated but were constructed during the same period.

Of specific interest in the development of the Park Road Precinct are the properties at 3-5, 7 and 25-27 Park Road. These buildings historically represent some of the most elaborate

residential examples within the precinct and represent the historical affluence of the people who constructed them.

Commercial structures that were built within the Precinct include the Park Hotel Maryborough, at 191-195 High Street, as well as a store and residence at 1 Park Road.

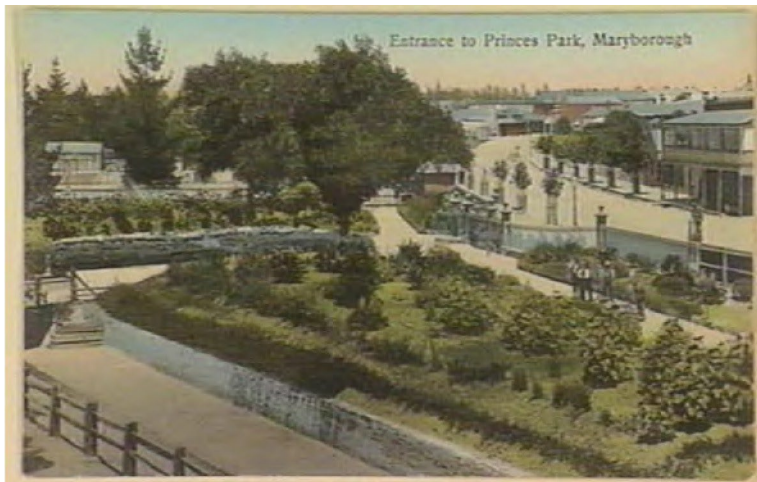


Figure 23. c.1908 postcard of Princes Park, Maryborough. *Source:* Unknown. c.1908. *Entrance to Princes Park, Maryborough*. Postcard: printed. In series: J. D. Meade postcard collection. Accession No.: H33672/66. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE22068720&mode=browse>.

Buildings in the Park Road Precinct illustrate the range of buildings designed in the 1880s to the 1900s were typically designed for the town's upper-class residents. This is reflected in the significant graded properties at 3-5 and 7 Park Road, both highly elaborate Late Victorian villas constructed and occupied by some of Maryborough's affluent citizens. Moving into the 20th century, *Hadenham* at 25-27 Park Road illustrates the ongoing emphasis of affluent development on Park Road. Opposite 19 Park Road is Bills Horse Trough, which is the only drinking trough remaining in Maryborough (Bick et al. 1992). Constructed in 1892-93, it is a tangible representation of Maryborough's local infrastructure predating the emergence of motorcars.

Local grocers Selina and Richard Earl were the original owners of four residences on Park Road, at 11, 17, 19 and 21 Park Road. Built between 1887 and 1893, three of the four houses were constructed of brick and some were built with the same cast iron frieze (Bick et al. 1992). The ownership of these multiple properties, with a prestigious park side location, demonstrates the prominence of local merchants at that time. 33 and 35 Park Road were also owned by grocers. The elaborate timber decoration of 35 Park Road reflects the economic affluence of local business people (rather than gold miners) during the nineteenth and twentieth centuries.

The Precinct today is primarily residential, with some commercial premises including the two-storey rendered brick Victorian era building at 238 High Street and the two-storey Federation

era hotel at 191-195, as well as the single-storey brick and weatherboard group of shops at the junction of Park Road and Nightingale Street.

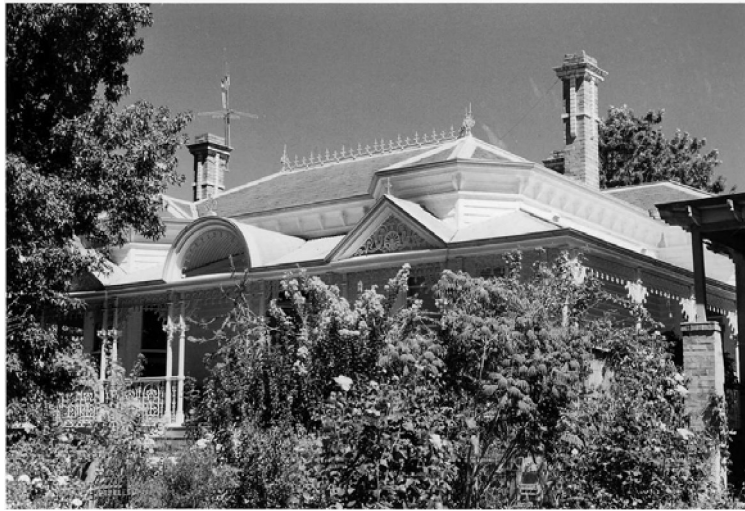


Figure 24. 1973 photograph of 7 Park Road, Maryborough. *Source:* Collins, John T. 1973. *Maryborough House, 7 Park Road*. Photograph: gelatin silver. In series: J. T. Collins collection. Accession No.: H98.250/135. State Library of Victoria. <https://viewer.slv.vic.gov.au/?entity=IE5662351&mode=browse>.



Figure 25. 1973 photograph of 27 Park Road, Maryborough. *Source:* Collins, John T. 1973. *Maryborough House, 27 Park Road*. Photograph: gelatin silver. In series: J. T. Collins collection. Accession No.: H98.250/136. State Library of Victoria. <https://viewer.slv.vic.gov.au/?entity=IE5695102&mode=browse>.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

With streetscapes primarily comprised of a mixture of post-1890s Victorian and early twentieth century Federation and interwar era houses, the Park Road Heritage Area Precinct illustrates steady residential growth in Maryborough as the economy transitioned from goldmining to manufacturing. As with examples in Maryborough, late nineteenth and early twentieth century residential areas in surrounding goldfield towns are similarly characterised by rows of freestanding, modest and substantial weatherboard and brick residences set on generous allotments located in affluent pockets of the original township. This character parallels with historical developmental patterns associated with the Gold Rush and its aftermath. In the absence of comparable mid-scale goldfields towns and heritage places within the Central Goldfields Shire that are outside of Maryborough, these precincts provide a supplementary benchmark to substantiate the relative significance of the Park Road Precinct.

The Park Road Precinct exhibits affluent development opposite a public reserve, a trend that is replicated commonly across Victorian municipalities and is not reserved exclusively to the Central Victorian Goldfields. However, due to the nature of rural Heritage Overlays, precinct boundaries predominately do not discern between generic significant precincts and specific precincts opposite recreational reserves.

Other comparable examples of similar precincts include:

- **Dowling Street Heritage Precinct, Ballarat City (H0185).** The Dowling Street Heritage Precinct is an intersection of three streets, being Gregory Street, Dowling Street and Wendouree Parade, north of Lake Wendouree. The Precinct is largely characterised by substantial and intact Late Victorian and Interwar residences, with some mature street plantings. Comparable elements with the Park Road Precinct include the early subdivision and sale of the blocks in the Dowling Street Heritage Precinct, dating from the mid-1850s, and the built form of the residences with the Park Road Precinct similarly characterised by Late Victorian and Interwar residences. Further, both precincts proximity to public gardens or recreational reserves, with the Dowling Street Heritage Precinct directly informed by Lake Wendouree, a place of historical and contemporary public recreation, and the Park Road Precinct directly informed by the presence of Victoria Gardens. However, of the two examples, the Park Road Precinct is considered to be more intact and with higher integrity than the Dowling Street Heritage Precinct. What is more, the structures represented on Park

Road are of a higher aesthetic value than those recorded on Dowling Street and exhibit deeper setbacks with more formal street plantings.

- **Barnard Street Bendigo, City of Bendigo (H01).** The Barnard Street Precinct, though significantly larger and disparate than the Park Road Precinct, is still comparable to the Maryborough Park Road Heritage Area as two precincts whose development was greatly informed by the presence of a substantial and significant public reserve. The Barnard Street Precinct was developed directly opposite the Bendigo Diggings and Bendigo Creek, which were later reserved for Rosalind Park in the nineteenth century. This theme correlates directly with the development of Park Road, which was developed opposite a mining landscape which was later beautified into Princes Park. The properties represented directly opposite Rosalind Park within the Barnard Street Precinct are substantial Late Victorian, Edwardian and some Interwar residences of varying heights, built both in brick masonry and weatherboards, with hipped roofs and some examples exhibiting elaborate wrought iron lacework. Of both precincts, the Park Road Precinct is considered to be a more intact and legible example of an affluent park-side precinct, more clearly exhibiting the themes of affluent development informed by the recreational reserve. What is more, the boundary of Barnard Street precinct is disrupted by individual Heritage Overlay places, as opposed to Significant gradings within the precinct. With this, the Park Road Precinct is considered to be a more cohesive and legible example of this type of precinct, with equally significant buildings as represented in Bendigo.

An additional comparable area within the township of Maryborough are the residences constructed opposite Phillips Gardens which also reflect the development of affluent residences opposite public gardens. The residences at 76-82 Napier Street, east of Inkerman Street and directly south of Phillips Gardens, have been informed by the presence of the Phillips Gardens and are populated with buildings ranging from Late Victorian to intact Interwar residences. However, within Maryborough, the Park Road Precinct is still considered to be a more intact and elaborate example of this period of development, superior to that exhibited opposite Phillips Gardens.

Precinct Map

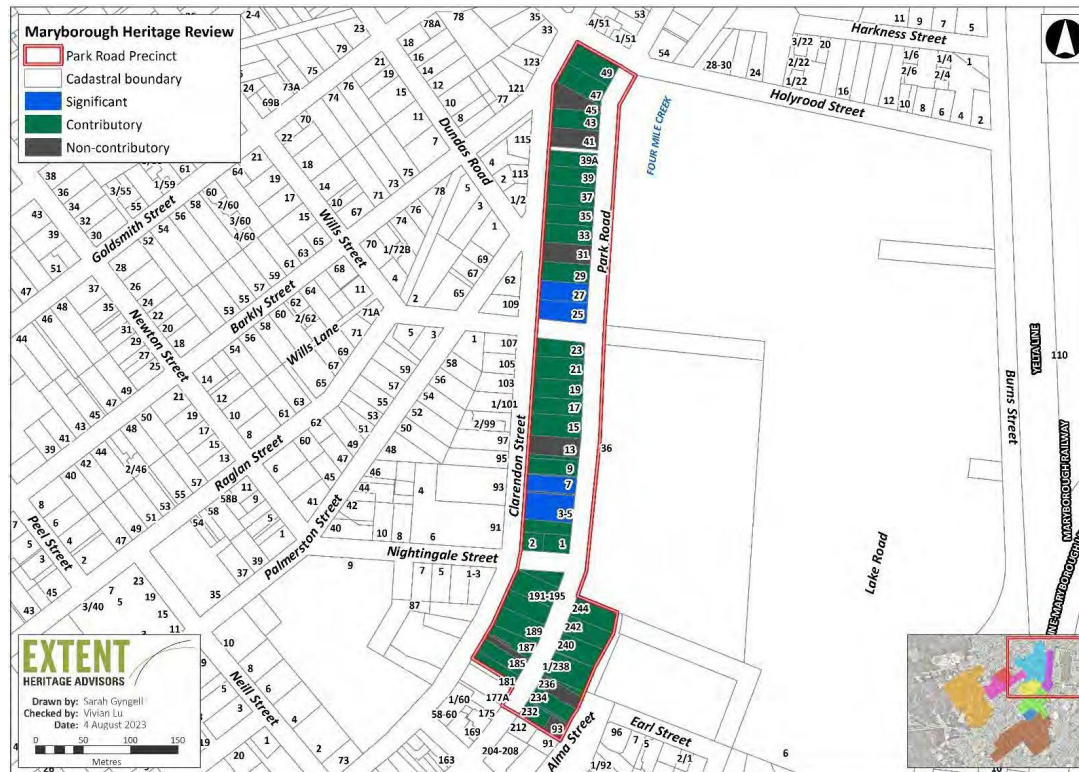


Figure 26. Map showing individual property gradings within the Maryborough Park Road Heritage Area Precinct.

Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era(s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
1-2 Nightingale Road, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
1 Park Road, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
3-5 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	S
7 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	S
9 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
13 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	N/C (highly altered)
15 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
25-27 Park Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	S
29 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	N/C
33 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
35 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
39 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
41 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	N/C
43 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	C
45 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	N/C
47 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
49 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	C
55 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
183 High Street, Maryborough	Residential	Victorian Period (1851-1901)	C
185 High Street, Maryborough	Residential	Victorian Period (1851-1901)	C
187 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
189 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
191-195 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
232 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
234 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
236 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
238 High Street, Maryborough	Residential	Victorian Period (1851-1901)	C
240 High Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
242 High Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
244 High Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

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The Argus (Melbourne).

The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 27. 1-2 Nightingale Street, Maryborough..



Figure 28. 3-5 Park Road, Maryborough.



Figure 29. 7 Park Road, Maryborough.



Figure 30. 7 Park Road Maryborough.

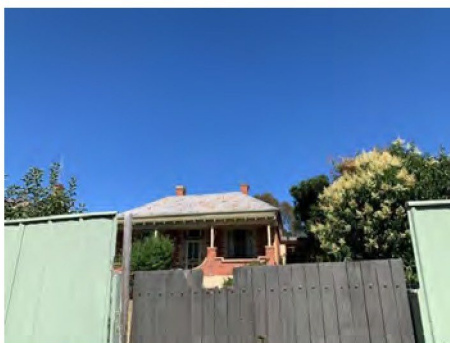


Figure 31. 9 Park Road, Maryborough.

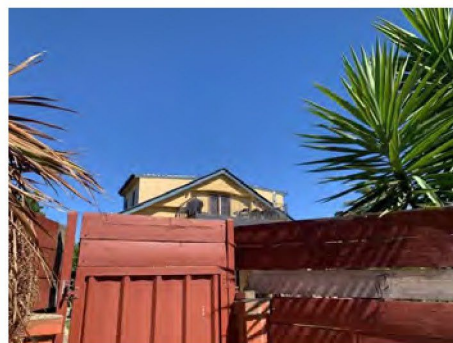


Figure 32. 13 Park Road, Maryborough.



Figure 33. 15 Park Road, Maryborough.



Figure 34. 17 Park Road, Maryborough.

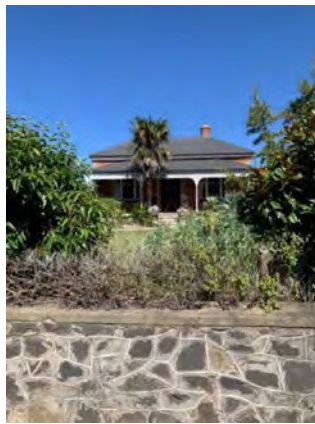


Figure 35. 19 Park Road, Maryborough.

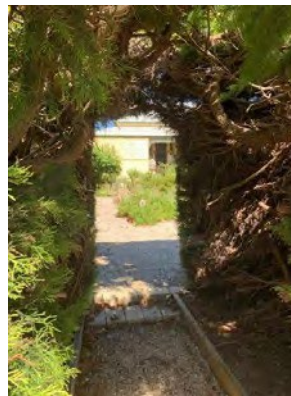


Figure 36. 21 Park Road, Maryborough.



Figure 37. 23 Park Road, Maryborough.



Figure 38. 25 Park Road, Maryborough.



Figure 39. 27 Park Road, Maryborough.



Figure 40. 29 Park Road, Maryborough.



Figure 41. 31 Park Road, Maryborough.



Figure 42. 33 Park Road, Maryborough.



Figure 43. 35 Park Road, Maryborough.

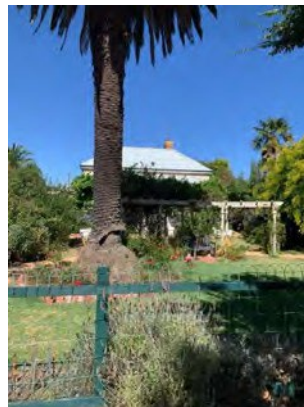


Figure 44. 37 Park Road, Maryborough.



Figure 45. 39 Park Road, Maryborough.



Figure 46. 51 Park Road, Maryborough.



Figure 47. 53 Park Road, Maryborough.



Figure 48. 54 Park Road, Maryborough.

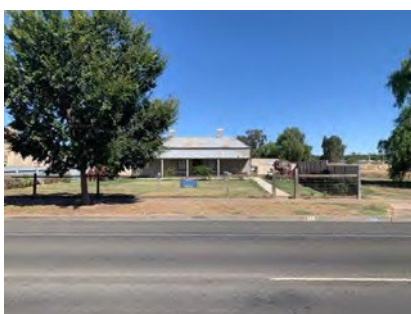


Figure 49. 55 Park Road, Maryborough.



Figure 50. 177A Park Road, Maryborough.



Figure 51. 179 Park Road, Maryborough.

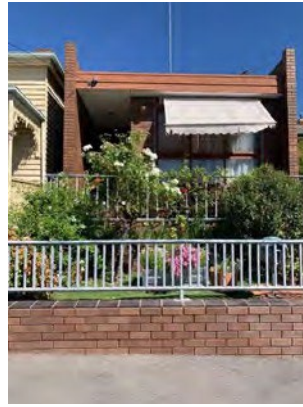


Figure 52. 181 Park Road, Maryborough.



Figure 53. 183 Park Road, Maryborough.



Figure 54. 185 Park Road, Maryborough.



Figure 55. 187 Park Road, Maryborough.



Figure 56. 189 Park Road, Maryborough.



Figure 57. 191 Park Road, Maryborough.



Figure 58. 232 Park Road, Maryborough.



Figure 59. 234 Park Road, Maryborough.



Figure 60. 236 Park Road, Maryborough.



Figure 61. 238 Park Road, Maryborough.



Figure 62. 240 Park Road, Maryborough.

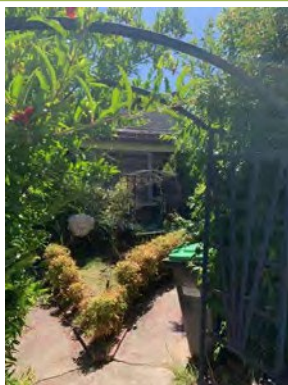


Figure 63. 242 Park Road, Maryborough.



Figure 64. 244 Park Road, Maryborough.

Raglan Street Precinct

Heritage Place: Raglan Street Precinct

HO Reference: TBA

Date updated: 9 January 2024

Address: 2-4 & 3 Peel Street, 11-57 & 54-58 Raglan Street, 82-88 Kars Street, 1-19 & 2-20 Barkly Street, 83-101 & 86-90 Inkerman Street, Maryborough



Figure 1. Oblique view of Raglan Street, looking southwest.

Item Group: Residential Buildings

Key Theme: Building towns, cities and the garden state

Item Type: Residential Precinct

Key Sub-theme: Living in country towns

Designer: N/A

Construction: c.1870-1940

Builder: N/A

Style: Victorian, Federation and Interwar

Significance Level: Local

Controls: **Q** External paint controls

0 Internal alteration controls

Tree controls [Five mature English Oaks (*Quercus robur*) along Raglan Street reserve and the Moreton Bay Fig (*Ficus macrophylla*) at 35 Raglan Street].

0 Included on Victorian Heritage Register

Q Incorporated Plans

Outbuildings and fence not exempt

-
- ☐ Prohibited uses may be permitted
 - ☐ Aboriginal Heritage Place
 - ☐ Solar energy system controls

Curtilage

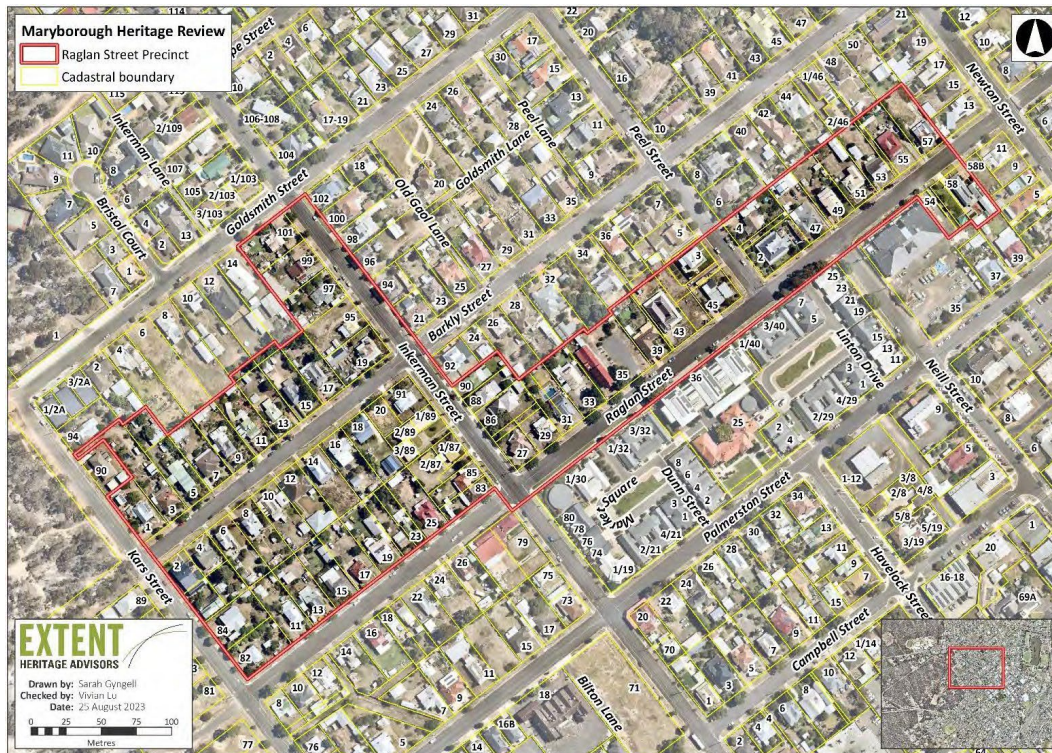


Figure 2. Aerial map showing boundary of Raglan Street Precinct.

Statement of Significance

What is significant?

The Raglan Street Precinct, comprising a large residential precinct with a church, bounded by Raglan Street, Peel Street, Inkerman Street and Barkly Street, Maryborough, is locally significant.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 25, 35 and 43 Raglan Street, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotment patterns created by the nineteenth and twentieth century subdivisions;
- The Victorian-era church, formerly known as the Congregational Church, at 35 Raglan Street, designed in the Late Victorian style with Gothic Revival elements;
- The variety of both restrained and elaborate freestanding Victorian era residences characterised by hipped roof forms, weatherboard or face brick with one example of extensive decorative render, deep wraparound verandahs, timber fretwork or cast-iron lacework, corbelled chimneys, decorative brackets and timber joinery;
- The variety of freestanding Federation era residences characterised by decorative projecting gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, hipped and gabled roofing clad in corrugated sheet metal, and timber sash windows;
- Interwar era development including a mixture of California bungalow forms and Spanish Mission residences, many with Classical Revival elements, and primarily characterised by hipped roof forms, weatherboard or brick and stucco walls, brickwork detailing and timber framed sash windows. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;
- The general uniformity of allotments, setbacks and low-scale building heights across the housing stock;
- Sympathetic front fences and walls typically of low brick walls to Interwar era residences and timber picket fences to Victorian and Federation era residences.
- The five mature English Oaks (*Quercus Robur*) along Raglan Street reserve, starting outside the former Congregational Church, and the Moreton Bay Fig (*Ficus macrophylla*) at the former Congregational Church, 35 Raglan Street.

How is it significant?

The Raglan Street Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Raglan Street Precinct is of historical significance to the township of Maryborough as a mid-nineteenth century subdivision between the former Gaol site and the Civic square on Palmerston Street. The Raglan Street Precinct reflects the early development of the township with an emphasis on residential and community pursuits as reflected in the variety of Victorian era houses and former Congregational Church, and also reflects the ongoing development of the township through the late nineteenth century to early twentieth and interwar years, showing the township's evolution from a Gold Rush town to an industrial town. (Criterion A)

The Raglan Street Precinct is of aesthetic significance to the township of Maryborough and the broader Central Goldfields Shire Council as a highly intact residential precinct characterised by both restrained and elaborate Victorian dwellings, Federation residences and Interwar California Bungalows. The Victorian dwellings are typically constructed in weatherboard, and the more restrained dwellings are single storey cottages with gabled roofs clad in corrugated iron, with simple skillion verandahs. The more elaborate dwellings show affluence through their detailing including features such as expressive moulded detailing including architraves with keystones and festoons, tall parapets, elaborate Italianate chimneys, wrought iron lacework, wraparound verandahs with ornately detailed posts and deep setbacks. The Federation-era residences are largely constructed in weatherboard; however, they show decorative use of projecting gable ends and in some late examples Spanish Mission influences through the use of rendered porches. The precinct is also characterised by Interwar California Bungalows, constructed following the typical typology of bungalow design, being a substantial rectilinear form with an emphasis on verandahs and a large gabled roof with deep eaves and a shallow pitch. Most bungalows are constructed in brick masonry, and some have decorative render and pier verandah posts. Mature tree specimens such as the five English Oaks (*Quercus robur*) along Raglan Street reserve and the Moreton Bay Fig (*Ficus macrophylla*) outside the former Congregational Church also contribute to the aesthetic significance to the precinct. The combination of all the above styles, with each their own complimenting characteristics, make for a highly intact and aesthetically pleasing precinct not only to the township of Maryborough but to the broader municipality. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Raglan Street Precinct is of historical significance to the township of Maryborough as a mid-nineteenth century subdivision between the former Gaol site and the Civic square on Palmerston Street. The Raglan Street Precinct reflects the early development of the township with an emphasis on residential and community pursuits as reflected in the variety of Victorian era houses and former Congregational Church, and also reflects the ongoing development of the township through the late nineteenth century to early twentieth and interwar years, showing the township's evolution from a Gold Rush town to an industrial town.
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<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The place does not meet this criterion.
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics</i>	<p>The Raglan Street Precinct is of aesthetic significance to the township of Maryborough and the broader Central Goldfields Shire Council as a highly intact residential precinct characterised by both restrained and elaborate Victorian dwellings, Federation residences and Interwar California Bungalows. The Victorian dwellings are typically constructed in weatherboard, and the more restrained dwellings are single storey cottages with gabled roofs clad in corrugated iron, with simple skillion verandahs. The more elaborate dwellings show affluence through their detailing including features such as expressive moulded detailing including architraves with keystones and festoons, tall parapets, elaborate Italianate chimneys, wrought iron lacework, wraparound verandahs with ornately detailed posts and deep setbacks. The Federation-era residences are largely constructed in weatherboard; however, they show decorative use of projecting gable ends and in some late examples Spanish Mission influences through the use of rendered porches. The precinct is also characterised by Interwar California Bungalows, constructed following the typical typology of bungalow design, being a substantial rectilinear form with an emphasis on verandahs and a large gabled roof with deep eaves and a shallow pitch. Most bungalows are constructed in brick masonry, and some have decorative render and pier verandah posts. Mature tree specimens such as the five English Oaks (<i>Quercus robur</i>) along Raglan Street reserve and the Moreton Bay Fig (<i>Ficus macrophylla</i>) outside the former Congregational Church are also of aesthetic significance to the precinct. The combination of all the above styles, with each their own complimenting characteristics, make for a highly intact and aesthetically pleasing precinct not only to the township of Maryborough but to the broader municipality.</p>

F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Raglan Street Precinct occupies a linear extent of land with residences along Raglan Street, Inkerman Street, Barkly Street and Kerr Street. The precinct is characterised by a wide, open streetscape and nature strips, with concrete kerbing, footpaths, and crossovers. The nature strips are generally planted with a variety of interspersed street trees. A row of five mature English Oaks (*Ficus macrophylla*) are located along the Raglan Street reserve, starting outside the former Congregational Church, at 35 Raglan Street.

Residences forming part of the precinct along Raglan Street are situated along its northern side and comprise a varied group of Victorian, Federation, and Interwar era residences. Victorian residences typically consist of modest single or double fronted weatherboard clad cottages including at 11, 13, 17, 21, 23, 51, 55, 57, and 56-58 Raglan Street. A notable example of Victorian residences along Raglan Street is 25 Raglan Street, as a representative and intact example of a single fronted weatherboard cottage with a high-pitched hipped roof, intact chimneys, bullnosed front awning and verandah with ornately detailed posts and cast-iron lacework. 15 Raglan Street also features a distinct deep and low-pitched roof form reflecting a homestead style roof with gablets. 43 Raglan Street comprises of a Victorian Italianate residence featuring a return front verandah with ornate cast iron lacework, hipped slate roof with intact chimneys, a highly detailed double fronted facade with a projecting bay, triple arched sash windows, expressive moulded detailing including architraves with keystones and festoons, and a raised front parapet with dentils imitating a baluster form.



Figure 3. 29 Raglan Street, Maryborough.



Figure 4. 25 Raglan Street, Maryborough.



Figure 5. 15 Raglan Street, Maryborough.



Figure 6. 43 Raglan Street, Maryborough.

Additional residences along Raglan Street include a group of Federation and Interwar residences. Federation weatherboard residences can be observed at 19 and 33 Raglan Street while more substantial Californian Bungalows are located at 31, 47 and 49 Raglan Street. These residences present fine dichromatic brickwork detailing with deep front porches flanked by squat and tapering columns. Additionally, the Interwar era residence at 53 Raglan Street presents a symmetrical facade with flanking weatherboard clad open gables and a centred Spanish Mission style front porch. The distinct arrangement is also observed within the precinct at 16 Barkly Street.



Figure 7. 31 Raglan Street, Maryborough.



Figure 8. 49 Raglan Street, Maryborough.



Figure 9. 53 Raglan Street, Maryborough.



Figure 10. 16 Barkly Street, Maryborough.

Raglan Street includes the Seventh Day Adventist Church, formerly the Congregational Church, located at 35 Raglan Street. Constructed by 1866, the open gable face red brick church features a centred porch with paired lancet windows, a larger rose window, and Gothic style bargeboards. Forming part of the precinct are three residences along Peel Street, extending northwest from Raglan Street. They include Victorian cottages at 2 and 3 Peel Street.



Figure 11. 35 Raglan Street, Maryborough.

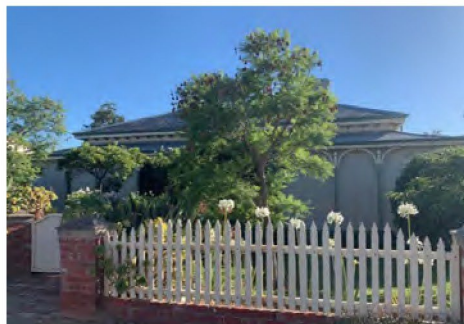


Figure 12. 2 Peel Street, Maryborough.

Inkerman Street extends northwest from Raglan Street, bisecting the precinct. Residences along Inkerman Street largely consists of Federation era residences generally comprising single or double fronted, brick or weatherboard cottages. This can be observed at 86, 88, 90, 95, 97, 99 and 101 Inkerman Street. The residences typically include a front verandah with simple timber detailing. Double front residences include projecting half-timbered open gable bays or porticos. In addition, Inkerman Street contains a modest single-fronted weatherboard Victorian cottage located at 91 Inkerman Street that is situated on a corner allotment and features a bullnose verandah with ornate cast iron lacework and symmetrical fenestration.



Figure 13. 88 Inkerman Street, Maryborough.



Figure 14. 97 Inkerman Street, Maryborough.



Figure 15. 91 Inkerman Street, Maryborough.

The Raglan Street Precinct includes residences on both sides of Barkly Street, bounded by the junctions with Kars Street and Inkerman Street. Residences along Barkly Street mostly comprise of Victorian era residences. As with the housing stock within the precinct, the Victorian residences comprise of modest single fronted symmetrical or double fronted cottages of weatherboard construction. This can be observed at 1, 5, 6, 8, 9, 10, 11, 14 and 17 Barkly Street. Also represented along Barkly Street are some Federation and Interwar era residences at 2, 4, 13, 15, 16, 17, and 18 Barkly Street.



Figure 16. 14 Barkly Street, Maryborough.



Figure 17. 15 Barkly Street, Maryborough.

The housing stock within the precinct presents a diverse group of single-storey Victorian and Federation/Edwardian residences. However, the streets have a largely consistent characteristic with the predominant housing styles along Barkly Street being from the Victorian era and Inkerman Street being from the Federation era. Raglan Street presents a mix of both Victorian and Federation era, with some Interwar era residences. Residences within the precinct generally present varied setbacks with low front fences or open front yards. Sympathetic front fences and walls typically consist of low brick walls to Interwar era residences and timber picket fences to Victorian and early Federation era residences.

There is some incursion of non-contributory Post-war austerity and contemporary residences within the precinct. Other highly visible alterations within the precinct include the addition of non-contributory front walls and fences. Several residences also present non-sympathetic front additions.

Alterations and Additions

- Non-contributory front wall or fence addition at No. 11 Barkly Street, 99 and 101 Inkerman Street, and 13, 17, 25, 29, 43 Raglan Street.
- Intrusive front additions to residences at No. 8 Barkly Street, 21, 33, 51 Raglan Street.
- Solar panel or HVAC additions highly visible from the public domain at No. 19 and 31 Raglan, 95 Inkerman Street, and 1 Barkly Street.
- Contemporary residential development at No. 83-85, 87 and 89 Inkerman Street, and 54 Raglan Street.
- Non-contributory Post-war residential development at No. 3, 7, 12 Barkly Street, and 27, 39, 45 Raglan Street.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 18. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AF98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

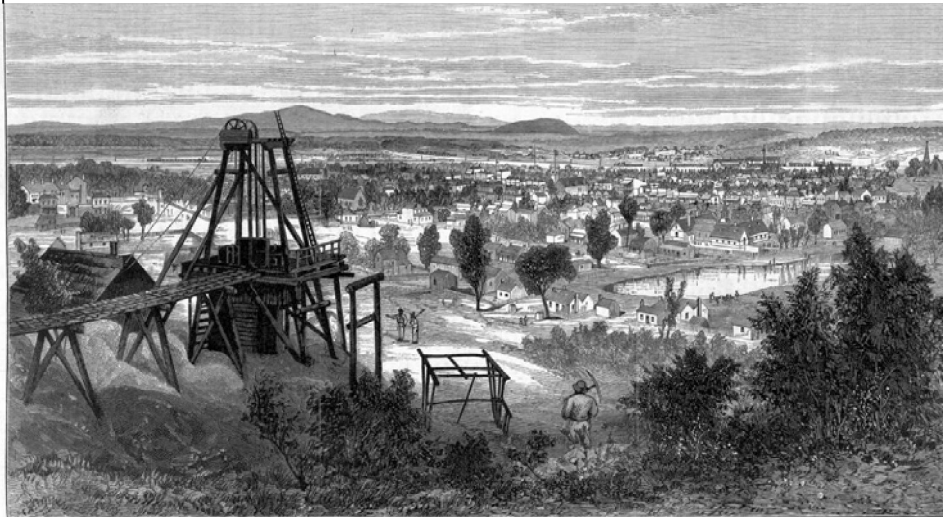


Figure 19. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

The Maryborough parish maps indicate a pattern of when the individual lots were first purchased from the Crown. The street blocks in the precinct consisted of individual allotments typically measuring 1 rood, which is $\frac{3}{4}$ acre. The 2, 3 and 4 Peel Street allotments were first purchased from the Crown in 1858. Those between 17 and 58 Raglan Street were first purchased between 1855 and 1870, with 11-15 Raglan Street purchased between 1905 and 1930. In the Inkerman Street section of the precinct, the allotments were first purchased between 1858 and 1873. As for Barkly Street, the first allotments sold were located close to Inkerman Street and purchased in 1858, lots further away at the Kars Street end that are 2-10 Barkly Street were purchased in 1888, with 82-84 Kars Street purchased in a similar time period. The remaining Barkly Street lots on the northern side of the street were purchased gradually over time in relation to their distance from Inkerman Street, specifically 7 Barkly Street in 1901 and 1-3 Barkly Street in 1927. This pattern illustrates the extended time period of land purchases within the precinct, indicating a slow uptake of residential allotments in Maryborough's history.

One of the earliest structures present within the precinct is the former Congregational Church at 35-37 Raglan Street, shown present as early as 1866 (Figure 20). The same photo shows early residences to the east and west of the Church, since demolished. The Church is shown again in 1909 (Figure 21) and again in 1926 showing the late Victorian and Federation-era residences within the precinct prior to Interwar development. Prior to the Interwar era development, the house blocks are shown as substantial allotments, heavily vegetated with mature remnant box gums.

The pattern of allotment purchases does not directly correspond with the building dates for the residences and the church at 35-37 Raglan Street. A similar broad time range exists in relation to when the houses were built, and the many modest residences in the precinct reflect adequate funds for building rather than a greater investment brought about from affluence. The 1992 Maryborough Heritage Study implies that those that profited from the goldfields tended not to remain in town (Bick et al. 1992). 'Auvergne' at 2 Peel Street, and on a desirable corner block, is an exception to that trend. William Fraser, **MLA** and a mining investor, commissioned Charles Toutcher to design the brick residence in 1872. The residence is notable because brick residences were unusual in Maryborough pre-1950 (Bick et al. 1992).

Following intense broader interwar and post war development, not only within the Raglan Street Precinct but across all of Maryborough, infill development became more apparent. The Precinct is still a residential precinct, and the former Congregational Church is now owned and operated by the Maryborough Seventh Day Adventist church.



Figure 20. c.1866 view of the study area, looking north, towards the former Congregational Church.
Source: Unknown. c.1866. *Congregational Church Maryboro.* Photograph: albumen silver. In series: Maryborough buildings and street scenes, ca.1886. Accession No.: H2937. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE22315693&mode=browse>.



Figure 21. 1909 view of the former Congregational Church and school building. Source:
"Congregational Church, Maryborough: Jubilee History 1859-1909" published in Maryborough, Victoria,
by Osborne and Edwards, 1909.



Figure 22. Oblique aerial view of Raglan Street in 1926 showing the former Congregational Church (background) and the elaborate boom-era residence at No. 43 Raglan Street (foreground). Source: Pratt, C. D. c.1926. *Maryborough with park in foreground*. Negative: glass. In series: Airspy collection of aerial photographs. Accession No.: H91.160/1227. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE1027285&mode=browse>.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

With streetscapes primarily comprising a mixture of mid-late Victorian residences, early twentieth century Federation and interwar era houses with later postwar infill development, the Raglan Street Precinct illustrates the steady residential growth of Maryborough economy transitioned from goldmining to manufacturing and the expansion of the central Maryborough township north from High Street and the Camp Reserve towards the old Gaol site. In addition to the few comparable residential areas on the Heritage Overlay that are located within Maryborough and the broader Central Goldfields Shire, the Raglan Street Precinct is also

comparable to late nineteenth and early twentieth residential precincts located in neighbouring municipalities.

Comparable examples include:

- **Palmerston Street Precinct, Maryborough (Central Goldfields Shire HO TBC).** The Palmerston Street Precinct is a substantial largely residential precinct comprising of structures constructed between c.1870s and 1940s. The Palmerston Street Precinct was part of the original 1855 township of Maryborough, preceding the Raglan Street Precinct, it compares well as a cohesive group of Victorian, Federation and Interwar era properties, interspersed with some postwar infill development. Although residences are generally more restrained and less intact than those represented in the Raglan Street Precinct, the Palmerston Street Precinct is nevertheless comparable as an early subdivision of Maryborough, and share similar, materials, scale, form, and detailing. The Palmerston Street Precinct also includes a church, school building and vicarage, where the Raglan Street Precinct only has a church. However, regardless of how many community buildings are present within both precincts, a shared element of mixed residential and community use is represented at both precincts. With this, though the Palmerston Street Precinct is substantially larger than the Raglan Street Precinct, both precincts are comparable to each other as late-nineteenth to early twentieth century precincts within the main township of Maryborough.
- **Western Residential Precinct, Maryborough (Central Goldfields Shire HO TBC).** The Western Residential Precinct comprises a predominantly residential area featuring streetscapes of freestanding, single-storey Victorian, Federation and Interwar era residences. Although the precinct lies completely outside the original township subdivision, it is comparable in terms of its, materials, scale, detailing and form despite variation in styles and typology. Key comparable elements include the incorporation of front verandahs in interwar and post war residences, hipped or gabled roof forms generally clad with corrugated metal, weatherboard and timber materials, the modest application of ornamentation, and generous front and side setbacks. In addition to a church and associated school building, the Western Residential Precinct also contains a commercial hotel building, a typology missing from the Raglan Street Precinct. What is more, the Western Residential Precinct is significantly larger than the Raglan Street Precinct. However, regardless of scale as was the case above with the Palmerston Street Precinct, the Western Residential Precinct is still a highly comparable to the Raglan Street Precinct as an example of a late nineteenth century to early twentieth century residential precinct in the Maryborough township.
- **Camp Reserve and Environs, Castlemaine (HO668, Mount Alexander Shire).** The Camp Reserve and Environs is comparable to the Raglan Street Precinct as a large residential area characterised by a mixture of substantially intact, modestly scaled Victorian, Federation and Interwar era residences set on generously sized allotments. The precinct contrasts with the Camp Reserve and Environs Precinct which has curved roads and the Raglan Street Precinct following a strong Roman grid. Both precincts nevertheless share consistent scales, materials, and forms, such as hipped and gabled roofs generally clad with corrugated metal, profiled chimneys, brick and timber materials, sash windows and a predominance of



front verandahs. The condition of the buildings, however, is considered to be better in the Raglan Street Precinct.

Based on the above comparative analysis, the Raglan Street Precinct is considered to be a locally significant residential precinct within the Central Goldfields Shire, comparable with other examples within the township but also in the broader Central Victorian Goldfields.

Precinct Map



Figure 23. Map showing individual property gradings within the Raglan Street Precinct.

Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era(s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
2 Peel Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Peel Street, Maryborough	Residential	Victorian Period (1851-1901)	C
4 Peel Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
11 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
13 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
21 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
25 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	S
27 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
29 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
33 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
35 Raglan Street, Maryborough	Religious	Victorian Period (1851-1901)	S
39 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
43 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	S
45 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
47 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
49 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
51 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
53 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
54 Raglan Street, Maryborough	Residential	Contemporary	NC
55 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
57 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
56-58 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
83-85 Inkerman Street, Maryborough	Residential	Contemporary	NC
86 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
87 Inkerman Street, Maryborough	Residential	Contemporary	NC
88 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
89 Inkerman Street, Maryborough	Residential	Contemporary	NC
90 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
91 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
95 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
97 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
99 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
101 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
1 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
2 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
3 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
4 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
5 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
8 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
10 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
13 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Barkly Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
16 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
17 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 24. 11 Raglan Street, Maryborough.



Figure 25. 13 Raglan Street, Maryborough.



Figure 26. 15 Raglan Street, Maryborough.



Figure 27. 17 Raglan Street, Maryborough.



Figure 28. 19 Raglan Street, Maryborough.



Figure 29. 21 Street, Maryborough.



Figure 30. 23 Raglan Street, Maryborough.



Figure 31. 25 Raglan Street, Maryborough.



Figure 32. 27 Raglan Street, Maryborough.



Figure 33. 29 Raglan Street, Maryborough.



Figure 34. 31 Raglan Street, Maryborough.



Figure 35. 33 Raglan Street, Maryborough.



Figure 36. 35 Raglan Street, Maryborough.



Figure 37. 39 Raglan Street, Maryborough.



Figure 38. 43 Raglan Street, Maryborough.



Figure 39. 45 Raglan Street, Maryborough.



Figure 40. 47 Raglan Street, Maryborough.



Figure 41. 49 Raglan Street, Maryborough.



Figure 42. 51 Raglan Street, Maryborough.



Figure 43. 55 Raglan Street, Maryborough.



Figure 44. 57 Raglan Street, Maryborough.



Figure 45. 58 Raglan Street, Maryborough.



Figure 46. 2 Peel Street, Maryborough.



Figure 47. 3 Peel Street, Maryborough.



Figure 48. 4 Peel Street, Maryborough.



Figure 49. 82 Kars Street, Maryborough.



Figure 50. 84 Kars Street, Maryborough.



Figure 51. 90 Kars Street, Maryborough.



Figure 52. 86 Inkerman Street, Maryborough.



Figure 53. 88 Inkerman Street, Maryborough.



Figure 54. 90 Inkerman Street, Maryborough.



Figure 55. 91 Inkerman Street, Maryborough.



Figure 56. 95 Inkerman Street, Maryborough.



Figure 57. 97 Inkerman Street, Maryborough.



Figure 58. 99 Inkerman Street, Maryborough.



Figure 59. 101 Inkerman Street, Maryborough.



Figure 60. 1 Barkly Street, Maryborough.



Figure 61. 2 Barkly Street, Maryborough.



Figure 62. 3 Barkly Street, Maryborough.



Figure 63. 4 Barkly Street, Maryborough.



Figure 64. 5 Barkly Street, Maryborough.



Figure 65. 6 Barkly Street, Maryborough.



Figure 66. 7 Barkly Street, Maryborough.



Figure 67. 8 Barkly Street, Maryborough.



Figure 68. 9 Barkly Street, Maryborough.



Figure 69. 10 Barkly Street, Maryborough.



Figure 70. 11 Barkly Street, Maryborough.



Figure 71. 12 Barkly Street, Maryborough.



Figure 72. 13 Barkly Street, Maryborough.



Figure 73. 14 Barkly Street, Maryborough.



Figure 74. 15 Barkly Street, Maryborough.



Figure 75. 16 Barkly Street, Maryborough.



Figure 76. 17 Barkly Street, Maryborough.



Figure 77. 18 Barkly Street, Maryborough.



Figure 78. 25 Street, Maryborough.

Western Residential Precinct

Heritage Place: Western Residential Precinct

HO Reference: TBA

Date updated: 5 February 2024

Address: Albert Street, Brougham Street, Burke Street, Burns Street, Clarke Street, Hilton Street, Inkerman Street, Kars Street, Napier Street, Nolan Street, Victoria Street, Maryborough



Figure 1. Overview of Victorian weatherboard residences at 20-22 Victoria Street, Maryborough.

Item Group: Residential Buildings

Key Theme: Building towns, cities and the garden state

Item Type: Residential Precinct

Key Sub-theme: Making regional centres

Designer: N/A

Construction: c.1875-1940s

Builder: N/A

Style: Victorian (Italianate), Federation (Bungalow), and Interwar (Bungalow, Spanish Mission, Arts and Crafts, Moderne and Old English), Post-war (Austerity)

Significance Level: Local

Controls: Q

External paint controls

0

Internal alteration controls

●

Tree controls [Row of eight London Planes (*Platanus x acerifolia*) along Napier Street reserve]

0

Included on Victorian Heritage Register

Q

Incorporated Plans

Outbuildings and fence not exempt

-
- ☐ Prohibited uses may be permitted ☐ Aboriginal Heritage Place ☒ Solar energy system controls

Curtilage



Figure 2. Aerial map showing boundary of Western Residential Precinct.

Statement of Significance

What is significant?

The Western Residential Precinct, generally bounded by Nolan Street, Albert Street, Kars Street, Herring Street, Clarke Street and the Main Drain, and primarily comprising a large residential area of Victorian, Federation and interwar residences along with a church, school and commercial building, is locally significant.

The precinct is predominantly characterised by contributory graded buildings, along with several non-contributory and significant graded buildings.

Significant properties include:

- 56 Burke Street, Maryborough;
- 39 Burns Street, Maryborough;
- 31 Inkerman Street Maryborough;
- 47 Inkerman Street, Maryborough;
- 36 Napier Street, Maryborough;
- 60 Napier Street, Maryborough;
- 24-26 Nolan Street, Maryborough;
- 36 Nolan Street, Maryborough; and
- 36 Victoria Street, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotments and subdivision patterns created by late nineteenth and twentieth century subdivisions, and subsequent development of Victorian, Federation, interwar and complementary post-war housing stock;
- The regularity and harmony of modest freestanding Victorian residences with Italianate style influences primarily characterised by weatherboard, hipped roof forms clad with corrugated metal, front verandahs supported by timber posts, modest cast iron lacework, timber framed sash windows and profiled chimneys;
- Highly ornate Victorian residences characterised by high quality brickwork or weatherboard construction, wraparound verandahs with elaborate timber fretwork or cast-iron lacework, hipped and gabled roof forms with roof finials, profiled corbelled chimneys and bracketed eaves;
- The regularity and harmony of modest freestanding Bungalow style Federation and interwar era residences primarily characterised by weatherboard, prominent gable roof forms clad with corrugated metal, front facing gable ends, front verandahs supported by brick or rendered verandah piers and balustrades, grouped windows, exposed rafter tails and timber joinery;
- The regularity and harmony of freestanding interwar residences designed in a variety of styles, including Spanish Mission Revival, Arts and Crafts, Old English, or Moderne and characterised by render or brickwork, hipped and gable roof forms clad with terracotta,

timber framed windows, and eclectic detailing including prominent loggias, shaped parapets, roughcast renders, barley twist columns and balusters;

- The Victorian church building with interwar alterations known as St Augustine's Catholic Church, characterised by bluestone construction, steeply pitched gables with glazing, buttresses, and a prominent cross spire;
- The interwar Moderne style school building known as the St Augustine's Primary School and characterised by render, a rectilinear form, hipped roof forms clad with terracotta, and a flat parapet with stepped bays.
- The Federation era commercial shop building at 47 Inkerman Street characterised by brick masonry, and a distinct parapet featuring a stepped brick course and dentils;
- The corner Victorian era pub known as the Cambrian Hotel at 24-26 Nolan Street characterised by brick construction, remnant timber framed sash windows, a gabled parapet and ornamented with moulded string course with dentils, precast scroll and finials;
- Sympathetic postwar residential development characterised by hipped roofs, weatherboard construction, stepped built forms, open verandahs, and brick chimneys. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian, Federation and interwar housing stock;
- The row of eight mature London Plane (*Platanus x acerifolia*) trees along the Napier Street reserve, from 56 Napier Street to 47 Inkerman Street.
- The retention of original and/or sympathetic low front fences of cast iron, brick and timber; and
- The general uniformity of allotments, setbacks and building heights across housing stock within the precinct.

How is it significant?

The Western Residential Precinct is of local historical and representative significance to the Central Goldfields Shire.

Why is it significant?

The Western Residential Precinct is historically significant as an intact collection of Victorian, Federation and early interwar era houses that illustrate key phases in the expansion and consolidation of the Maryborough township in the aftermath of the Victorian Gold Rush. Its residential building stock, situated outside of the original town survey and generally constructed in two distinct phases, including the late Victorian period and early twentieth period, not only demonstrates the initial expansion of the gold mining town from the c.1870s, but also the consolidation of the township throughout the late Federation and interwar years following the growth of the local manufacturing industry. The presence of more ornate middle-class housing situated east towards the commercial centre and Philips Garden, as distinct from the more modest working-class housing that characterises the Western Residential Precinct, also illustrates Maryborough's broader settlement and development patterns. Non-domestic architecture, including Victorian era commercial buildings and the St Augustine's Catholic Church and Primary School, demonstrate the associated establishment of commercial, religious and education facilities to serve the needs of the growing population. Accordingly, the Western Residential Precinct provides an important portrait of Maryborough's development as a township over the late nineteenth and early twentieth centuries. (Criterion A)

The Western Residential Precinct is of representative significance as an area composed of substantially intact and characteristic examples of Victorian, Federation, and interwar era architectural styles, common in gold mining towns within the Victorian goldfields. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit the key architectural features of their respective eras. This includes both modest and highly ornate Victorian buildings with Italianate influences characterised by weatherboard or brick construction, hipped roof forms typically clad with corrugated metal, front verandahs with cast iron lacework and supported by timber posts; Bungalow style Federation and early interwar buildings primarily characterised by weatherboard, prominent gable roofs clad with corrugated metal, front facing gable ends, front verandahs supported by brick or rendered verandah piers and balustrades, grouped windows, and exposed rafter tails and timber joinery; and interwar residences designed in a mixture of Spanish Mission Revival, Arts and Crafts, Old English, or Moderne styles and characterised by render or brickwork, hipped and gable roof forms clad with terracotta, timber framed windows, and eclectic detailing including prominent loggias, shaped parapets, roughcast renders, barley twist columns and balusters. The cohesive character of the built form of the precinct is complemented by the row of eight London Plane (*Platanus x acerifolia*) trees along Napier Street. (Criterion D)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history.</i>	The Western Residential Precinct is historically significant as an intact collection of Victorian, Federation and early interwar era houses that illustrate key phases in the expansion and consolidation of the Maryborough township in the aftermath of the Victorian Gold Rush. Its residential building stock, situated outside of the original town survey and generally constructed in two distinct phases, including the late Victorian period and early twentieth period, not only demonstrates the initial expansion of the gold mining town from the c.1870s, but also the consolidation of the township throughout the late Federation and interwar years following the growth of the local manufacturing industry. The presence of more ornate middle-class housing situated east towards the commercial centre and Philips Garden, as distinct from the more modest working-class housing that characterises the Western Residential Precinct, also illustrates Maryborough's broader settlement and development patterns. Non-domestic architecture, including Victorian era commercial buildings and the St Augustine's Catholic Church and
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		Primary School, demonstrate the associated establishment of commercial, religious and education facilities to serve the needs of the growing population. Accordingly, the Western Residential Precinct provides an important portrait of Maryborough's development as a township over the late nineteenth and early twentieth centuries.
<i>B</i>	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history.</i>	This place does not meet this criterion.
<i>C</i>	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history.</i>	This place does not meet this criterion.
<i>D</i>	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments.</i>	The Western Residential Precinct is of representative significance as an area composed of substantially intact and characteristic examples of Victorian, Federation and interwar era architectural styles, as often applied and carried out by in gold mining towns along the Central Victorian Goldfields. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit the key architectural features of their respective eras. This includes both modest and highly ornate Victorian buildings with Italianate influences characterised by weatherboard or brick construction, hipped roof forms typically clad with corrugated metal, front verandahs with cast iron lacework and supported by timber posts; Bungalow style Federation and early interwar buildings primarily characterised by weatherboard, prominent gable roofs clad with corrugated metal, front facing gable ends, front verandahs supported by brick or rendered verandah piers and balustrades, grouped windows, and exposed rafter tails and timber joinery; and interwar residences designed in a mixture of Spanish Mission Revival, Arts and Crafts, Old English, or Moderne styles and characterised by render or brickwork, hipped and gable roof forms clad with terracotta, timber framed windows, and eclectic detailing including prominent looias, shaped parapets,

		roughcast renders, barley twist columns and balusters. The cohesive character of the built form of the precinct is complemented by the row of eight London Plane ((Platanus x acerifolia) trees along Napier Street.
<i>E</i>	<i>Importance in exhibiting particular aesthetic characteristics.</i>	This place does not meet this criterion.
<i>F</i>	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period.</i>	This place does not meet this criterion.
<i>G</i>	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions.</i>	This place does not meet this criterion.
<i>H</i>	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	This place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Western Residential Precinct occupies an extensive area located southwest of the main commercial district in Maryborough. The precinct is generally bounded by Nolan Street to the east, Albert Street to the southeast, Clarke Street to the southwest, and the Main Drain alignment to the northwest. The Precinct is bisected by Inkerman Street, Kars Street, Broughton Street, and Hilton Street on a north-south axis and Victoria Street, Burns Street, Burke Street, and Napier Street on an east-west axis. The precinct is characterised by a wide, open streetscape and nature strips with concrete kerbing, footpaths, and crossovers. The nature strips are generally planted with a variety of semi-mature trees. The northern extent of the precinct borders the Philips Garden along Napier Street.

Although the precinct is primarily residential, it also features a church and school building, the St Augustine's Catholic Church and St Augustine's Primary School, at 86 Burke Street. The St Augustine's Catholic Church comprises a Victorian era church building of bluestone block construction with a prominent cross gable form and steeple (see Figure 3). The church has since been altered with interwar era ecclesiastical features, including the addition of paired high-pitched gables with glazing to the eastern and western elevations, and a distinct steel panel screen fronting the main gables. A new entrance porch was also added to the street front facade comprising an enlarged opening, steps, skillion awning, and driveway supported on four wide brick piers. Original features of the church that have been retained include the buttresses, porch at the church tower, steeple windows, roof, and cross spire. Other interwar additions also

include a single storey school building designed in a restrained Moderne style (see Figure 4). This building is distinguished by a main entrance wing with a flat parapet with stepped bays.



Figure 3. St Augustine's Catholic Church.



Figure 4. St Augustine's Primary School.

The remainder of the Western Residential Precinct features a diverse collection of Victorian, Federation, and interwar era residences, along with two non-residential commercial buildings, a church building and school building. These residences are predominantly modest in form and detailing. However, more ornate residences are located closer to Philips Garden and the town's commercial centre. Victorian residences typically comprise single fronted symmetrical or double fronted weatherboard cottages with front verandahs and simple detailing. Federation and interwar era residences are typically double fronted and are of weatherboard or brick construction with brick balustrades to the front porch. With the exception of one two storey interwar era residence at 76 Burke Street, all contributory housing stock comprises single storey residences.

The precinct presents a collection of largely identical Federation and interwar era residences. These residences typically consist of double fronted weatherboard residences with an open gable, front porch, and skillion awning across the facade. Standard in form and materiality, unifying features of note include front porches comprised of rendered masonry and various detailing, including fluted rectilinear or rounded columns above the brick posts, expressed diamond motifs, expressed panels (some with lettering), half-timbered gable with lattice, and a subtle stepped balustrade, suggesting that the residences were constructed as a group or by the same builder. These residences can be observed throughout the precinct, although they are most abundant in the southern half of the precinct along Albert Street, Victoria Street, Burns Street, and Inkerman Street, and along Napier Street to the north (see Figure 5-Figure 20).



Figure 5. 19 Albert Street, Maryborough.



Figure 6. 37 Victoria Street, Maryborough.



Figure 7. 38 Burns Street, Maryborough.



Figure 8. 20 Burke Street, Maryborough.



Figure 9. 51 Burke Street, Maryborough.



Figure 10. 65 Burke Street, Maryborough.



Figure 11. 41 Kars Street, Maryborough.



Figure 12. 43 Kars Street, Maryborough.



Figure 13. 17 Napier Street, Maryborough.



Figure 14. 20 Napier Street, Maryborough.



Figure 15. 27 Napier Street, Maryborough.



Figure 16. 33 Napier Street, Maryborough.



Figure 17. 44 Napier Street, Maryborough.



Figure 18. 46 Napier Street, Maryborough.



Figure 19. 50 Napier Street, Maryborough.



Figure 20. 58 Napier Street, Maryborough.

The precinct also includes a commercial building, the Victorian era Cambrian Hotel located at 24-26 Nolan Street, Maryborough. This single-storey corner building features partially rendered roughcast, brick (overpainted) to the side elevation, and a section unoriginal face clinker brick to the front facade. The building has a simple form and consistently arranged windows with a gabled parapet to the corner facade featuring a moulded string course with dentils, precast scroll and finials, and lettering. The hotel has undergone renovation works and exhibits contemporary, aluminium framed shopfronts on its corner facade but retains its original timber framed sash windows on its facade fronting Nolan Street. Also located along Nolan Street includes a group of high-quality interwar Arts and Crafts and Bungalow style residences at 29, 31, 33, and 36 Nolan Street. Meanwhile, Victorian era residences can be observed at 7, 15, 27, 30 and 32 Nolan Street. Due to its location along a high trafficked street, high brick front fences feature along Nolan Street.



Figure 21. Cambrian Hotel. 24-26 Nolan Street, Maryborough.



Figure 22. 29 Nolan Street, Maryborough.

Albert Street forms the southeastern extent of the precinct and comprises a group of Victorian and Federation era residences. Victorian era cottages can be observed at 13, 21, 23 and 25 Albert Street while Federation residences are located at 15, 17, 19, and 21 Albert Street.



Figure 23. 25 Albert Street, Maryborough.



Figure 24. 13 Albert Street, Maryborough.

The housing stock along Victoria Street mostly dates to the Victorian era. This includes 16, 18, 19, 20, 22, 25, 26, 28, 29, 30, 36, and 43 Victoria Street. Meanwhile, residences dating from the Federation era include 14, 24, and 37 Victoria Street. Residences are modest along Victoria Street, but a more ornate example is located at 36 Victoria Street, which consists of a substantial villa along the modest streetscape. This villa occupies a corner position and comprises a rendered masonry structure with a low-pitched hipped roof and wide return verandah. It is symmetrical in form and arrangement, with intact fenestration, corbelled chimneys, cast iron lacework, and a sympathetic front timber picket fence.



Figure 25. 36 Victoria Street, Maryborough.

Burns Street presents an even mix of Victorian, Federation, and interwar era residences. Victorian era residences are located at 28, 30, 36, 37, and 39 Burns Street, and Federation and interwar era residences at 22, 24, 38, 40 and 42 Burns Street. Distinct residences within the precinct include the interwar polychromatic face brick residence at 24 Burns Street comprising a double fronted form with a side portico and arched entrance finished with a contrasting roughcast render in a terracotta colour. Other intact residences include the Victorian weatherboard cottages at 28 and 36 Burns Street and the Federation residence at 40 and 42 Burns Street. A substantial Victorian era villa is located at 39 Burns Street. It presents Victorian Italianate influences, including a double fronted form with a projecting bay window, dichromatic brickwork detailing seen in the quoining, and cast-iron lacework to the raised return verandah. The villa is situated on a double allotment and includes a deep front setback, side tennis court, and sympathetic front fence comprising cast iron posts and palisade fencing. The residences along Burns Street and north of the street demonstrate more ornate housing developments towards Maryborough's commercial district.



Figure 26. 24 Burns Street, Maryborough.



Figure 27. 28 Burns Street, Maryborough.



Figure 28. 36 Burns Street, Maryborough.



Figure 29. 40 Burns Street, Maryborough.



Figure 30. 42 Burns Street, Maryborough.

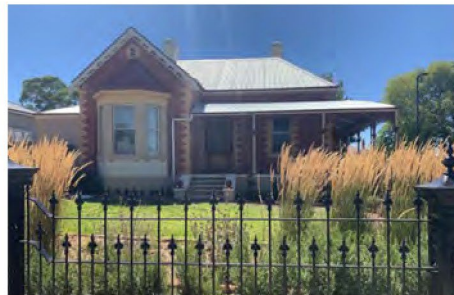


Figure 31. 39 Burns Street, Maryborough.

Inkerman Street extends north towards Philips Gardens. In keeping with development trends, the southern half of the street comprises smaller allotments with largely Victorian era single or double fronted weatherboard cottages. Larger allotments are situated north of the junction with Burns St with an increased mix of Federation dwellings showing the shift in development patterns. Victorian era residences are located at 3, 5, 8, 11, 12, 14, 19, 22, 26, 28, 30, 31, 32, 37, 39-41, 42, and 43 Inkerman Street. Meanwhile, Federation and interwar residences can be observed at 2, 9, 16, 21, 23, 25, 27, 29, 31, 33, 34, 35, 36 and 49 Inkerman Street.



Figure 32. 3 Inkerman Street, Maryborough.



Figure 33. 25 Inkerman Street, Maryborough.

Residences of note along Inkerman Street include the interwar era residence at 35 Inkerman Street with a deep front porch and thin concrete awning supported on a wide, rendered post with horizontal banding and a stepped cap above the awning level. One of the most ornate Victorian villas within Maryborough more broadly can be observed at 31 Inkerman Street. The single fronted weatherboard villa presents a symmetrical front facade with flanking open gables. A bullnosed awning extends across the front facade with a centred gable section leading to the main entrance. It is notable for its detailing comprising an ornate incised timber fretwork and valances to the front porch, patterned bargeboards, cornice with alternative brackets and festoon panels, crested cast iron ridge capping, intact chimneys, and a sympathetic front timber picket fence.

The only other commercial building in the precinct is located at 47 Inkerman Street, fronting the roundabout junction with Napier Street and the Philips Gardens. This building is a single storey corner shop dating to the Federation period and presents a simple form with the main entrance to the corner street front facade. It presents a simple detailing to the flat parapet comprising a stepped brick course and dentils.



Figure 34. 35 Inkerman Street, Maryborough.



Figure 35. 31 Inkerman Street, Maryborough.



Figure 36. 47 Inkerman Street, Maryborough.

Non-contributory post-war and contemporary residences are located along Kars Street. However, some contributory residences remain, including Victorian era residences at 8, 24, 30,

and 35 Kars Street, and Federation and interwar era residences at 12, 24, 28, 31, 39, 41 and 43 Kars Street.

Brougham Street predominantly features interwar and post-war era residences. Interwar era residences can be observed at 12, 15, 21, 23 Brougham Street. Victorian era residences are located at 17 and 27, and Federation era residences at 19 Brougham Street. Residences along both Brougham Street and Kars Street are modest in form and detailing.

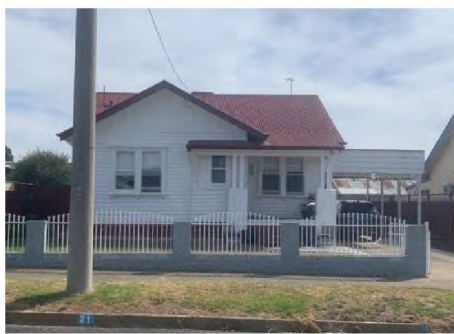


Figure 37. 21 Brougham Street, Maryborough.



Figure 38. 23 Brougham Street, Maryborough.

Burke Street and Napier Street form the main extent of the precinct extending along an east-west axis. The western extent of Burke Street, west of the junction with Hilton Street, primarily consists of single-storey Victorian weatherboard cottages with a symmetrical front facade. East from the junction with Hilton Street, the housing stock is more diverse, with more affluent residences located east of the junction with Inkerman Street.

A generously scaled Victorian villa with intact detailing is located at 48 Burke Street and consists of a double fronted weatherboard Victorian Italianate villa with projecting bay window, bracketed eaves and intact chimneys. Other intact Victorian weatherboard residences are located at 63 and 80 Burke Street. Intact examples of Federation era residences are located at 31, 32, and 83 Burke Street, presenting double fronted masonry structures with deep front porches flanked by squat columns or with timber posts, fretwork, and shingles.



Figure 39. 48 Burke Street, Maryborough.



Figure 40. 63 Burke Street, Maryborough.



Figure 41. 80 Burke Street, Maryborough.



Figure 42. 31 Burke Street, Maryborough.



Figure 43. 32 Burke Street, Maryborough.



Figure 44. 80 Burke Street, Maryborough.

Burke Street also features three of the four interwar Spanish Mission Revival style residences within the precinct. These can be found at 35, 74 and 78 Burke Street, with the other example at 80 Napier Street. These residences are characterised by prominent loggias, curved parapets, roughcast renders, and incorporation of barley twist columns and balusters.



Figure 45. 35 Burke Street, Maryborough.



Figure 46. 74 Burke Street, Maryborough.



Figure 47. 78 Burke Street, Maryborough.



Figure 48. 80 Napier Street, Maryborough.

The housing stock along Napier Street is similarly characterised by modest housing development, with more ornate residences located along the eastern extent towards Philips Garden and the commercial district. Significant Victorian era villas can be observed at 56 and 60 Napier Street. Other notable Federation and interwar era residences are located at 52 and 72 Napier Street. 52 Napier Street is characterised by a curved corner entrance bay and expressed stepped chimney breast to the front facade, while 72 Napier Street features an arched portico entrance to its side elevation and intact front brick fence.



Figure 49. 56 Napier Street, Maryborough.

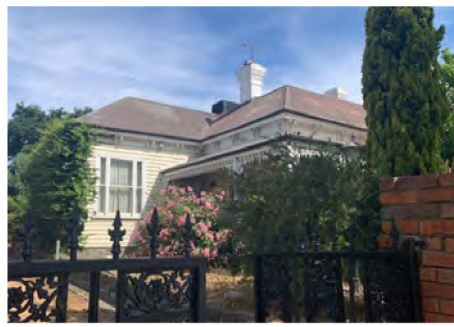


Figure 50. 60 Napier Street, Maryborough.



Figure 51. 52 Napier Street, Maryborough.



Figure 52. 72 Napier Street, Maryborough.

Sympathetic front fences typically consist of timber picket fences to Victorian and early Federation era residences, and low brick fences to late Federation and interwar era residences. However, front fences within the precinct are largely altered with numerous non-sympathetic additions, along with side or front carport or garages that are visible from the public domain.

Non-contributory post-war and contemporary residences are interspersed throughout the precinct. Also interspersed throughout the precinct are non-contributory period residences affected by non-sympathetic alterations and additions. While there are number of residences that are considered in fair to poor condition, they generally maintain their integrity. The majority of building stock within the precinct is otherwise substantially intact, having retained their original form, materials, detailing and setbacks. The Western Residential Precinct is in fair to good condition and is of moderate to high integrity overall.

Alterations and Additions

Residences generally include rear single storey extensions to various extents which are typically not visible from the public domain unless located on a corner allotment.

Residences include side or rear garage and carport additions with varied visibility from the public domain. This can be seen at 13 and 21 Albert Street, 16 and 22 Victoria Street, 30 and 36 Burns Street, 30 and 43 Kars Street, 36, 38 and 83 Burns Street, 58 Napier Street, 16 Inkerman Street, 38, 56, 59, 76, 78 and 81 Burke Street, and 21 Brougham Street.

- Solar panel additions visible from the public domain at 18 Victoria Street, 7 Nolan Street, 33 and 38 Napier Street, and 25, 29, 32, 42 Inkerman Street.
- Some non-contributory alterations to otherwise contributory residences including but not limited to the removal of original detailing, contemporary fenestration, new paint schemes, addition of unsympathetic front fences or walls.
- Post-war infill development at 27 and 29 Albert Street, 12, 21, 23, 27, 33, and 35 Victoria Street, 18, 26, 32, 33, 34, 43, and 45 Burns Street, 11, 17, 19, and 28 Nolan Street, 7, 13, 17, and 44 Inkerman Street, 22, 26, 32A, 33, and 37 Kars Street, 16, 20, 22, 24, 29, 31, and 32B Brougham Street, 11, 12, 13, 22, 33, 36, 41, 46, 47, 53, 54, 55, 61, 68, 73, and 77 Burke Street, and 55, 57, 59, 61, 68 and 78 Napier Street.
- Contemporary infill development at 31 Victoria Street, 20 and 35 Burns Street, 3 Nolan Street, 4-6, 10 and 18 Inkerman Street, 14, 20, 27, and 29 Kars Street, 25 Brougham Street, 23 Burke Street, and 30 and 74 Napier Street.
- Interwar era ecclesiastical alterations to the Victorian bluestone church, St Augustine's Catholic Church, at 56 Burke Street.
- Addition of the timber awning to the Federation era commercial corner shop at 47 Inkerman Street.

History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bull Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area

(Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery, and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in areas adjacent to the designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street, which was used for administrative purposes (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens-however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 53. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FFB86214FD5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146NHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174NHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134NHR H1577)

in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

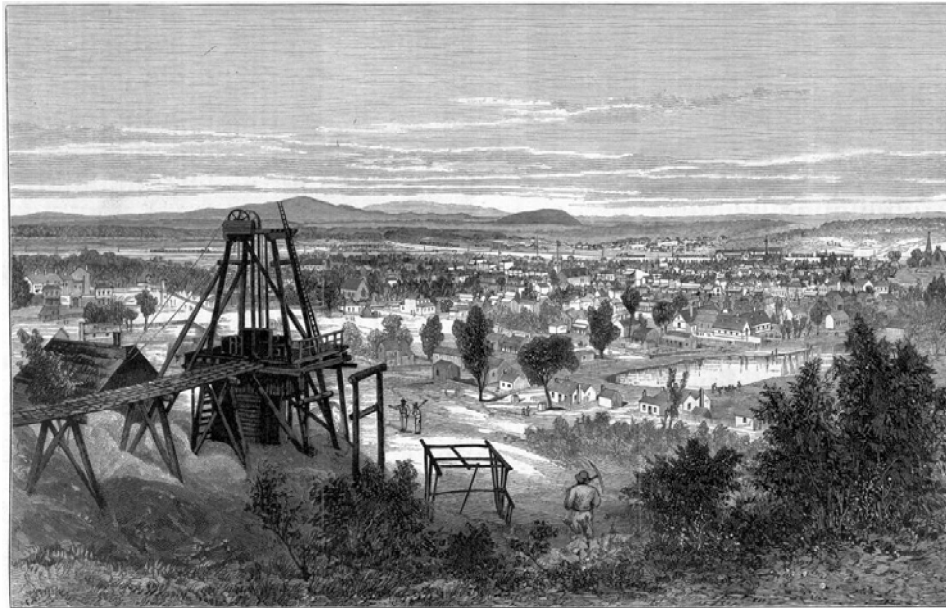


Figure 54. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. NS22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Ply Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

[illegible]

Much of the area was ultimately subdivided into Crown Allotments 42-54B towards the late nineteenth century as Maryborough established itself as a permanent township (Department of Crown Land and Surveys n.d.; Department of Crown Lands and Survey 1893). One of the earliest buildings within the precinct is the Cambrian Hotel at 24-26 Nolan Street, which was originally erected in 1875 opposite the railway station (Osborn and DuBourg 1995, 254).



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By 1893, the majority of the streets, including Napier Street, Burke Street, Burns Street, Albert Street, Clarke Street, Brougham Street and Mariners Reef Road (then unnamed) had been laid out (Department of Land and Survey 1893) (see Figure 57). Initial allotments to be developed comprised land along Napier Street, Albert Street, Victoria Street and Mariners Reef Road, with erected buildings comprising a mixture of freestanding weatherboard residences along the southern end of Napier Street and Albert Street, as well as more modest freestanding sheds, huts and outhouses towards the intersection of Napier and Brougham Street.

Victorian Italianate style residences that were developed during this period primarily consisted of modest single-storey weatherboard residences distinguished by a hipped roof, front verandah and profiled masonry chimneys. Meanwhile, more ornate examples, primarily concentrated along the eastern half of the precinct, were further distinguished by extensive cast iron lacework and bracketed eaves. More ornate examples can be seen at 60 Napier Street, 36 Victoria Street and 31 Inkerman Street, Maryborough, all of which comprise substantial freestanding residences with corbelled brick chimneys and verandahs with cast iron lacework that were erected in the late nineteenth century.

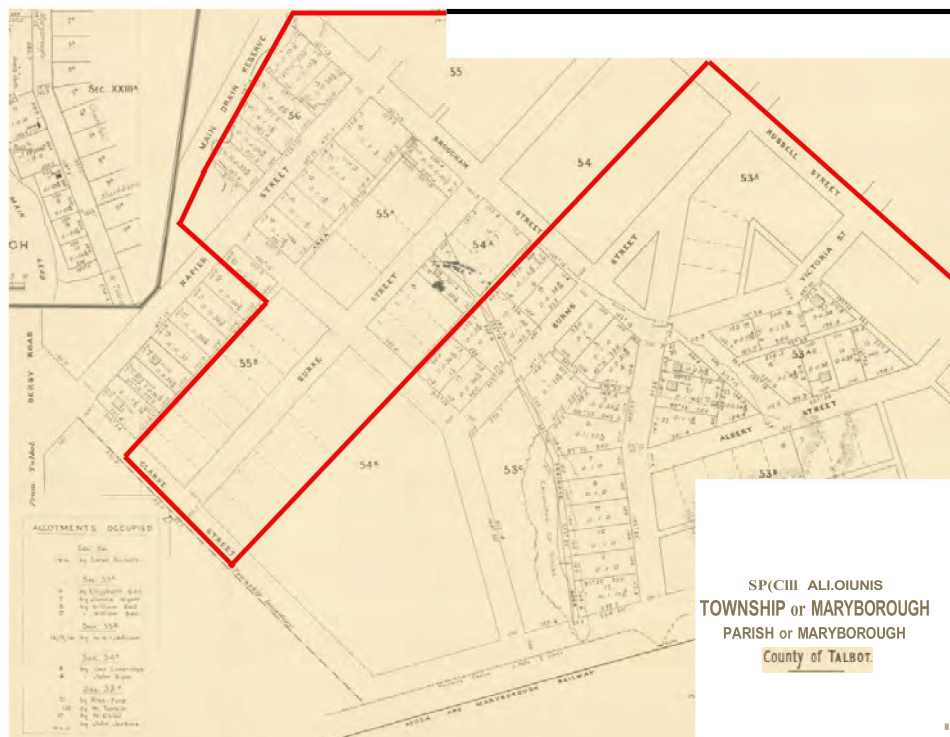


Figure 57. Extract from 1893 map showing subdivided land along the south-western extent of the Western Residential Precinct outlined in red. *Source:* Department of Crown Lands and Survey. 1893. *Special Allotments, Township of Maryborough, Parish of Maryborough, County of Talbot.* Map, 46 x 59 cm. Maps Collection. State Library of Victoria.

By 1905, the entirety of the Western Residential Precinct, with the exception of a small portion of land to the precinct's north-west corner, had been subdivided into residential allotments, thereby serving as an extension to the original township boundary (Department of Lands and Survey 1905) (see Figure 58). The site of the St Augustine's Catholic Church (formerly known as the Roman Catholic Church) is also depicted on the 1905 map at the corner of Kars Street (then known as Russell Street and Burns/Burke Street), having been erected earlier in 1869 (Advocate 1869, 6) (see Figure 58 & Figure 59). It should be noted that a significant portion of this building was re-built in the post-war period following a fire.

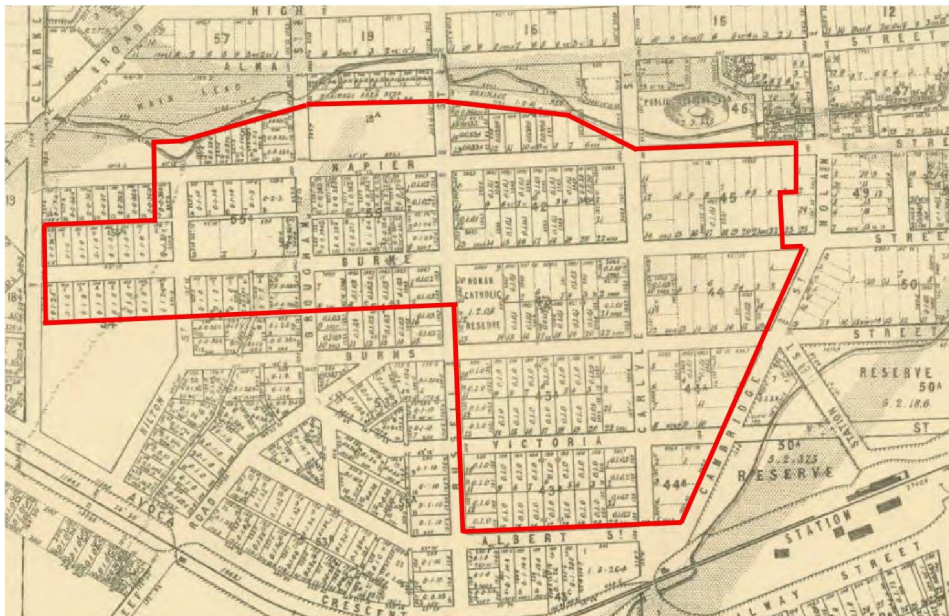


Figure 58. Extract from 1905 map showing residential allotments within the Western Residential Precinct outlined in red. *Source:* Department of Crown Lands and Survey. 1905. *Parish of Maryborough, County of Talbot*. Map, 57 x 69 cm. Maps Collection. State Library of Victoria.



Figure 59. 1897 photograph depicting the original St Augustine's Church, prior to re-building in the post-war period. Source: Unknown. c.1897. *St Augustine's Church, Maryborough*. Digitised photograph. In collection: Ballarat Heritage Services. Identifier 03317. Victorian Collections. <https://victoriancollections.net.au/items/5bace3dd21eb921568874164>.

Although a number of Victorian era residences had been erected by the early 1900s, particularly along Albert Street, Burns Street and Burke Street, the majority of the area was predominantly filled out throughout the first few decades of the twentieth century, in part fuelled by the growth of a manufacturing industry in Maryborough during the 1920s and 30s (Department of Lands and Survey 1942; Osborn 1995, 263). This includes the corner commercial building at 47 Inkerman Street, Maryborough, as well as late Federation and interwar residential buildings. These later Federation and interwar era buildings were constructed in a mixture of Arts and Crafts, Bungalow and Spanish Mission styles, while retaining cohesive forms, setbacks, materials and scales with the earlier Victorian and Federation era development. While the majority of these residences were modest in form, scale and detailing, several ornate houses were erected along the eastern half of the precinct towards Phillips Gardens and the town's main commercial area, as is the case along Nolan Street, Burns Street, Inkerman Street and the eastern half of Burke Street. Notable interwar examples can be seen at 36 Napier Street, Maryborough, which consists of a Spanish Mission style residence erected in the c.1930s, as well as the high-quality c.1930s Arts and Crafts style Bungalows at 31, 33 and 36 Nolan Street, Maryborough.



Figure 60. Extract from 1946 aerial showing established housing developments within the Western Residential Precinct. *Source:* Adastra Airways Pty Ltd. 1946. Maryborough A2 or 816 A2. Map. Melbourne: Department of Lands and Survey.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the colonial discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centres that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town centre throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town centre throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

With streetscapes primarily comprised of a mixture of post-1890s Victorian and early twentieth century Federation and interwar era houses, the Western Residential Precinct illustrates steady residential growth in Maryborough as the economy transitioned from goldmining to manufacturing. In addition to the few comparable residential areas on the Heritage Overlay that are located within Maryborough, the Western Residential Precinct is also analogous to several extant late nineteenth and early twentieth residential precincts situated within the aforementioned goldfields towns outside of the municipality. As with examples in Maryborough, late nineteenth and early twentieth century residential areas in these goldfield towns are

similarly characterised by rows of freestanding, modestly scaled weatherboard and brick residences set on generous allotments located outside of the boundaries of the original township. This character parallels with historical developmental patterns associated with the Gold Rush and its aftermath. In the absence of comparable mid-scale goldfields towns and heritage places within the Central Goldfields Shire that are outside of Maryborough, these precincts provide a supplementary benchmark to substantiate the relative significance of the Western Residential Precinct.

Comparable examples include:

Palmerston Street Precinct, Maryborough (Central Goldfields Shire HO TBC).

Palmerston Street Precinct comprises a residential area featuring streetscapes of freestanding, single-storey properties constructed between c.1870 and c.1940. Although the area east of Palmerston Street forms part of the original township subdivision, and as a result comprises several earlier properties dating to the c.1870s, the area nevertheless compares as a group of modestly scaled Victorian, Federation, and interwar era properties with consistent setbacks, materials, scale, detailing and form despite variation in styles and typology. Key comparative features include the incorporation of front verandahs, hipped or gabled roof forms generally clad with corrugated metal, weatherboard and limber materials, the modest application of ornamentation, and generous front and side setbacks.

Raglan Street Precinct, Maryborough (Central Goldfields Shire HO TBC). Raglan Street Precinct comprises a small residential area of properties constructed between c.1860s and 1930s. While it similarly does not form part of the original 1855 township, it was subdivided earlier than the Western Residential Precinct. It compares as a cohesive group of Victorian, Federation, and interwar properties, interspersed with some post-war infill development. Although residences are generally more ornate and intact than those at within the Western Residential Precinct, it nevertheless compares in terms of visual consistency stemming from consistent setbacks, materials, scale, detailing and form despite variation in styles and typology.

- **Camp Reserve and Environs, Castlemaine (HO668, Mount Alexander Shire).** The Camp Reserve and Environs compares as a large residential area characterised by a mixture of substantially intact, modestly scaled Victorian, Federation and interwar residences set on generously sized allotments. Although distinct in terms of its rising slopes and curvilinear road layouts, it nevertheless shares with the Western Residential Precinct consistencies in scale, setbacks, materials, and forms, such as hipped and gabled roofs generally clad with corrugated metal, profiled chimneys, brick and timber materials, sash windows and a predominance of front verandahs. As with the Western Residential Precinct, the residential allotments do not form part of the original township boundary and was instead gradually established following the subdivision of the 1851 Commissioner's Camp, which formerly served as the administrative centre for all of the Central Victorian goldfields. It does, however, retain several mid-nineteenth century buildings dating from its use as a Camp Reserve.

Rundell Street Precinct, Ararat (HO106, Rural City of Ararat). The Rundell Street Precinct comprises a small precinct of Victorian and Federation era properties that were established following the expansion of the township's boundaries in the late nineteenth century. It not only shares with the Western Residential Precinct similarities in terms of

overall intactness, but also illustrates the pattern of late nineteenth and early twentieth century residential development in goldfields towns in terms of its modestly scaled dwellings and generous allotment sizes. Comparable features of note include hipped and gabled roof forms clad with corrugated metal, front verandahs, weatherboard and timber materials, low front fences, restrained application of ornamentation, and generous front setbacks.

Precinct Map



Figure 61. Map showing individual property gradings within the Western Residential Precinct.

Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era(s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
13 Albert Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Albert Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
17 Albert Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C
19 Albert Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C
21 Albert Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C
23 Albert Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C
25 Albert Street, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Albert Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
29 Albert Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
12 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	NC
15 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Brougham Street, Maryborough	Residential	Post-War Period /1945-1965)	NC
17 Brougham Street, Maryborough	Residential	Victorian Period /1851-1901)	C
18 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
20 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
21 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
22 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
25 Brougham Street, Maryborough	Residential	Contemporary	NC
27 Brougham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
29 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
31 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
32B Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
11 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
12 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
13 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
14 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
15 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
16 Burke Street, Maryborough	Residential	Victorian Period /1851-1901)	C
17 Burke Street, Maryborough	Residential	Victorian Period /1851-1901)	C
18 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
20 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
21 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
22 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
23 Burke Street, Maryborough	Residential	Contemporary	NC
24-26 Burke Street, Maryborough	Residential	Federation/Edwardian Period /1902-c.1918)	C
27 Burke Street, Maryborough	Residential	Contemporary	NC
28 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
29 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
30 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
32-34 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
33 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
35 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
36 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
37 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
38 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
39 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
40 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
41 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
43 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
44 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	C
45 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
46 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
47 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
48 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
49 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
50 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
51 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
52 Burke Street, Maryborough	Vacant allotment	-	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
53 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
54 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
55 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
56 Burke Street, Maryborough	Religious School	Victorian Period (1851-1901) Interwar Period (c. 1910-c. 1940)	S
57 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
59 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
61 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
63 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
65 Burke Street, Maryborough	Residential	Federation/Edwardian Period /1902-c.1918\	C
66 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918\	C
67 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
68 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
69 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
71 Burke Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
72 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
73 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	C
74 Burke Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
75 Burke Street, Maryborough	Residential	Victorian Period /1851-1901)	C
76 Burke Street, Maryborough	Residential	Interwar Period /c. 1910-c. 1940\	C
77 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
78 Burke Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
79 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
80 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
81 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
83 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
85 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
86 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
20 Burns Street, Maryborough	Residential	Contemporary	NC
22 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
21-23 Burns Street, Maryborough	Religious	Victorian Period (1851-1901)	C
	Residential	Post-War Period (1945-1965)	NC
24 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
28 Burns Street, Maryborough	Residential	Victorian Period (1851-1901)	C
30 Burns Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
32 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
33 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
34 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
35 Burns Street, Maryborough	Residential	Contemporary	NC
36 Burns Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
37 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
38 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
39 Burns Street, Maryborough	Residential	Victorian Period (1851-1901)	S

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
40 Burns Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
42 Burns Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
43 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	C
44 Burns Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
45 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
2 Inkerman Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
3 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
4-6 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
5 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
7 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
8 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Inkerman Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
10 Inkerman Street, Maryborough	Residential	Contemporary	NC
11 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
12 Inkerman Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
13 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	C
14 Inkerman Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
16 Inkerman Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
17 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
18 Inkerman Street, Maryborough	Residential	Contemporary	NC
19 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
20 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Inkerman Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
22 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
25 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Inkerman Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C
28 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period /1902-c.1918)	C
29 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
31 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	S
32 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
33 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
35 Inkerman Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C
36 Inkerman Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C
37 Inkerman Street, Maryborough	Residential	Victorian Period /1851-1901)	C
38 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
39 -41 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
42 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
43 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
44 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
47 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	S
49 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
8 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
20 Kars Street, Maryborough	Residential	Contemporary	NC
22 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C
26 Kars Street, Maryborough	Residential	Contemporary	NC
27 Kars Street, Maryborough	Residential	Contemporary	NC
28 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
29 Kars Street, Maryborough	Residential	Contemporary	NC
31 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C
32A Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
33 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
35 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
39 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
41 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
15 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Napier Street, Maryborough	Residential	Federation/Edwardian Period /1902-c.1918)	C
18 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
20 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
21 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
22 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
23 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
24 Napier Street, Maryborough	Residential	Victorian Period /1851-1901)	C
25 Napier Street, Maryborough	Residential	Federation/Edwardian Period /1902-c.1918)	C
26 Napier Street, Maryborough	Residential	Federation/Edwardian Period /1902-c.1918)	C
27 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
30 Napier Street, Maryborough	Residential	Contemporary	NC
31 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
32 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
33 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
35 Napier Street, Maryborough	Residential	Victorian Period /1851-1901)	C
36 Napier Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	S
37 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
38 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
39 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
40 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
41 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
44 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
46 Napier Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
48 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
49 Napier Street, Maryborough	Vacant allotment	-	NC
50 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
52 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
53 Napier Street, Maryborough	Residential	Victorian Period /1851-1901)	C
54 Napier Street, Maryborough	Residential	Post-War Period /1945-1965)	NC
55 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
56 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
57 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
58 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
59 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
60 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	S
61 Napier Street, Maryborough	Residential	Post-War Period /1945-1965)	NC
62 Napier Street, Maryborough	Residential	Victorian Period /1851-1901)	C
63 Napier Street, Maryborough	Residential	Interwar Period /c.1910-c.1940)	NC
64 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
65 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
68 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
70 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
74 Napier Street, Maryborough	Residential	Contemporary	NC
76 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
78 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
80 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
82 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
84 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
86 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Nolan Street, Maryborough	Residential	Contemporary	NC
5 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
9 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
11 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
15 Nolan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
17 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	C
24-26 Nolan Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
27 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
28 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
29 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
27 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
30 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
32 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
33 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
36 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
12 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	C
14 Victoria Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
20 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
22 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
25 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
26 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
28 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
29 Victoria Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
31 Victoria Street, Maryborough	Residential	Contemporary	NC
33 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	C
35 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
36 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	S
37 Victoria Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
41 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	C
43 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C

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Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.



3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 62. North-east facing streetscape view along Burns Street.



Figure 63. South-east facing streetscape view along Burns Street.



Figure 64. North-west facing streetscape view along Inkerman Street.



Figure 65. South-east facing streetscape view along Victoria Street.



Figure 66. 44 Burns Street, Maryborough.



Figure 67. Side elevation of 31 Inkerman Street, Maryborough.



Figure 68. 20 Victoria Street, Maryborough.



Figure 69. 41 Victoria Street, Maryborough.



Figure 70. 15 Burke Street, Maryborough.



Figure 71. 17 Burke Street, Maryborough.



Figure 72. 86 Burke Street, Maryborough.



Figure 73. 30 Nolan Street, Maryborough.



Figure 74. 31 Nolan Street, Maryborough.



Figure 75. 33 Nolan Street, Maryborough.



Figure 76. 36 Nolan Street, Maryborough.

EXTENT



INCORPORATED PLAN UNDER THE PROVISIONS OF CLAUSE 43.01 HERITAGE OVERLAY INCORPORATED DOCUMENT

HERITAGE OVERLAY EXEMPTIONS



Prepared for Central Goldfields Shire

SYDNEY
July 2024

MELBOURNE
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PEOPLE
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1. INTRODUCTION

This Incorporated Plan establishes planning permit exemptions for specific properties included in Central Goldfields Shire Schedule to the Heritage Overlay identified in the Maryborough Heritage Review (2023), under the provisions of Clause 43.01 Heritage Overlay. In accordance with Clause 43.01-3, where a permit exemption applies no permit is required for works identified in this Incorporated Plan. In some instances, certain exemptions do not apply to specific property designations/gradings (e.g. significant buildings) or within certain Heritage Overlay precincts. Where this is the case, it is indicated in the relevant section below.

The provisions of this Incorporated Plan apply to the following heritage places (except where specifically excluded):

The following Heritage Precincts (as per section 2):

- Former Gaol Precinct
- Civic Square Precinct
- Commercial Precinct
- Park Road Precinct
- Eastern Residential Precinct
- Western Residential Precinct
- Palmerston Street Precinct
- Raglan Street Precinct
- Industrial Serial Listing

Individual places subject to the exemptions are those listed in Section 3:

- Main Drain
- Bristol Hill
- Maryborough Railway Complex

1.1. Definitions

Term	Definition
Contributory heritage place	A contributory heritage place is important for its contribution to a heritage precinct. It is of historic, aesthetic, scientific, social or spiritual significance to the heritage precinct. A contributory heritage place may be valued by the community; a representative example of a place type, period or style; and/or combines with other visually or stylistically related places to demonstrate the historic development of a heritage precinct. Contributory places are typically externally intact but

Term	Definition
	may have visible changes which do not detract from the contribution to the heritage precinct.
Façade/principal elevation	The façade/principal elevation is the main presentation of the subject building to the street.
Heritage place	A heritage place is a place that has identified heritage value and could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land.
Heritage precinct	A heritage precinct is an area which has been identified as having heritage value. It is identified as such in the Schedule to the Heritage Overlay and mapped in the Planning Scheme Heritage Overlay Maps.
Non-contributory	A non-contributory place does not make a contribution to the cultural significance or historic character of the heritage precinct.
Outbuilding	An outbuilding is a structure which is not part of a main building (i.e. is detached from the main building) but which supports the function of the main building. It can be a carport, garage, shed, stand-alone conservatory, stables, cabana, studio or children's cubby house or similar structure.
Paint	Paint means to apply paint to any part of the surface of a building, including walls, timber joinery and other elements of a building such as cast iron features. It does not include external alterations to a building such as rendering or sandblasting external surfaces.
Repairs and maintenance	Maintenance means the continuous protective care of a place, and its setting, and is distinguished from repair which involves restoration or reconstruction.
Significant heritage place	<p>A significant heritage place is individually important at state or local level, and a heritage place in its own right. It is of historic, aesthetic, scientific, social or spiritual significance to the municipality. A significant heritage place may be highly valued by the community; is typically externally intact; and/or has notable features associated with the place type, use, period, method of construction, siting or setting.</p> <p>When located in a heritage precinct a significant heritage place can make an important contribution to the precinct.</p>
Visible	Visible means anything that can be seen from a street (other than a lane) or public park.

2. GENERAL EXEMPTIONS

2.1. Repairs and maintenance

Repairs and routine maintenance works that change the appearance of a heritage place or are not undertaken to the same details, specifications and materials as existing are permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	All maintenance and repair works

2.2. Roofing

New and replacement roofing material (including the full or partial removal of the existing roofing material) is permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	All new or replacement roofing

2.3. Painting

External painting involves applying paint to any part of the external surface of a building, including external walls, external timber joinery and other external elements of a building such as external cast iron features, verandahs or chimneys etc.. External painting does not include external alterations to a building such as rendering or sandblasting external surfaces, which require a permit under the Heritage Overlay.

External painting of a previously unpainted surface is permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	The external painting does not constitute an advertisement, artwork or a mural

Where external paint controls apply:

Significant	Contributory	Non-contributory
Repainting existing painted surfaces in like for like colours and paint type	Repainting existing painted surfaces in like for like colours and paint type	Repainting existing painted surfaces

2.4. Modifications and alterations

Minor modifications/alterations to existing fabric, including demolition, to rear walls or rear parts of buildings at ground level are permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	<p>The works are to the rear of the building as shown at Figure 1.</p> <p>The works are not visible from the street, side street or public park</p>	Exempt

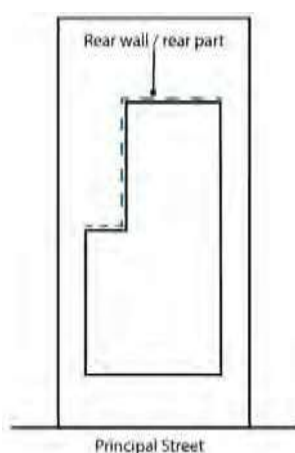


Figure 1: Sketch showing the rear wall/part of a dwelling.

2.5. Additions

Construction of a single storey rear addition to a building is exempt provided (all conditions must be met):

- The subject property is graded non-contributory or contributory and:
 - The works are to the rear of the building as shown at Figure 1.

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- The works are not visible from the street, side street or public park.
- The works do not involve modifications or alterations and are not exempt under section 2.4 of this plan.
- The building height of the existing building is not exceeded.
- The setback from side boundaries is the same as or greater than the setback of the existing building.
- The property is not located at a corner or does not have two street frontages (excluding a lane).

2.6. Outbuildings

The construction of an outbuilding is exempt where (all conditions must be met):

- The subject property is graded non-contributory or contributory and:
 - The outbuilding is located in the rear yard and is not visible from the street, side street or public park.
 - The outbuilding does not exceed 3 metres in height from natural ground level.
 - The outbuilding does not exceed more than 10m² in floor area.
 - The outbuilding is detached from the existing building.
 - The property is not located at a corner or does not have two street frontages (excluding a lane).

This exemption does not apply to the Commercial Precinct and Civic Square Precinct.

2.7. Pergolas, verandahs and decks

The construction or extension of open sided pergolas, verandas or unroofed deck structures, including those attached to an existing building is permit exempt where (all conditions must be met):

- The subject property is graded non-contributory or contributory and:
 - The pergola, verandah or deck is located in the rear yard and is not visible from the street, side street or public park.
 - The overall height of the pergola or verandah does not exceed 3 metres in height from natural ground level.
 - The finished floor level of the pergola/verandah/deck is not more than 800mm above natural ground level.
 - That any demolition required to construct the pergola, verandah or deck is consistent with the exemptions outlined in section 2.4.

This exemption does not apply to the Commercial Precinct and Civic Square Precinct.

2.8. Fences, gates and roller doors

Works to fences and roller doors are exempt where:

Works	Significant	Contributory	Non-contributory
Demolition of roller doors	Does not apply	Where the roller door is located to rear or side property boundaries	Demolition of any existing roller door is exempt
Installation of new roller doors	Does not apply	Replacement of roller door in like for like location, roller door is located to rear or side property boundaries and the size, colour and materiality of the roller door is like for like	Replacement of roller door in like for like location
Demolition of front fence	Does not apply	Does not apply	Exempt
Construction of front fence	Does not apply		Exempt provided the fence does not exceed 1.2m in height and is a minimum of 80% permeable (does not apply to the Old Gaol Precinct)
Demolition and replacement of side and rear fences	Demolition and replacement of all side and rear fences provided the existing height and materiality is maintained	Demolition and replacement of all side and rear fences provided the existing height and materiality is maintained	Demolition and replacement of all side and rear fences provided the existing height and materiality is maintained
Installation of a lattice or trellis to side or rear fences	Exempt provided it is not situated forward of the front wall of the building	Exempt provided it is not situated forward of the front wall of the building	Exempt

2.9. Vehicle accommodation and crossovers

The construction of new crossovers and driveways are exempt where (residential properties only; all condition must be met as relevant to type/location):

2.9.1. Front property boundary

- The subject property is graded non-contributory or contributory and:
 - The crossover/driveway is located to the side of the dwelling and does not obscure the front façade presentation in any way.
 - The crossover/driveway adopts materials and finishes consistent with the prevailing characteristics of the precinct.
 - No more than one crossover/driveway is located to each individual property.

2.9.2. Rear property boundary

- New crossovers to rear boundaries are exempt provided that construction of the crossover involves remediation and making good any damage to existing bluestone, brick, asphalt or concrete paths, gutters and kerbs.

2.9.3. Garages/carports

The construction of new garages/carports is exempt where:

- The garage/carport is located to the rear yard.
- The garage/carport does not exceed 3 metres in height from the natural ground level.
- The garage/carport is detached from the existing building.

2.10. Domestic services normal to a dwelling, utility, and rainwater tanks

Installation of domestic services normal to a dwelling on any property that may be visible from a street, side street or public park are exempt provided that:

- The installation is not attached to the front wall of the building.
- The installation is not situated between the front wall of the building and the front property boundary.
- The installation, if attached to the side wall of a building graded significant or contributory, is setback not less than 4 metres from the front wall.
- The installation is not situated on that part of the roof that faces directly toward a street (including a side street).
- The installation does not project above the highest point of the roof.

- The installation, if situated on part of a roof that faces a side boundary, is set back not less than 4 metres from the front wall of the building.

2.11. Domestic swimming pool and spa

The construction of a domestic swimming pool or spa and associated mechanic equipment and fencing is exempt where (all conditions must be met):

- The swimming pool/spa is located in the rear yard.
- The swimming pool/spa is no higher than 1 m above natural ground level.

2.12. Solar energy systems

This section applies to a solar energy system attached to a building that primarily services the land on which it is located.

Where the schedule to the Heritage Overlay specifies that solar energy system controls apply to a heritage place, the construction/carrying out of works to install a solar energy system which is visible from a street (other than a lane) or public park is exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	The adjoining properties are not graded contributory or significant

2.13. Signage

2.13.1. Commercial and Civic Square Precincts

The construction or display of a sign in the Civic Square and Commercial Precincts is exempt where:

Significant	Contributory	Non-contributory
An existing sign is to be replaced in the same location, provided it is of the same size, format, shape and materiality and the existing sign to be replaced is located at ground level or underneath an awning or a verandah	An existing sign is to be replaced in the same location, provided it is of the same size, format, shape and materiality and the existing sign to be replaced is located at ground level or underneath an awning or a verandah	The sign is situated below a verandah at ground floor level

Significant	Contributory	Non-contributory
Does not apply to a new sign above a verandah on a building	Does not apply to a new sign above a verandah on a building	The sign is above a verandah on a building, unless the building is adjacent to a Significant or Contributory building

2.14. Landscape and trees

The following landscaping works and the removal, destruction or lopping of a tree are exempt where:

Works	Significant	Contributory	Non-contributory
Landscaping works (including earth works, retaining walls, paths, garden bed edging etc. which change the natural or existing condition or topography of the land)	The works are located to the rear yard	The works are located to the rear yard	Exempt
Removal, installation or replacement of garden watering, water recycling or drainage systems which change the natural or existing condition or topography of the land	Exempt	Exempt	Exempt

3. SPECIFIC EXEMPTIONS FOR SPECIFIED PLACES

3.1. Main Drain

The following works to the Main Drain are exempt:

- Standard maintenance and repair of existing fabric (as per the definitions at section 1.1).
- All above ground works in the area of subsurface drain (Figure 2) provided no sub-surface works occur. This exemption does not apply where the aboveground property is subject to a separate heritage control.



Figure 2. Map showing above ground and subsurface drains, the exemption applies to the orange areas only.

3.2. Bristol Hill

The following works to Bristol Hill are exempt:

- Works or activities to vegetation and landscape management is exempt subject to the following:
 - Works or activities must not alter the layout, contours, plant species or other landscape features or views of Bristol Hill.
 - Works or activities must not harm early or original fabric associated with Bristol Hill, including paths and ground surface masonry, the Memorial Pioneer Tower, historic signage or historical archaeological remains.
 - Any works or activities undertaken in a tree protection zone or structural root zone must comply with Australian standard *Protection of trees on development sites AS 4970-2009*.
- Removal of environmental and noxious weeds.
- Management and maintenance of trees is permit exempt subject to the following:
 - Pruning of vegetation must not exceed 20% of the tree canopy within one calendar year, regardless of regrowth.
 - Pruning activities must not adversely affect the health of the tree and must be in accordance with Australian standard *Pruning of amenity trees AS 4373-2007*.
 - Above-ground tree cabling works, cobra-bracing and propping works or activities must be undertaken by a qualified arborist.

3.3. Maryborough Railway Complex

The following works within the Maryborough Railway Complex are exempt:

- Removal of, modifications and repairs to and replacement of overhead power lines.
- Repairs to and replacement of railway tracks and sleepers including ballast.
- Modifications and repairs to and replacement of any electric or electronic signalling equipment.
- Removal of, repairs to, installation or replacement of ticket machines, passenger control gates, safety barriers, rubbish bins, seating, bicycle racks and other small items of platform furniture.
- Removal, installation, repair or replacement of non-commercial signage, security lighting, fire safety equipment provided it does not involve the removal or erection of a building or other structure.
- Resurfacing of existing paths and driveways.
- Removal, installation or replacement of garden watering, water recycling or drainage systems.
- Management of trees in accordance with *Australian Standard 4373: Pruning of Amenity Trees*.
- The construction or demolition of buildings and works and tree removal necessary to achieve compliance with the *Disability Discrimination Act 1992 and Disability Standards for Accessible Public Transport 2002* in accordance with a plan for such works within the Heritage Overlay area which has been approved by the responsible authority.

Worsley Cottage Statement of Significance

Heritage Place: Worsley Cottage

PS reference no: HO223

Address: 3 Palmerston Street, Maryborough



Figure 1. Aerial map showing boundary of 3 Palmerston Street, Maryborough.

Statement of Significance

What is significant?

Worsley Cottage at 3 Palmerston Street, Maryborough is significant. The late nineteenth and early twentieth century bluestone cottage and the 1844 slab hut are of significance to the Central Goldfields Shire. The rear brick and weatherboard addition to the original cottage, timber and brick outbuildings, the siting of the cottage in a garden setting, the timber arbour with mature grapevine, mature pomegranate tree and cast-iron lamppost also contribute to the significance of the place.

How is it significant?

Worsley Cottage is of local historical and representative significance to the Central Goldfields Shire.

Why is it significant?

Worsley Cottage is of historical significance as a residential dwelling that illustrates the rapid development of Maryborough during the Gold Rush period. Modest dwellings, with associated outbuildings, constructed by and for the residents of towns like Maryborough were common in the mid-late nineteenth century. Constructed c. 1894 and developed into the early twentieth century, the property not only forms a tangible link to this period but is also characteristic of the general lifestyle of the residents of Maryborough at the time. (Criterion A)

Although not original to the site, the 1844 slab hut located on the property is of historical significance as reputedly the oldest surviving building in the district. The presence of the slab hut demonstrates the early pastoral buildings of the town prior to the Gold Rush era. (Criterion A)

Worsley Cottage is of representative significance as a substantially intact and characteristic example of a typical nineteenth century bluestone cottage. The building not only retains a high degree of integrity with its vernacular form, materials, setback, and siting but also exhibits key architectural features of Victorian residential dwellings constructed in gold mining towns in the nineteenth century. (Criterion D)

The 1844 slab hut is of representative significance as a characteristic example of a nineteenth century pastoral dwelling. The building exhibits key architectural features of an early pastoral run hut with its timber shingles clad hipped roof and vertical timber slats. The remnant building illustrates the lifestyle of the early colonists and the structures they built out of local materials. (Criterion D)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Residence, Produce Store and Warehouse Statement of Significance

Heritage Place: Residence, Produce Store and Warehouse (St Carlo House / Elias Crameri and Sons) **PS reference no:** HO224

Address: 9-13 Tuaggra Street, Maryborough



Figure 1. Aerial map showing boundary of 9-13 Tuaggra Street, Maryborough

Statement of Significance

What is significant?

The Elias Crameri & Sons Produce Store and adjoining St Carlo House, located at 9-13 Tuaggra Street, Maryborough are significant. The brick stable building and associated warehouses are of contributory significance. Contemporary additions including solar panels to roofs and electric utility cabling to the Produce Store façade are not significant.

How is it significant?

The Elias Crameri & Sons Produce Store, adjoining St Carlo House and contributory stable building and associated warehouses are of local historical, aesthetic, and representative significance to the Central Goldfields Shire.

Why is it significant?

The Elias Crameri & Sons Produce Store, adjoining St Carlo House, stable building, and associated warehouses are of historical significance as buildings constructed as part of the rapid commercial and residential development of Maryborough during the Gold Rush period and the associated rapid expansion of the town.

The Elias Crameri & Sons Produce Store was constructed to serve the growing local community and its location to the southeast of High Street, outside of the main commercial hub of Maryborough, represents the expansion of the township. Its strategic corner location also links the building to the general urban expansion in Maryborough in the second half of the nineteenth century, as the need for convenient amenities in growing residential areas increased. The attached form of the Elias Crameri & Sons Produce Store and St Carlo House is significant as this demonstrates the characteristic 19th century business practice of adjoining residential and shop buildings. The intact building complex overall, including the warehouses and two-storey brick stable building, is significant as it represents the former importance and prominence of the commercial premises. (Criterion A)

The Elias Crameri & Sons Produce Store and associated warehouses are of representative significance as an intact Federation era commercial complex. The Elias Crameri & Sons Produce Store is characterised by its two-storey face red brick construction, double hipped roof clad with corrugated sheet metal, timber arched sash window and arched double timber warehouse door, upper level second warehouse door, and flat parapet with moulded cornice. The retention of original commercial features such as the painted commercial lettering reading 'ELIAS CRAMERI & SONS PTY LTD PRODUCE STORES' further add to representative significance as a Victorian commercial building. The addition of the corrugated sheet metal clad warehouses is further representative of the commercial nature of the property. (Criterion D)

St Carlo House is of aesthetic significance as an intact Victorian era residence. It is characterised by its face brick construction, hipped roof clad with corrugated sheet metal, front and side parapets, arched fenestration with moulded architraves, verandah with ornate cast iron lacework, a stepped parapet with a recessed panel with precast lettering reading 'AD 1893'. The two-storey terrace form and massing of St Carlo House illustrates the aesthetic taste of the



time, however, is unusual in Maryborough, which further adds to the aesthetic significance.
(Criterion E)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Tiverton Statement of Significance

Heritage Place: Tiverton (Sir Edmund Herring House)

PS reference no: HO226

Address: 16 Peel Street, Maryborough



Figure 1. Aerial map showing boundary of 16 Peel Street, Maryborough.

Statement of Significance

What is significant?

Tiverton at 16 Peel Street, Maryborough is significant. The mid nineteenth century brick residence, the detached kitchen building and weatherboard stable to the rear are of significance to the Central Goldfields Shire. The siting of the residence in a garden setting, the tennis court and mature iron bark (*Eucalyptus sideroxylon*) trees to the rear also contribute to the significance of the place.

How is it significant?

Tiverton is of local historical, representative, and associative significance to the Central Goldfields Shire.

Why is it significant?

Tiverton is of historical significance as one of the oldest and largest brick dwellings in the township of Maryborough. Large, stately residences situated in a garden setting, were constructed by and for prominent, early members of Gold Rush towns in the mid-late nineteenth century. Constructed in 1864 and expanded into the late nineteenth century, the property is characteristic of the lifestyle of well to do residents of the time. (Criterion A)

Tiverton is of representative significance as a substantially intact and characteristic example of a mid-late nineteenth century residence constructed for prominent residents. It exhibits key architectural features of an early, restrained Victorian residential dwelling with its masonry construction, hipped roof, open gable, verandah, and corbelled chimneys. The building retains its vernacular form, materials, setback, and siting in an expansive garden setting with its early weatherboard stable and detached kitchen outbuildings. (Criterion D)

Tiverton is also of significance for its association with a number of notable residents, including the Herring family. The first owner James Evans was the proprietor and editor of the Maryborough and Dunolly Advertiser from 1864-1891 and was an important member of the early Maryborough township. The Herring family are a long-standing family of prominence within the township and notable residents from the family have included Edmund S. Herring the founder of a reputable Maryborough law firm; and Edmund F. Herring first Victorian-born Chief Justice of Victoria and the longest serving Lieutenant Governor of Victoria. As the home of these prominent members of the community of importance to the historical development of the town, the property demonstrates the influence of affluent professionals on the built environment of the township. (Criterion H)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Former Maryborough Primary School 404 Statement of Significance

Heritage Place: Former Maryborough Primary School 404

PS reference no: HO225

Address: 18 Palmerston Street, Maryborough



Figure 1. Aerial map showing boundary of 18 Palmerston Street.

Statement of Significance

What is significant?

The former Maryborough Primary School 404 at 18 Palmerston Street, Maryborough, is significant. The schoolhouse building, constructed in c.1864 and altered in 1874, is significant. Contemporary additions including the addition of HVAC units to the roof, water troughs to the rear northern elevation, fencing to the site perimeter, and paving of the site with asphalt, are not significant.

How is it significant?

The former Maryborough Primary School 404 is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The former Maryborough Primary School 404 is of historic significance for its association with the establishment, development, and expansion of Maryborough as well as with the passing of the Education Act of 1872. The Education Act made primary education both compulsory and free in the state of Victoria and led to a significant increase in the construction of school buildings across the state. In Maryborough this also coincided with the consolidation and growth of the local community following the initial Gold Rush period. The existing building was constructed in 1874, incorporating an older building dating to 1864. The original, timber schoolhouse was first established to serve the growing local community, less than a decade after the first European encounter with gold in Maryborough. The number of pupils increased steadily over the following decade so much so that by 1873 many children had to be refused, demonstrating the consolidation of Maryborough as a permanent township in the mid to late nineteenth century. (Criterion A)

The former Maryborough Primary School 404 is historically significant for its association with the Government Education Department. The 1874 building was designed by government architect H.R Bastow and was constructed in the early years of the Education Department (established in 1872). Furthermore, Maryborough Primary School 404 is significant as Maryborough's first ever State school, which it became in 1874 when it merged with Maryborough No.411. (Criterion A)

The former Maryborough Primary School 404 is of aesthetic significance as an intact Victorian gothic schoolhouse building characterised by face red clinker brick construction laid with a Flemish Bond, rusticated bluestone foundation course and multi-gabled, high-pitched roof clad with terracotta Marseilles tiles. Details such as the dichromatic brick detailing, utilised with the white string and sill course and lintel detailing, and tall face red brick and corbelled chimneys further add to the aesthetic significance. (Criterion E)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Bristol Hill Corner Store Statement of Significance

Heritage Place: Bristol Hill Corner Store

PS reference no: HO227

Address: 20 Palmerston Street, Maryborough



Figure 1. Aerial map showing boundary of 20 Palmerston Street, Maryborough

Statement of Significance

What is significant?

Bristol Hill Corner Store, located at 20 Palmerston Street, Maryborough is significant. The 1877 ground floor commercial property and 1890s upper story residential addition are both significant to the Central Goldfields Shire. The garage, along with other later alterations and additions are not significant.

How is it significant?

Bristol Hill Corner Store is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

Bristol Hill Corner Store is of historical significance as a commercial building that was constructed as part of the rapid development of Maryborough during the gold rush period, and the evolution of the town thereafter. It was established to serve the growing local community as a conveniently located hotel and later corner store due to the burgeoning gold mining industry in the area. Its strategic corner location within the township links the building to the general urban expansion in Maryborough in the second half of the nineteenth century, as the need for convenient amenities in growing residential areas increased. Bristol Hill Corner Store's varied functions over the years illustrate further phases of Maryborough's broader history. The building's transition from hotel to residences in 1920 is associated with the widespread delicensing that took place in Victoria in the early decades of the twentieth century, and its function as a convenience store and accommodation illustrates the evolving needs of the local community over time. (Criterion A)

Bristol Hill Corner Store is of aesthetic significance as an intact Victorian era commercial building characterised by Flemish bond red brick construction with face brick finish to the upper floor and gable end, four face brick profiled chimneys, the tall red brick chimney breast in the courtyard, small corner parapet, timber framed sash windows with expressed rendered sills to the ground floor, timber framed sash windows with expressed rendered sills and flat gauged arch lintels to the first floor, timber framed doors with top and side lights, hipped and gabled roof forms clad with corrugated sheet metal, and a wide return verandah with a skillion roof, and timber valance. Elements such as the dentil moulding to the Inkerman façade and corbel detailing to the chimneys further add to aesthetic significance. Bristol Hill Corner Store forms a significant streetscape feature, as it is one of very few two-storey buildings on Palmerston Street, is located on a prominent corner position fronting both Palmerston and Inkerman Streets and is situated within a predominantly residential area. (Criterion E)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Bristol Hill Statement of Significance

Heritage Place: Bristol Hill

PS reference no: HO221

Address: Area bounded by Gladstone Street, Inkerman Lane, Kars Street, Weller Street, Wellington Street, Clarendon Street, Maryborough

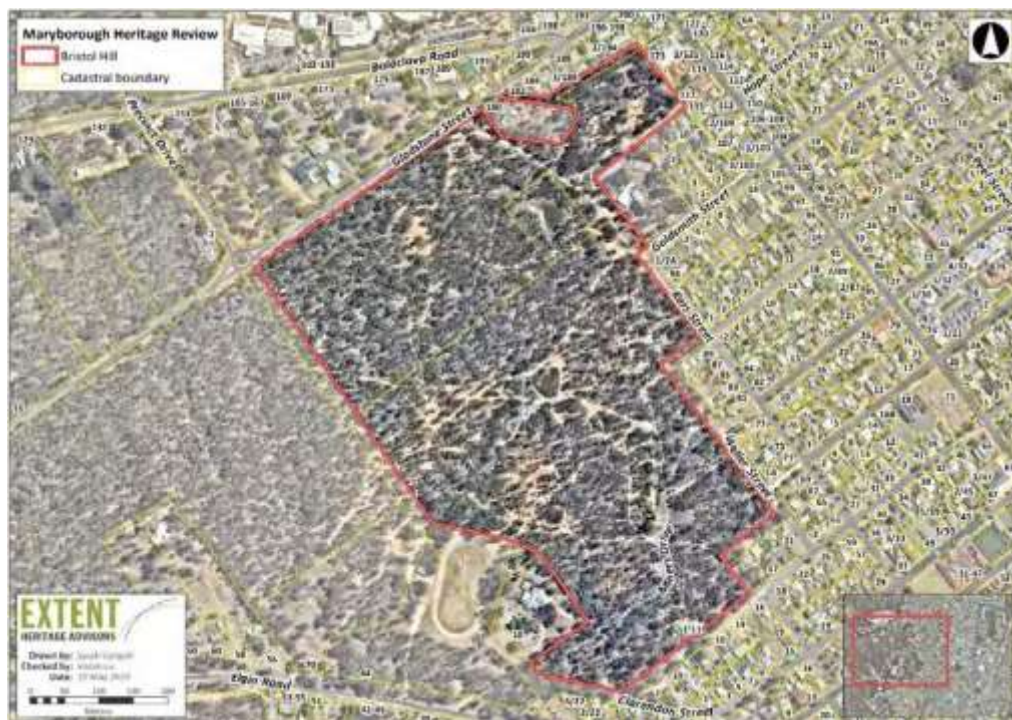


Figure 1. Aerial map showing boundary of Bristol Hill, Maryborough

Statement of Significance

What is significant?

Bristol Hill bound by Gladstone Street, Inkerman Lane, Kars Street, Weller Street, Wellington Street and Clarendon Street; Maryborough is locally significant. The mid to late-nineteenth to early twentieth century mining landscape, bluestone Pioneers' Memorial Tower, and the Pioneer Cemetery, Maryborough's first official cemetery, are of significance to the Central Goldfields Shire. The broader revegetated *Eucalyptus* landscape is of contributory significance to Bristol Hill, as are all elements attributed to the mining use of the site, including dams, mullock heaps, shafts and any remnant infrastructure associated with historical mining.

How is it significant?

Bristol Hill is of local historical and representative significance to the Central Goldfields Shire.

Why is it significant?

Bristol Hill is of historical significance to the township of Maryborough and Central Goldfields Shire more broadly as a substantial late nineteenth and early twentieth century mining landscape with tangible landscape features that reflect the historical use of the site in the colonial exploitation of natural resources. One such feature is the pioneer cemetery in the southeastern corner of the site which includes the graves of both European miners and Chinese miners. This historical narrative is further reflected and commemorated by the historically significant Pioneers' Memorial Tower located onsite, which was completed in 1933 and constructed using materials from the disassembled Maryborough Gaol. Bristol Hill is also of local historical significance to the township of Maryborough, having fostered the development of the town directly on the boundaries of the mining landscape. This represents the historical developmental pattern of mining townships growing on the boundaries of mining landscapes across the broader Central Victorian Goldfields. (Criterion A)

Bristol Hill is of representative significance to the Central Goldfields Shire as an intact alluvial and deep lead mining landscape. Bristol Hill includes the key characteristics of large-scale nineteenth century mining landscapes, as evidenced by the remnant features which include dams, mullock heaps, shafts, spoil from cyanide tailings, elements associated with historical mining practices that were predominant across the central Victorian goldfields in the nineteenth century. These features are representative of mining trends in the Central Goldfields Shire, as well as the broader central Victorian goldfields. The landscape also reflects the twentieth century revegetation and reclamation as public land which commonly occurred at such mining sites following the cessation of mining activities. Accordingly, the subsequent landscape layer, predominantly comprised of Eucalyptus trees and scrub, further demonstrates the key characteristics of a mining landscape in the post Gold Rush period. (Criterion D)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Civic Square Precinct Statement of Significance

Heritage Place: Civic Square Precinct

PS reference no: HO213

Address: Palmerston Street, 9 Nightingale Street, Florence Lane, 67-71 Clarendon Street, 1-9 & 2-10 Neill Street, Havelock Street, 1/14, 14-20 Campbell Street, Maryborough

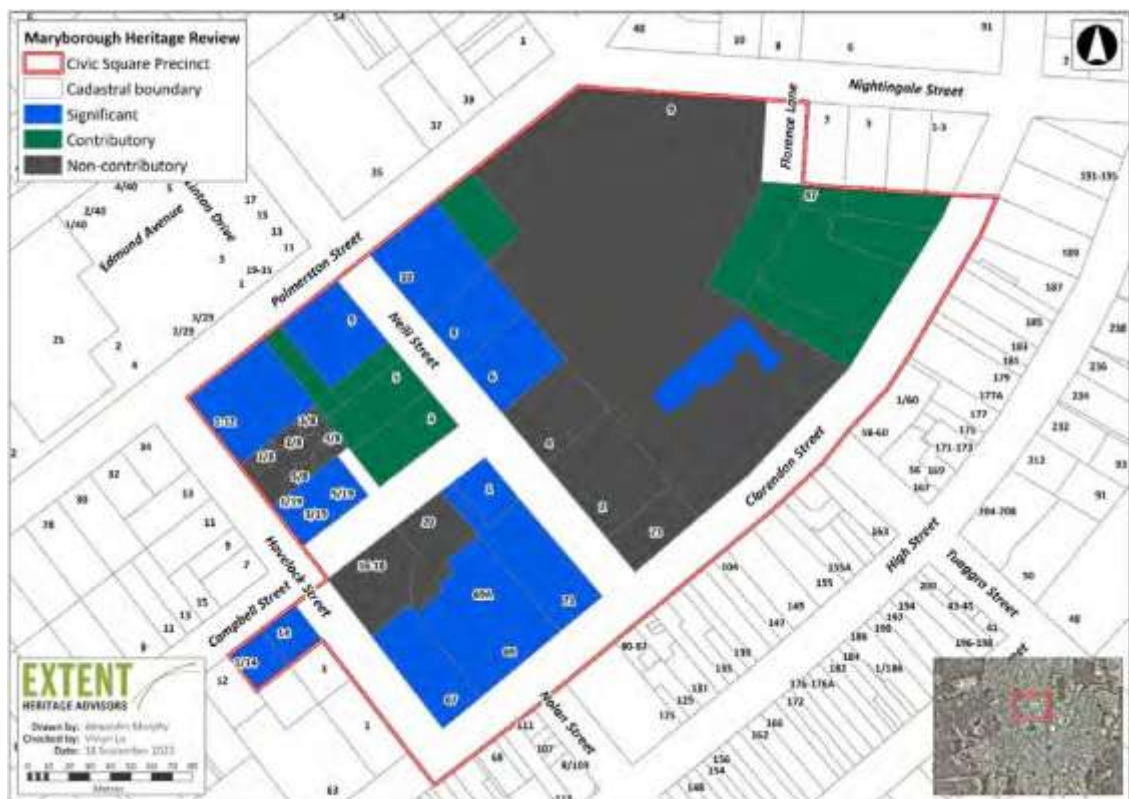


Figure 1. Map showing property gradings within the Civic Square Precinct.

Statement of Significance

What is significant?

The Civic Square Precinct, generally bounded by Palmerston Street, Nightingale Street, Clarendon Street and Havelock Street, and primarily comprising civic, religious, and institutional buildings, along with several residential buildings, is locally significant.

The precinct is predominantly characterised by significant graded buildings, along with several contributory and non-contributory graded buildings.

Significant properties include:

- Court House, 67 Clarendon Street, Maryborough;
- Post Office, 69 Clarendon Street, Maryborough;
- Town Hall, 71 Clarendon Street, Maryborough;
- Masonic Hall, 12 Havelock Street, Maryborough;
- Fire Brigade Depot and Belltower, 1 Neill Street, Maryborough;
- Former Court of Mines, 6 Neill Street, Maryborough;
- Former Presbyterian Sunday School, 9 Neill Street, Maryborough;
- Former Presbyterian Church, 10 Neill Street, Maryborough;
- Former Presbyterian Manse, 8 Neill Street, Maryborough and
- Maryborough Hospital, 77 Clarendon Street, Maryborough (Victorian hospital building only)
- Alexander Miller Memorial Homes, 14 and 19 Campbell Street, Maryborough

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The formal layout of the Civic Square characterised by three prominent buildings centred around the Maryborough War Memorial, creating an open area with a distinct municipal character;
- The siting of the area adjacent to the High Street and on a former administrative camp reserve, reflecting the initial goldfields settlement patterns;
- The extant 1858 Maryborough Hospital building, associated 1860s alterations and additions, and siting adjacent to the Civic Square on the original designated hospital reserve, reflecting the initial provision of medical facilities during the Gold Rush;
- A high concentration of highly intact and significant civic, religious and institutional buildings associated with the establishment of Maryborough as a regional centre from the mid nineteenth to early twentieth century;
- The regularity and harmony of prominent civic, religious and institutional buildings dating to the nineteenth and early twentieth centuries, and generally characterised by freestanding buildings with masonry construction, imposing scales, ornamented façades and gable or hipped roof forms;
- The predominance of Victorian era buildings, illustrating the consolidation of the Maryborough township throughout the late nineteenth century;
- Sympathetic interwar development and/or alterations with a civic or social function;

- The Alexander Miller Memorial Homes along Campbell Street, demonstrating the provision of social housing and ongoing provision of community and/or social services into the interwar period;
- Key features and original detailing to the buildings characteristic of their respective Victorian and Federation era styles, including:
 - Victorian Vernacular style characterised by simple gabled or hipped roof forms, an absence of ornamentation and stone or brick masonry finishes,
 - Victorian Gothic Revival style influences characterised by stone or brick masonry finishes or textured masonry walling, steeply pitched gabled roofs, lancet arched windows, and symmetrical forms;
 - Victorian Free Classical style characterised by highly embellished and stuccoed façades, pediments, cornice mouldings, brackets, dentils and corbels, precast lettering and numbering denoting construction year;
 - Federation Free Classical style characterised by and masonry or red brick construction, symmetrical arrangements, parapeted roofs, simplified Classical forms, and Classical detailing including dentils, end corbels, or string courses.
- Public realm elements and urban infrastructure, including the Maryborough War Memorial and associated water fountain.
- Views to, from and within the precinct, including views of the Maryborough Fire Brigade Belltower and the prominent terminating vista along Nolan Street to the Maryborough Post Office building.

Post-war and contemporary alterations and additions are not significant.

How is it significant?

The Civic Square Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Civic Square Precinct is historically significant as an example of a civic and administrative goldfields centre that illustrates the initial establishment of the Maryborough township in the mid-1850s, and its formal consolidation as a borough by the late nineteenth and early twentieth century. This is reflected in its earlier use as an administrative camp reserve with temporary civic services in close proximity to High Street and the Main Lead, as well as the formal layout of the civic square and its associated and adjacent late mid to late nineteenth century civic, administrative, religious and hospital buildings, primarily established on land designated for public use. As such, the Civic Square Precinct not only forms a tangible link to the Gold Rush story in the Central Victorian Goldfields region, but also illustrates the initial 1850s settlement patterns and the subsequent phase of intense municipal growth between the 1870s and 1890s. (Criterion A)

The Civic Square is historically significant for its Alexander Miller Memorial Homes, which were established during the 1930s Depression to house aged people at no cost. Built on land provided by the Borough Council and endowed by prominent businessman and philanthropist Alexander Miller, these houses not only illustrate the continuing provision of social services in this area of Maryborough, but also forms a key part of the town's social history. (Criterion A)

The Civic Square Precinct is aesthetically significant as a substantially intact and visually cohesive collection of prominent freestanding civic, religious, and institutional buildings primarily dating to the late nineteenth century period. Although interspersed across a large area with a number of frontages, homogeneity is generally achieved through shared or related architectural styles and proportions, including ornamented façades generally derived from Free Classical, Italianate or Gothic styles, stucco or stone and brick masonry finishes, hipped and gabled roof forms, imposing scales and generous allotments. The presence of a prominent terminating vista to the Maryborough Post Office, in conjunction with the orientation of the Maryborough Post Office, Court House and Town Hall centred around the Maryborough War Memorial is of particular note and contributes to the precinct's aesthetic significance by providing significant views to, from and within the precinct. (Criterion E)

Civic Square Precinct grading table

* S: Significant

C: Contributory

NC: Non-contributory

Street address	Place type	Style/era	Grading
8 Havelock Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
12 Havelock Street, Maryborough	Masonic hall	Federation/Edwardian Period (1902-c.1918)	S
67 Clarendon Street, Maryborough	Law enforcement (former)	Victorian Period (1851-1901)	S
69 Clarendon Street, Maryborough	Post office	Victorian Period (1851-1901)	S
71 Clarendon Street, Maryborough	Town hall	Victorian Period (1851-1901)	S
73 Clarendon Street, Maryborough	Vacant allotment	N/A	NC
9 Nightingale Street, Maryborough	Hospital	Victorian Period (1851-1901) With Post-war and Contemporary extensions	S (Victorian hospital building only) NC (post-war and contemporary extensions)
14 Campbell Street, Maryborough	Residential	Interwar period (c.1910-c.1940)	S
16-18 Campbell Street, Maryborough	Civic	Contemporary	NC
19 Campbell Street, Maryborough	Residential	Interwar period (c.1910-c.1940)	S
20 Campbell Street, Maryborough	Civic	Contemporary	NC
1 Neill Street, Maryborough	Fire utilities	Victorian Period (1851-1901)	S

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
2 Neill Street, Maryborough	Civic	Contemporary	NC
3 Neill Street, Maryborough	Town hall (extension)	Interwar Period (c.1910-c.1940)	C
4 Neill Street, Maryborough	Civic	Contemporary	NC
5 Neill Street, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Neill Street, Maryborough	Law enforcement (former)	Victorian Period (1851-1901)	S
8 Neill Street, Maryborough	Manse	Victorian Period (1851-1901)	S
9 Neill Street, Maryborough	Sunday school	Victorian Period (1851-1901)	S
10 Neill Street, Maryborough	Church	Victorian Period (1851-1901)	S

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Commercial Precinct Statement of Significance

Heritage Place: Commercial Precinct

PS reference no: HO214

Address: 1-3 Havelock Street, Clarendon Street, 57-177 & 70-212 High Street, 54-86 Alma Street, Napier Street, 39 -45 Tuaggra Street, 35-95 & 38-108 Nolan Street, Maryborough



Figure 1. Map showing property gradings within the Commercial Precinct.

Statement of Significance

What is significant?

The Commercial Precinct, comprising commercial and civic properties along Havelock, Clarendon, High, Alma, Napier, Tuaggra, and Nolan Street, Maryborough, is locally significant.

The precinct is predominantly characterised by significant and contributory graded buildings, along with a small number of non-contributory graded buildings.

Significant properties include:

- Albion Hotel, 57 High Street, Maryborough;
- Former State Savings Bank, 106 High Street, Maryborough;
- Sutherland Chambers, 113A High Street, Maryborough;
- Bull & Mouth Hotel, 119-125 High Street, Maryborough;
- Flagstaff Hotel, 155 High Street, Maryborough;
- Former Union Bank of Australia, 162 High Street, Maryborough;
- Former Public Library, 163 High Street, Maryborough;
- W.H. Ying Garage, 74 Alma Street, Maryborough;
- Paramount Theatre, 56 Nolan Street, Maryborough;
- Brock Worrall Goods building, 60 Nolan Street, Maryborough;
- 66 Nolan Street, Maryborough;
- 90 & 92 Nolan Street, Maryborough;
- 103 Nolan Street, Maryborough;
- Williams' Buildings, 116 Nolan Street, Maryborough; and
- Supreme Court Hotel, 1 Havelock Street, Maryborough

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The street layout of High Street initially developed by gold diggers as opposed to laid out as part of a formal town survey;
- The consistent façade arrangement of shop fronts, established by the alignment ruling made by Maryborough Town Council in 1858;
- The regularity and harmony of the commercial buildings within the precinct, generally characterised by substantial, attached, single to two storey buildings with above awning façade detailing, parapet forms, signage, shopfront fenestration, external wall tiling, and the general lack, or low prominence, of chimneys;
- Awnings/verandahs to the street frontages, typical of commercial high streets, with features such as turned timber or cast-iron posts, cast iron lacework and balustrades, and bullnosed or hipped roofs. Of particular significance are the original verandahs at 115 High, 60 Nolan Street, 84 Alma Street, and 147 High Street.
- The pairing of a primarily commercial precinct with a collection of civic buildings at the northeastern end of High Street (such as the Former Public Library at 163 High Street);
- The remnant Victorian era house at 39 Tuaggra Street, Maryborough, reflecting the original residential character of this area of the precinct;
- Examples of highly intact and significant commercial buildings, as listed above;

- The predominance of Victorian, Federation and interwar commercial styles as a tangible representation of Maryborough's historical commercial development;
- Key features and original detailing to the buildings characteristic of their respective Victorian, Federation and interwar styles and periods including:
 - Free Classical style influences such as highly embellished and stuccoed façades, pediments, cornice mouldings, brackets, dentils and corbels, precast lettering and numbering denoting construction year, and dichromatic brickwork, bagged brick, or face red brick construction (Victorian);
 - Parapeted or hipped roof forms, façade elements including dentils, end corbels, or string courses, and masonry or red brick construction (Federation);
 - More visually restrained detailing, relief panels with stylised font derived from Moderne sources, recessed main shop front entrances, aluminium or timber fenestration, and predominantly face brick construction (interwar).
 - Examples of other individual styles such as Spanish Mission (at 49 Nolan Street) and Streamline Moderne (at 70 High Street).
- Views to, from and within the precinct, as well as the prominent terminating vista along Nolan Street to the Maryborough Post Office building (VHR H1754, outside the precinct)

How is it significant?

The Commercial Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Commercial Precinct is historically significant as an intact example of a Victorian gold-mining commercial area that illustrates the key phases of development in the Maryborough township between the 1850s and interwar period. This is evident in the layout of High Street, which forms the original town centre and was developed by the gold mining population during the Gold Rush as opposed to laid out as part of a formal town survey, as well as the collection of Victorian, Federation and interwar commercial and civic buildings, which demonstrate the consolidation of the township by the late nineteenth century following increased wealth and the completion of the Maryborough Railway Station, and continued development into the first decades of the twentieth century in response to the Maryborough's growing manufacturing industry. As such, the Commercial Precinct not only forms a tangible link to the Gold Rush story in the Central Victorian Goldfields region, but also illustrates the consolidation of the Maryborough township over the late nineteenth and early twentieth centuries. (Criterion A)

The Commercial Precinct is aesthetically significant as a visually cohesive collection of attached one to two storey commercial buildings dating from the 1850s to the interwar era. Although designed in a variety of styles from the Victorian, Federation, and interwar eras, the area demonstrates a sense of uniformity in terms of their setbacks, form, scale, building heights and materials, such as above-verandah façade detailing, parapet form, awnings/verandahs to street frontages and face brick or render finishes. The presence of a prominent terminating vista to the Maryborough Post Office (part of the Civic Precinct), in conjunction with the curved and relatively wide layout of High Street and Nolan Street, contributes to the precinct's aesthetic significance by providing significant views to, from and within the precinct. (Criterion E)

Commercial Precinct grading table

* S: Significant

C: Contributory

NC: Non-contributory

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
35 Nolan Street, Maryborough	Commercial	Contemporary	NC
38 Nolan Street, Maryborough	Commercial	Contemporary	NC
44 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
46 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
48 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
49 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
52-54 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
55 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
56 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
60 Nolan Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
62 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
66 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
68 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
73 Nolan Street, Maryborough	Commercial	Contemporary	NC
77 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
79 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
80 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
85 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
86 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
90 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
91 Nolan Street, Maryborough	Civic	Contemporary	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
92 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
94 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
95 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
97 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
98 Nolan Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
102 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
103 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	S
105-111 Nolan Street, Maryborough	Commercial	Contemporary	NC
116 Nolan Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
119-125 Nolan Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	S
54-58 Alma Street, Maryborough	Civic	Contemporary	NC
70 Alma Street, Maryborough	Commercial	Contemporary	NC
72 Alma Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
74 Alma Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	S
76 Alma Street, Maryborough	Commercial	Contemporary	NC
78 Alma Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
82 Alma Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
84 Alma Street, Maryborough	Commercial	Victorian Period (1851-1901)	NC
86 Alma Street, Maryborough	Residential Commercial	Post-war Period (1945-1965)	NC
39 Tuaggra Street, Maryborough	Residential	Victorian Period (1851-1901)	C
41 Tuaggra Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
54 Tuaggra Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
58 Tuaggra Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
57 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
59 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
61 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
65 High Street, Maryborough	Parking lot	Contemporary	NC
67 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
70 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
71-73 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
72 High Street, Maryborough	Commercial	Contemporary	NC
77 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
79 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
80 High Street, Maryborough	Commercial	Contemporary	NC
82 High Street, Maryborough	Commercial	Contemporary	NC
83 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
84 High Street, Maryborough	Commercial	Contemporary	NC
86 High Street, Maryborough	Commercial	Contemporary	NC
89 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
90 High Street, Maryborough	Commercial	Contemporary	NC
91 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
94 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
93-95 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
96 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
97 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
98 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
99-105 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
104 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
107 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
106 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
110 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
113A High Street, Maryborough	Commercial Residential	Victorian Period (1851-1901)	S
114 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
118-124 High Street, Maryborough	Commercial	Contemporary	NC
119-125 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	S
127 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
131 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
135 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
136 High Street, Maryborough	Commercial	Contemporary	NC
139 High Street, Maryborough	Commercial	Contemporary	NC
147 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
148-152 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
154 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
155 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
155A High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
156 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
158 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
160 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
157-161 High Street, Maryborough	Commercial	Contemporary	NC
162 High Street, Maryborough	Civic	Victorian Period (1851-1901)	S
163 High Street, Maryborough	Civic	Victorian Period (1851-1901)	S

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
166 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
167 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
169 High Street, Maryborough	Commercial	Contemporary	NC
172 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
174 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
175 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
176 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
177 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
178-180 High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
184 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
186 High Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
190-192 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
194 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
196-198 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
202 High Street, Maryborough	Commercial	Victorian Period (1851-1901)	C
204-208 High Street, Maryborough	Commercial	Contemporary	NC
212A High Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
60A Clarendon Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
62 Clarendon Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
64 Clarendon Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC
66 Clarendon Street, Maryborough	Commercial	Contemporary	NC
82 Clarendon Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C
104 Clarendon Street, Maryborough	Commercial	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
1 Havelock Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
3 Havelock Street, Maryborough	Commercial	Interwar Period (c.1910-c.1940)	C

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Eastern Residential Precinct Statement of Significance

Heritage Place: Eastern Residential Precinct

PS reference no: HO211

Address: 4-42 & 5-37 Argyle Road, 1-5 & 8 Carrick Street, 2-12 & 3 Casey Street, 1-25 & 12-30 Fraser Street, 4-12 Golden Wattle Drive, 3-23 & 4 Higham Street, 1-31 & 4-38 Logan Street, 2-4 & 5-7 Lowenstein Street, 1-13 & 2-8 Majorca Road, 2-18 & 3-15 McKean Street, 146-220 & 153-159 Railway Street, 2-28 & 11-29 Sutton Road, Maryborough



Figure 1. Map showing property gradings within the Eastern Residential Precinct.

Statement of Significance

What is significant?

The Eastern Residential Precinct, primarily comprising a large residential area along with a church and commercial shop building, bounded by Argyle Road, Carrick Street, Casey Street, Fraser Street, Golden Wattle Drive, Higham Street, Logan Street, Lowenstein Street, Majorca Road, McKean Street, Railway Street and Sutton Road, Maryborough, is locally significant.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 4 and 11 Argyle Road, Maryborough;
- 7 Lowenstein Street, Maryborough;
- 162, 208 and 210 Railway Street, Maryborough;

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotment patterns created by the nineteenth and twentieth century subdivisions;
- The Victorian-era church building, otherwise known as the former Primitive Methodist Church at 19 Argyle Road, designed in the Victorian Carpenter Gothic style and constructed of weatherboard;
- The former schoolhouse at 8 Higham Street, designed in the Edwardian style and constructed of weatherboard;
- The interwar era commercial shop at 11 Majorca Road, constructed of weatherboard and attached to the adjacent interwar era residence;
- The regularity and harmony of freestanding Victorian era residences characterised by hipped roof forms, weatherboard or face brick, verandahs, timber fretwork or cast-iron lacework, corbelled chimneys, decorative brackets and timber joinery;
- Modest weatherboard Victorian residences with interwar era alterations to verandahs including addition of masonry posts and balustrades.
- The regularity and harmony of freestanding Federation era residences characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard, verandahs with timber valences, and timber sash windows;
- Interwar era development including a mixture of California bungalow forms and Spanish Mission residences, and primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;
- Sympathetic post-war development characterised by hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. These buildings are generally

complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;

- The retention of some original and/or sympathetic low front fences of timber picket, iron palisade and brick masonry. Of particular significance is the fence at 4 Argyle Road;
- The retention of some original outbuildings. Of particular significance are the outbuildings at 7 and 10 Lowenstein Street and 162 Railway Street;
- The general uniformity of allotments, setbacks and low-scale building heights across the housing stock;
- The mature flowering gum (*Eucalyptus ficifolia*), flame tree (*Brachychiton populneus*), peppercorn (*Schinus areira*) and Chinese windmill palm (*Trachycarpus futurei*) at 4 Argyle Road; the mature eucalypt at 7 Lowenstein Street; the Chinese windmill palm (*Trachycarpus futurei*) at 17 Fraser Street; the peppercorn tree (*Schinus areira*) at 18 Fraser Street; the five peppercorn (*Schinus areira*) and two pomegranate (*Punica granatum*) trees at 159 Railway Street.

How is it significant?

The Eastern Residential Precinct is of local historical, representative, and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Eastern Residential Precinct is of historical significance to the township of Maryborough as a subsequent phase of the expansion of the township post the Gold Rush period in the late nineteenth and early twentieth centuries. The precinct is situated outside of the original 1850s government survey of Maryborough, to the east of the Blackmans Lead, one of the main sites of the Maryborough rushes. The building stock developed around the Maryborough Railway Station and line, after its establishment in 1874, and was constructed in distinct phases including the late Victorian period, early Federation years and interwar period as well as early post-war period. The precinct is not only characteristic of the area's growth post the initial Gold Rush period, but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries, as well as the importance of the extension of the railway line to Maryborough. (Criterion A)

The Eastern Residential Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, interwar and post-war era architectural styles. The precinct illustrates the key phase of growth of the township of Maryborough in the aftermath of the initial Gold Rush period. Collectively the buildings demonstrate cohesion in terms of form, height and materials and exhibit key architectural features of their respective styles. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard, verandahs with timber valences, and timber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting

predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in regional goldmining towns. (Criterion D)

The Eastern Residential Precinct is of aesthetic significance for the inclusion of some high-quality individual examples of Victorian, Federation and interwar era buildings that reflect the economy and development of the township from the late nineteenth century. These include the more elaborate examples of late Victorian era dwellings at 4 and 11 Argyle Road, 7 Lowenstein Street and 208 Railway Street characterised by weatherboard or brick, hipped roofs with bracketed eaves, and verandahs with timber fretwork or cast iron filligree; the interwar Spanish Mission residence at 162 Railway Street comprising a double fronted rendered brick façade with a curved corner, centred curved brick portico featuring paired Tuscan columns, wide chimney, and brick detailing; and the interwar bungalow example at 210 Railway Street with its wide gabled roof, exposed eaves, verandah supported by brick piers and expressed timber frames. The remnant original fence at 4 Argyle Road and outbuildings at 7 and 10 Lowenstein Street are also of note. The precinct includes a number of notable mature tree plantings including the mature flowering gum (*Eucalyptus ficifolia*), flame tree (*Brachychiton acerifolius*), peppercorn (*Schinus areira*) and Chinese windmill palm (*Trachycarpus fortunei*) at 4 Argyle Road; the mature eucalypt at 7 Lowenstein Street; the Chinese windmill palm (*Trachycarpus fortunei*) at 17 Fraser Street; the peppercorn tree (*Schinus areira*) at 18 Fraser Street; the five peppercorn (*Schinus areira*) and two pomegranate (*Punica granatum*) trees at 159 Railway Street. (Criterion E)

Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Street address	Place type	Style/era	Grading
4 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	S
5 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
7 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Argyle Road, Maryborough	Residential	Contemporary	NC
10 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	S
12 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
13 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
14 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
16 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
17 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

This document is an incorporated document in the Central Goldfields Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

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<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
18 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
19 Argyle Road, Maryborough	Religious	Victorian Period (1851-1901)	C
20 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901) Interwar Period (c.1910-c.1940)	C
21 Argyle Road, Maryborough	Residential	Contemporary	NC
22 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
23 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
24 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
25 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	C
26 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
27 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
29 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
32 Argyle Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
33 Argyle Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Argyle Road, Maryborough	Residential	Contemporary	NC
35 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
36 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
40 Argyle Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
42 Argyle Road, Maryborough	Residential	Victorian Period (1851-1901)	C
1 Carrick Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Carrick Street, Maryborough	Residential	Victorian Period (1851-1901)	C
5 Carrick Street, Maryborough	Residential	Post-War Period (1945-1965)	C
8 Carrick Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
2 Casey Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
3 Casey Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
4 Casey Street, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Casey Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Casey Street, Maryborough	Residential	Victorian Period (1851-1901)	C
10 Casey Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
12 Casey Street, Maryborough	Residential	Victorian Period (1851-1901)	C
1 Fraser Street, Maryborough	Residential	Contemporary	NC
3 Fraser Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
7 Fraser Street, Maryborough	Residential	Contemporary	NC
9 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Fraser Street, Maryborough	Residential	Contemporary	NC
12 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
13 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Fraser Street, Maryborough	Residential	Post-War Period (1945-1965)	C
21 Fraser Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
23 Fraser Street, Maryborough	Residential	Victorian Period (1851-1901)	C
24 Fraser Street, Maryborough	Residential	Post-War Period (1945-1965)	C
25 Fraser Street, Maryborough	Park	-	C
26 Fraser Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Fraser Street, Maryborough	Residential	Contemporary	NC
30 Fraser Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
4 Golden Wattle Drive, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
6 Golden Wattle Drive, Maryborough	Residential	Contemporary	NC
8 Golden Wattle Drive, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Golden Wattle Drive, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
4 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
5 Higham Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
7 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Higham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Higham Street, Maryborough	Residential	Contemporary	NC
13 Higham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
15 Higham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
17 Higham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Higham Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
21 Higham Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
23 Higham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
1 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
3 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
4 Logan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
5 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
7 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
9 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
10 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
11 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
13 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
14 Logan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
15 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Logan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
17 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
19 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
21 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
22 Logan Street, Maryborough	Residential	Contemporary	NC
23 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
24 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
25 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Logan Street, Maryborough	Residential	Contemporary	NC
27 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
28 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
29 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
30 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Logan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
32 Logan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
36 Logan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
38 Logan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
2 Lowenstein Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
4 Lowenstein Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
5 Lowenstein Street, Maryborough	Residential	Post-War Period (1945-1965)	C
7 Lowenstein Street, Maryborough	Residential	Victorian Period (1851-1901)	S
1 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
2 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
3 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
4 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
5 Majorca Road, Maryborough	Empty block	N/A	NC
6 Majorca Road, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Majorca Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
8 Majorca Road, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
9 Majorca Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
11 Majorca Road, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
13 Majorca Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
2 McKean Street, Maryborough	Residential	Post-War Period (1945-1965)	C
3 McKean Street, Maryborough	Empty block	N/A	NC
4 McKean Street, Maryborough	Residential	Post-War Period (1945-1965)	C
5 McKean Street, Maryborough	Empty block	N/A	NC
6 McKean Street, Maryborough	Residential	Victorian Period (1851-1901)	C
7 McKean Street, Maryborough	Empty block	N/A	NC
8 McKean Street, Maryborough	Residential	Contemporary	NC
9 McKean Street, Maryborough	Residential	Contemporary	NC
11 McKean Street, Maryborough	Residential	Contemporary	NC
13-13A McKean Street, Maryborough	Residential	Contemporary	NC
15 McKean Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
16 McKean Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
18 McKean Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
146 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
150 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
152 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
153 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
154 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
155 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
156 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
158 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
159 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
160 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
162 Railway Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
164 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
166 Railway Street, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
168 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
170 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
172 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918) Interwar Period (c. 1910- c. 1940)	C
174 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
176 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
178 Railway Street, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
180 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
182 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
184 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
186 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	C
188 Railway Street, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
190 Railway Street, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
192 Railway Street, Maryborough	Residential	Contemporary	NC
194 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
196 Railway Street, Maryborough	Residential	Contemporary	NC
198 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
200 Railway Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
202 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
204 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
206 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	C
208 Railway Street, Maryborough	Residential	Victorian Period (1851-1901)	S
210 Railway Street, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	S
212 Railway Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
218 Railway Street, Maryborough	Empty block	N/A	NC
220 Railway Street, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
2 Sutton Road, Maryborough	Residential	Contemporary	NC
4 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
6 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	C
10 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	C
11 Sutton Road, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
13 Sutton Road, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
14 Sutton Road, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
15 Sutton Road, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
16 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
17 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
20 Sutton Road, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
21 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
22 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Sutton Road, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C
25 Sutton Road, Maryborough	Residential	Contemporary	NC
26 Sutton Road, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Sutton Road, Maryborough	Residential	Contemporary	NC
28 Sutton Road, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C
29 Sutton Road, Maryborough	Residential	Interwar Period (c. 1910- c. 1940)	C

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Former Gaol Precinct Statement of Significance

Heritage Place: Former Gaol Precinct

PS reference no: HO210

Address: 18-30 Goldsmith Street, 5-17 Peel Street, 21-35 & 24-36 Barkly Street, 92-102 Inkerman Street, Maryborough



Figure 1. Map showing property gradings within the Former Gaol Precinct.

Statement of Significance

What is significant?

The Former Gaol Precinct, generally bounded by Goldsmith Street, Peel Street, Raglan Street, and Inkerman Street, and comprising a series of residential properties, along with remnant buildings of the former Maryborough Gaol, is locally significant. The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 94 Inkerman Street, Maryborough;
- 96 Inkerman Street, Maryborough;
- 20 Goldsmith Street, Maryborough;
- 21 Barkly Street, Maryborough; and
- 25 Barkly Street, Maryborough

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- Wide, open streetscapes with concrete kerbing, footpaths and crossovers;
- Expansive front setbacks with landscaped front lawns and gardens;
- Highly intact residences including hipped, gabled, or parapeted roof forms featuring slate or terracotta Cordova tiling, and detailing such as face brick chimneys shaped timber elements such as brackets, finials and bargeboards, cast iron lacework, half-timbered open-gable detailing, exposed masonry fenestration detailing, and shaped gable parapets with arched openings;
- The general uniformity of building setbacks and heights;
- Original or sympathetic front fences of timber or masonry construction, including 21 Barkly Street, 23 Barkly Street, 25 Barkly Street, 31 Barkly Street, 35 Barkly Street, 17 Peel Street and 26 Barkly Street. Of specific significance is the bluestone and sandstone brick fence 100 Inkerman Street, constructed with stone from the former Gaol;
- The predominance of eclectic interwar styles, including Bungalow, Arts and Crafts, Spanish Mission and Old English, illustrating the development of the precinct following the subdivision of the Gaol grounds in the early twentieth century, as well as the stylistic eclecticism of the 1930s period;
- High quality 1930s residences along Barkly Street which comprise the township's only row of 1930s dwellings, illustrating the period of homebuilding in the early 1930s as a result of economic prosperity stemming from industrialisation;
- The use of building materials derived from the former Maryborough Gaol buildings in the construction of the 1930s residences, as is the case at 25 Barkly Street;
- Remnant Victorian era development opposite the former Maryborough Gaol at 92 Inkerman Street, illustrating earlier nineteenth century development in the area;
- The visually prominent remnant buildings associated with the Former Maryborough Gaol, including the front offices and quarters buildings at 94 and 96 Inkerman Street; and
- The Streamline Moderne style residence at 20 Goldsmith Street (including its substantial allotment and grounds) as one of the few examples within Maryborough.

How is it significant?

The Former Gaol Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Former Gaol Precinct is historically significant for its association with the Former Maryborough Gaol, a large complex of bluestone buildings that was established in 1861 on the town's foothills following campaigning from the Maryborough community and the newly formed Maryborough Town Council. The establishment of the Gaol is indicative of the size and status of the town during the Gold Rush, and also forms part of a larger phase of prison construction in regional Victoria during the mid nineteenth century. The remnant front offices and quarters buildings not only form a tangible link to Maryborough's role in Victoria's penal system, but also provides insight into the administration of the penal system during the 1860s. (Criterion A)

The Former Gaol Precinct is historically significant as an intact collection of high-quality residences primarily constructed during the interwar period following the closure of the Former Maryborough Gaol in 1914. Predominantly developed during the early 1930s during a period of homebuilding stemming from industrialisation, these houses not only illustrate the town's continued prosperity in the aftermath of the Gold Rush, but also the success of its emergent manufacturing sector as the economy transitioned away from goldmining. The remnant Victorian residence at 92 Inkerman Street as an example of earlier nineteenth century development in the area prior to the closure of the Maryborough Gaol. (Criterion A)

The Former Gaol Precinct is of aesthetic significance as an intact group of high-quality and visually cohesive interwar residences, interspersed with sympathetic Victorian style development. Although primarily designed a mixture of eclectic interwar styles, including Arts and Crafts, Spanish Mission and Old English, homogeneity is achieved through shared or related architectural elements and proportions, such as hipped or gabled roof forms, brick masonry or weatherboard construction, uniform setbacks and heights, timber or brick front fences, grouped timber framed stained glass windows, verandahs supported by masonry piers, prominent arches and gables ornamented with face brick detailing or half-timbering. The 1952 Streamline Moderne residence at 20 Goldsmith Street also contributes to the precinct's aesthetic significance as a visually discernible example of a Moderne style residence set on a substantial allotment. (Criterion E)

Former Gaol Precinct grading table

* S: Significant

C: Contributory

NC: Non-contributory

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
92 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
94 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	S
96 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	S
98 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
100 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C (residence), S (fence)
102 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
23 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
24 Barkly Street, Maryborough	Residential	Contemporary	NC
25 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
26 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
27 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
29 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
31 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
32 Barkly Street, Maryborough	Residential	Contemporary	NC
33 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Barkly Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
35 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
36 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
18 Goldsmith Street, Maryborough	Residential	Victorian Period (1851-1901)	C
20 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940) Built in 1952	S
24 Goldsmith Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
26 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Goldsmith Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
5 Peel Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
7 Peel Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
9 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
11 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
13 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
15 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
17 Peel Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Industrial Serial Listing Statement of Significance

Heritage Place: Industrial Serial Listing

PS reference no: HO219

Address: 36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough



Figure 1. Map showing properties included in the Industrial Serial Listing.



Figure 2. Map showing the contributory structures at the Maryborough Flour Mill Complex, the Patience and Nicholson Factory and the Maryborough Butter Factory Complex.

Statement of Significance

What is significant?

The Industrial Serial Listing, consisting of the Maryborough Flour Mills Complex at 36-38 Albert Street, the Maryborough Butter Factory Complex at 159-165 Railway Street, the Patience and Nicholson Factory at 167 Railway Street, and the Maryborough Knitting Mills Chimney at 96 Burke Street, is locally significant.

Character elements that contribute to the significance of the group of properties include:

- The scale, height, visual prominence and degree of intactness of the interwar industrial buildings and structures;
- The siting of several industrial buildings and adjacent to the railway line, reflecting the historical association of these industries with rail freight travel;
- The utilitarian appearance of the industrial buildings and structures generally characterised by heavy massing, modest gable or saw-toothed roof forms, an absence of ornamentation and the predominance of iron and brick materials;

- Views to prominent vertical industrial structures with landmark qualities, such as the Maryborough Knitting Mills Chimney, and the respective Maryborough Flour Mill and Maryborough Butter Factory smokestacks;
- Remnant non-industrial buildings associated with the former factory complexes, such as the residential style office buildings at 159 Railway Street and 36-38 Albert Street;
- Key features and detailing characteristic of their respective Victorian and interwar era styles as applied to industrial buildings, including:
 - Victorian Vernacular style characterised by simple gable roof forms, corrugated iron and brick materials, a general absence of ornamentation and timber framed sash windows;
 - Interwar International and/or Moderne styles characterised by sawtooth roof forms, face brick finishes, glass block windows, rectilinear forms and decorative parapets.

Post-war and contemporary alterations and additions are not significant.

How is it significant?

The Industrial Serial Listing is of local historical, representative and social significance to the Central Goldfields Shire. Several of the buildings are also of significance for their association with the Maryborough Progress Association.

Why is it significant?

The Industrial Serial Listing is historically significant as a collection of Victorian and interwar era industrial buildings and structures that illustrate the initial growth in industry in Maryborough during the late nineteenth century, and the subsequent consolidation of the town into a successful regional industrial centre during the interwar period. A significant phase in the town's social and economic history, the burgeoning industrial sector of the interwar period not only formed a remedy to increasing unemployment in the township in the aftermath of the Gold Rush but was also a catalyst for further residential and commercial growth in the township. The Industrial Serial Listing forms a tangible link to this key phase of economic prosperity and development within this region of the Central Victorian Goldfields. (Criterion A)

The Industrial Serial Listing is of representative significance as a group of substantially intact buildings and structures that demonstrate the key elements of the Victorian Vernacular or Interwar Moderne and International Styles as applied to industrial design. Key characteristics across the factory complexes that contribute to this representative value include simple utilitarian-built forms, heavy massing, gable or saw-toothed roofs, an absence or restrained application of ornamentation, the predominance of iron and brick materials, and visually prominent smokestacks of brick masonry construction. (Criterion D)

The Industrial Serial Listing is of social significance as local industrial landmarks and sources of working-class pride for the local community. With the majority of these factories in operation from the 1920s to the 1970s-1980s, this group of buildings played a key and ongoing role in the day to day working lives of a significant portion of both the Maryborough and broader Central Goldfields Shire communities. (Criterion G)

The Industrial Serial Listing is of significance as a group of buildings that were primarily established by the efforts of the Maryborough Progress Association, who set about industrialising the township throughout the late 1910s and 1920s in the aftermath of the Gold Rush. The Maryborough Butter Factory, the Maryborough Knitting Mills and the Patience and



Nicholson Factory were all successfully established under their aid and regarded as successful examples of ongoing prosperity during a broader period of economic decline for Victorian goldfields towns. (Criterion H)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Maryborough Main Drain Statement of Significance

Heritage Place: Main Drain

PS reference no: HO222

Address: Main Drain and associated reserve, Maryborough



Figure 1. Main Drain within Phillips Gardens

Statement of Significance

What is significant?

The Maryborough Main Drain, comprising approximately five kilometres of open and covered storm channels within the central township of Maryborough, is significant. The late nineteenth and early twentieth century bluestone, sandstone and brick masonry storm channels of the drain constructed from 1871 to 1915 are of local significance to the Central Goldfields Shire and the development of the township of Maryborough.

How is it significant?

The Main Drain is of local historical and representative significance to the Central Goldfields Shire.

Why is it significant?

The Maryborough Main Drain is historically significant to the township of Maryborough and the broader Central Goldfields Shire Council as a substantial piece of nineteenth century civic infrastructure comprising of five kilometres of above ground and covered stone and masonry drainage channels. The Main Drain is associated with the historical management of issues arising from mining sludge, and public hygiene as well as an ongoing preventative response to flooding episodes. Accordingly, the construction of the Main Drain reflects the historical development of the Maryborough township. (Criterion A)

The Maryborough Main Drain is of representative significance to the Central Goldfields Shire, as an example of the Late Victorian, colonial channelisation of watercourses into manageable drains and canals. This was a practice implemented broadly across the Central Victorian Goldfields as a management tool to prevent against the silting of creeks, in turn reducing the capacity of the watercourses, leading to mass flooding events. The channelisation of watercourses was also used to manage public hygiene. (Criterion D)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Maryborough Railway Complex Statement of Significance

Heritage Place: Maryborough Railway Complex **PS reference no:** HO218

Address: 27 Station Street, 110A Burns Street and ramp near corner of Burns Street and Harkness Street, Maryborough



Figure 1. Aerial map showing boundary of Railway Station, Forecourt, Goods Shed and Reserve, Maryborough.



Figure 2. Aerial map showing boundary of Railway Siding and Loco Shed, Maryborough.



Figure 3. Aerial map showing boundary of Loading Ramp, Maryborough.

Statement of Significance

What is significant?

The Maryborough Railway Complex, consisting of the Maryborough Railway Station (VHR H1577), the Forecourt at 27 Station Street, the Railway Siding, and concrete Water Tower at 110A Burns Street and the Loading Ramp near the corner of Burns and Harkness Streets, is locally significant.

Character elements that contribute to the significance of the Maryborough Railway Complex include:

- The state significant Maryborough Railway Station which includes the station building, associated passenger platforms and signal levers, and goods shed; the store shed/former carpenter's shop, weighbridge and shed; the locomotive shed and adjoining sheds, timber shed and associated engine examination pit; and surrounding land (VHR H1577).
- The railway station forecourt, including the roundabout and Station Street, which lies to the northwest of the station building.
- The remnant railway siding leading to the locomotive shed and the remnant water tower located northeast of the locomotive shed.
- The remnant loading ramp located near the corner of Burns and Harkness Streets.

How is it significant?

The Maryborough Railway Complex is of local historical significance to the Central Goldfields Shire. The Maryborough Railway Station is of historical and aesthetic significance at the State level (VHR H1577).

Why is it significant?

The Maryborough Railway Complex is historically significant as a collection of mid to late Victorian era railway buildings and infrastructure constructed as a direct result of Maryborough's development as an eminent goldfields town. The remnant railway siding, water tower and loading ramp contributed to the onsite servicing of engines. These elements help demonstrate Maryborough's importance as a major railway junction during the Gold Rush period as they denote infrastructure only present at strategic goldfields towns. The forecourt, constructed in the late twentieth century on the original railway reserve, contributes to the overall setting of the site, particularly in ensuring key views to the landmark station building from within the township are retained. (Criterion A)

Maryborough Railway Station is historically significant at the State level as an intact and important example of lavish expenditure on important railways infrastructure built following the 'Octopus Act' in 1884. (Criterion A)

Maryborough Railway Station is architecturally/aesthetically significant at the State level for its distinctive design and scale. The platform verandah to the station building is unique on a



national level and incorporates a hipped roof with a continuous louvred lantern along the ridge. The locomotive shed, while in poor condition, is one of the few major remaining brick depots built during the 'Speight era.' (Criterion D & E)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Methodist and Church of Christ Churches Statement of Significance

Heritage Place: Methodist and Church of Christ Churches

PS reference no: HO220

Address: 63 & 65 Inkerman Street and 49 Clarendon Street, Maryborough



Figure 1. Aerial map showing the boundary of 63 & 65 Inkerman Street and 49 Clarendon Street, Maryborough.

Statement of Significance

What is significant?

The Methodist and Church of Christ Churches, comprising the Wesleyan Methodist churches at 63 and 65 Inkerman Street and the Church of Christ at 49 Clarendon Street, are significant.

How is it significant?

The Methodist and Church of Christ Churches are of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Methodist and Church of Christ Churches are of historical significance as a group of religious buildings that illustrate the early settlement of the Maryborough township following the onset of the Gold Rush. Churches formed part of the grand, substantial building stock built during Maryborough's prosperous goldmining years. Constructed during the mid to late Victorian period the churches also form a link to the strong presence at the time of their respective denominations. (Criterion A)

The Methodist and Church of Christ Churches are of aesthetic significance as substantially intact and visually striking buildings that not only exemplify the early development of the area as a Gold Rush town but also highlight the longstanding religious denominations that have served the community of Maryborough. The notable features of the Methodist Churches include high pitched gabled roofs, clinker brick contrasted with cream coloured render, tower and wrought iron spire, buttresses, gothic arched fenestration, rose window and blond brick detailing. Church of Christ includes two distinct Victorian and post-war sections. The simple Victorian section is designed in the astylar style whilst the post-war section exhibits cream brick, high pitched gabled roof, projecting bay, steel framed windows and a vertical concrete slab feature. These features along with their siting on the corner of Inkerman and Clarendon Streets, combine to create a visually distinct group of church buildings. (Criterion E)

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Palmerston Street Precinct Statement of Significance

Heritage Place: Palmerston Street Precinct

PS reference no: HO216

Address: 1-21 & 6-18 Dundas Road, 91-109 Clarendon Street, 1-7 & 6-10 Nightingale Street, 1-37 & 6-28 Newton Street, 1-15 & 2-10 Wills Street, 53-75 & 52-78 Barkly Street, 61-71A & 60-62 Raglan Street, 37-69 & 40-62 Palmerston Street, Maryborough



Figure 1. Map showing property gradings within the Palmerston Street Precinct.

Statement of Significance

What is significant?

The Palmerston Street Precinct, primarily comprising a large residential area along with a church, school and associated buildings, bounded by Goldsmith Street, Dundas Road, Clarendon Street, Nightingale Street, Newton Street, Wills Street, Barkly Street, Raglan Street, Palmerston Street, Maryborough, is locally significant.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 91 and 93 Clarendon Street, Maryborough
- 6 Nightingale Street, Maryborough;
- 1 and 6 Newton Street, Maryborough;
- 37, 39, 41, 42, 46, 52, 54, 56 and 58 Palmerston Street, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotment patterns created by the nineteenth and twentieth century subdivisions;
- The Victorian-era church and associated school building, otherwise known as the Christ the King Church at the corner of Nightingale and Clarendon Street, designed in the Victorian Romanesque style with the church constructed of bluestone and the school of brick;
- The regularity and harmony of freestanding Victorian era residences characterised by hipped roof forms, weatherboard or face brick, deep verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery;
- The regularity and harmony of freestanding Federation era residences characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and timber sash windows;
- Interwar era development including a mixture of California bungalow forms and Spanish Mission residences, many with Classical Revival elements, and primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;
- Sympathetic postwar development characterised by hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;

- The retention of original and/or sympathetic low front fences of timber picket, iron palisade and brick masonry. Of particular significance are the fences at 44 Palmerston Street and 61 Raglan Street;
- The general uniformity of allotments, setbacks and low-scale building heights across the housing stock;
- The mature Canary Island Palms (*Phoenix canariensis*) at 97 Clarendon Street, 37 and 41 Palmerston Street, and 3 and 11 Dundas Road and the Mexican Hawthorn tree (*Crataegus stipulacea*) at 42 Palmerston Street.

How is it significant?

The Palmerston Street Precinct is of local historical, representative, and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Palmerston Street Precinct is of historical significance to the township of Maryborough as a continuation of the original government survey of Maryborough which occurred in the 1850s. Clarendon Street and Nightingale Street formed part of the original township whilst Palmerston Street formed part of the site occupied by the Californian Gully Lead. The building stock of the precinct, constructed in distinct phases including the mid to late Victorian period, early Federation years and the Interwar as well as early Postwar period, not only forms a tangible link to the area's early development as a Gold Rush town but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries. The Palmerston Street Precinct provides an effective portrait of the town's broader development from the mid nineteenth to the mid twentieth century. (Criterion A)

The Palmerston Street Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, Interwar and Postwar era architectural styles. They illustrate the key phases of emergence, growth, and consolidation of the township of Maryborough. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit key architectural features of their respective eras. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, deep verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and timber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in goldmining towns. (Criterion D)

The Palmerston Street Precinct is of aesthetic significance for the inclusion of individual examples of high-quality Victorian, Federation and Interwar era buildings that reflect the

economy and development of the township from the mid-nineteenth century. These include the impressive Victorian Romanesque church at 6 Nightingale Street characterised by a buttressed bluestone structure, steep pitched roof clad with slate tiles, open gable porch, bell tower and grouped arched windows with leadlight; the school building at 91 Clarendon Street characterised by a buttressed brick structure, steep pitched roofs, open gables, and lancet windows; the more elaborate examples of late Victorian era dwellings at 93 Clarendon Street, 1 and 6 Newton Street, 37, 39, 41, 56 and 58 Palmerston Street characterised by weatherboard or polychrome brick, hipped roofs with bracketed eaves, and deep verandahs with timber fretwork or cast iron filligree; the notable Federation/Edwardian residence at 42 Palmerston Street characterised by half-timbered open gables with a hipped roof, deep return verandah with timber valence and expressed window frames with decorative mouldings; the Spanish Mission residence with classical revival elements at 46 Palmerston Street comprising classically inspired stuccoed front façade consisting of a rounded front porch, with paired Tuscan columns and a decorative baluster parapet imitating a faux balcony; and the California bungalow examples at 52 and 54 Palmerston Street with their wide gabled roofs, exposed eaves, verandahs supported by brick piers and expressed timber frames. (Criterion E)

Palmerston Street Precinct grading table

* S: Significant

C: Contributory

NC: Non-contributory

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
52 Barkly Street, Maryborough	Residential	Contemporary	NC
53 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
54 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
55 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
56 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
57 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
58 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
59 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
60 Barkly Street, Maryborough	Empty block	N/A	NC
61 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
62 Barkly Street, Maryborough	Residential	Contemporary	NC
63 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
64 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
65 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
66 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
67 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
68 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
70 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
71 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72A Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72B Barkly Street, Maryborough	Residential	Contemporary	NC
73 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
74 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
75 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
76 Barkly Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
78 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	C
91 Clarendon Street, Maryborough	Educational	Victorian Period (1851-1901)	S
93 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	S
95 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
97 Clarendon Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
99 Clarendon Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
101 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
103 Clarendon Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
105 Clarendon Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
107 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
109 Clarendon Street, Maryborough	Residential	Contemporary	NC
1 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
5 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
6 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	NC
10 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	C
11 Dundas Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
12 Dundas Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
14 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	NC
16 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	C
1 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	S
5 Newton Street, Maryborough	Residential	Contemporary	NC
6 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	S
7 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Newton Street, Maryborough	Empty block	N/A	NC
10 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
12 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Newton Street, Maryborough	Residential	Post-war Period (1945-1965)	C
18 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
20 Newton Street, Maryborough	Religious	Post-war Period (1945-1965)	NC
22 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
24 Newton Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
25 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
27 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
29 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
31 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
33 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
35 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Newton Street, Maryborough	Residential	Post-war Period (1945-1965)	C
1-3 Nightingale Street, Maryborough	Residential	Contemporary	NC
5 Nightingale Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
6 Nightingale Street, Maryborough	Religious	Victorian Period (1851-1901)	S
7 Nightingale Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Nightingale Street, Maryborough	Residential	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
10 Nightingale Street, Maryborough	Religious	Victorian Period (1851-1901)	C
37 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
39 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
40 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
41 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
42 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	S
44 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
45 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
46 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
47 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
48 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
49 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
50 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
51 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
52 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
53 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
54 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
55 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	C
56 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
57 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
58 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
59 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
62 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
65 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
67 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
69 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
60 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
61 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
62 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
63 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
65 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
67 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
69 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
71 Raglan Street, Maryborough	Residential	Contemporary	NC
71A Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	C
1 Wills Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
2 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
4 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	C
5 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
10 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Park Road Precinct Statement of Significance

Heritage Place: Park Road Precinct

PS reference no: HO215

Address: 1-2 Nightingale Street, 1-55 Park Road, 183-195 & 232-244 High Street, Maryborough



Figure 1. Map showing property gradings within the Park Road Precinct.

Statement of Significance

What is significant?

The Park Road Precinct, comprising a series of predominantly residential properties on Nightingale Street and Park Road North, Maryborough, is locally significant. There are also several examples of commercial properties which contribute to the overall significance of the precinct, particularly located towards the southern end of the precinct curtilage.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 3-5 Park Road, Maryborough;
- 7 Park Road, Maryborough; and
- 25-27 Park Road, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotments patterns established by nineteenth century subdivisions, with residences facing Princes Park on the opposite side of Park Road;
- Highly intact front façade arrangements, roof forms, openings and detailing;
- The predominance of Late Victorian Italianate and Interwar styles, illustrating the popularity of both designs as applied to early twentieth century suburban residences;
- The regularity and harmony of freestanding Late Victorian and Interwar era properties characterised by large, simple roof planes, red face brick, render or weatherboard fabric, gable verges, verandahs supported by masonry piers or wrought iron lacework, mature exotic plantings;
- The general uniformity of setbacks and heights.
- The pairing of a primary residential precinct with some commercial properties, including a substantial Victorian-era hotel (Park Hotel) and a bakery, both of which reflect the transition of High Street north into Park Road.
- Bills Horse Trough, located opposite 19 Park Road, which was installed in the c.1930s and is the last horse trough in the township;
- Generally contributory, although varied, traditional style low timber picket or iron palisade front fences and brick masonry walls. Of specific significance is the original wrought iron fence at 7 Park Road;
- Examples of Maryborough's most opulent housing stock, such as the highly intact Late Victorian residences at 3 and 7 Park Road, and the elaborate Edwardian 'Hadenham' house at 25-27 Park Road; and
- The mature exotic Palm (*Phoenix canariensis*) plantings at 15, 37 and 39 Park Road;

How is it significant?

The Park Road Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Park Road Precinct is of historical significance to the township of Maryborough and broader Central Victorian Goldfields municipality as an original continuation of the government survey of Maryborough in the 1850s, joining the commercial precinct of High Street to the police camp reserve to the northwest of Princes Park. Park Road was a highly significant arterial route joining Maryborough with the Golden Triangle to the north, comprising Dunolly, Tarnagulla, and Moliagul. Following the establishment of Princes Park, Park Road in Maryborough's Gold Rush boom era rapidly became the most affluent residential streetscape in the township, and the dwellings and commercial properties present onsite today are a tangible link to this historically significant narrative. (Criterion A)

The Park Road Precinct is of aesthetic significance as a cohesive and intact nineteenth century residential precinct with several commercial properties including a large commercial hotel (the Park Hotel 195-197 High Street) and a bakery (1 Park Road), all of which was developed opposite a large public reserve. The Precinct is characterised by Late Victorian Italianate villas constructed either in weatherboard or brick masonry, typically with hipped roofs, verandahs with wrought iron lacework, deep setbacks, mature exotic plantings and raised allotments over the streetscape conveying privacy and dominance. Later development is characterised by highly intact and elaborate Edwardian residences constructed in brick masonry with terracotta tiling, hipped roofing with decorative projecting gable ends, elaborate timber fenestration and bracketing, exposed eaves, and deep verandahs as well as interwar dwellings with bungalow design traits including large hipped roof forms with projecting gable ends enclosing a deep porch, with brick masonry piers, leadlight windows and brick construction with a decorative use of render. Though Late Victorian and early twentieth century buildings are represented elsewhere in the township, the structures within the Precinct are of distinct aesthetic significant worthy of distinction from the rest of the township on account of the extent of ornamentation. The continuing theme however are largely deep setbacks, elaborate decoration, mature plantings, and high integrity. Mature plantings include the Canary Island Palm trees (*Phoenix canariensis*) at 15, 37 and 39 Park Road, which aesthetically are associated with Late Victorian landscaping. (Criterion E)

Park Road Precinct grading table

* S: Significant

C: Contributory

NC: Non-contributory

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
1-2 Nightingale Road, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
1 Park Road, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
3-5 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	S
7 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	S
9 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
13 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	N/C (highly altered)
15 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
25-27 Park Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	S
29 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	N/C
33 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
35 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
39 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
41 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	N/C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
43 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	C
45 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	N/C
47 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
49 Park Road, Maryborough	Residential	Post-war Period (1945-1965)	C
51 Park Road, Maryborough	Residential	Contemporary	NC
53 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
55 Park Road, Maryborough	Residential	Victorian Period (1851-1901)	C
183 High Street, Maryborough	Residential	Victorian Period (1851-1901)	C
185 High Street, Maryborough	Residential	Victorian Period (1851-1901)	C
187 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
189 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
191-195 High Street, Maryborough	Commercial	Federation/Edwardian Period (1902-c.1918)	C
232 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
234 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
236 High Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
238 High Street, Maryborough	Residential	Victorian Period (1851-1901)	C
240 High Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
242 High Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
244 High Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Western Residential Precinct Statement of Significance

Heritage Place: Western Residential Precinct

PS reference no: HO217

Address: Albert Street, Brougham Street, Burke Street, Burns Street, Clarke Street, Hilton Street, Inkerman Street, Kars Street, Napier Street, Nolan Street, Victoria Street, Maryborough



Figure 1. Map showing property gradings within the Western Residential Precinct

Statement of Significance

What is significant?

The Western Residential Precinct, generally bounded by Nolan Street, Albert Street, Kars Street, Herring Street, Clarke Street and the Main Drain, and primarily comprising a large residential area of Victorian, Federation and interwar residences along with a church, school and commercial building, is locally significant.

The precinct is predominantly characterised by contributory graded buildings, along with several non-contributory and significant graded buildings.

Significant properties include:

- 56 Burke Street, Maryborough;
- 39 Burns Street, Maryborough;
- 31 Inkerman Street Maryborough;
- 47 Inkerman Street, Maryborough;
- 36 Napier Street, Maryborough;
- 60 Napier Street, Maryborough;
- 24-26 Nolan Street, Maryborough;
- 36 Nolan Street, Maryborough; and
- 36 Victoria Street, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotments and subdivision patterns created by late nineteenth and twentieth century subdivisions, and subsequent development of Victorian, Federation, interwar and complementary post-war housing stock;
- The regularity and harmony of modest freestanding Victorian residences with Italianate style influences primarily characterised by weatherboard, hipped roof forms clad with corrugated metal, front verandahs supported by timber posts, modest cast iron lacework, timber framed sash windows and profiled chimneys;
- Highly ornate Victorian residences characterised by high quality brickwork or weatherboard construction, wraparound verandahs with elaborate timber fretwork or cast-iron lacework, hipped and gabled roof forms with roof finials, profiled corbelled chimneys and bracketed eaves;
- The regularity and harmony of modest freestanding Bungalow style Federation and interwar era residences primarily characterised by weatherboard, prominent gable roof forms clad with corrugated metal, front facing gable ends, front verandahs supported by brick or rendered verandah piers and balustrades, grouped windows, exposed rafter tails and timber joinery;
- The regularity and harmony of freestanding interwar residences designed in a variety of styles, including Spanish Mission Revival, Arts and Crafts, Old English, or Moderne and characterised by render or brickwork, hipped and gable roof forms clad with terracotta,

timber framed windows, and eclectic detailing including prominent loggias, shaped parapets, roughcast renders, barley twist columns and balusters;

- The Victorian church building with interwar alterations known as St Augustine's Catholic Church, characterised by bluestone construction, steeply pitched gables with glazing, buttresses, and a prominent cross spire;
- The interwar Moderne style school building known as the St Augustine's Primary School and characterised by render, a rectilinear form, hipped roof forms clad with terracotta, and a flat parapet with stepped bays.
- The Federation era commercial shop building at 47 Inkerman Street characterised by brick masonry, and a distinct parapet featuring a stepped brick course and dentils;
- The corner Victorian era pub known as the Cambrian Hotel at 24-26 Nolan Street characterised by brick construction, remnant timber framed sash windows, a gabled parapet and ornamented with moulded string course with dentils, precast scroll and finials;
- Sympathetic postwar residential development characterised by hipped roofs, weatherboard construction, stepped built forms, open verandahs, and brick chimneys. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian, Federation and interwar housing stock;
- The row of eight mature London Plane (*Platanus x acerifolia*) trees along the Napier Street reserve, from 56 Napier Street to 47 Inkerman Street.
- The retention of original and/or sympathetic low front fences of cast iron, brick and timber; and
- The general uniformity of allotments, setbacks and building heights across housing stock within the precinct.

How is it significant?

The Western Residential Precinct is of local historical and representative significance to the Central Goldfields Shire.

Why is it significant?

The Western Residential Precinct is historically significant as an intact collection of Victorian, Federation and early interwar era houses that illustrate key phases in the expansion and consolidation of the Maryborough township in the aftermath of the Victorian Gold Rush. Its residential building stock, situated outside of the original town survey and generally constructed in two distinct phases, including the late Victorian period and early twentieth period, not only demonstrates the initial expansion of the gold mining town from the c.1870s, but also the consolidation of the township throughout the late Federation and interwar years following the growth of the local manufacturing industry. The presence of more ornate middle-class housing situated east towards the commercial centre and Philips Garden, as distinct from the more modest working-class housing that characterises the Western Residential Precinct, also illustrates Maryborough's broader settlement and development patterns. Non-domestic architecture, including Victorian era commercial buildings and the St Augustine's Catholic Church and Primary School, demonstrate the associated establishment of commercial, religious and education facilities to serve the needs of the growing population. Accordingly, the Western Residential Precinct provides an important portrait of Maryborough's development as a township over the late nineteenth and early twentieth centuries. (Criterion A)

The Western Residential Precinct is of representative significance as an area composed of substantially intact and characteristic examples of Victorian, Federation, and interwar era architectural styles, common in gold mining towns within the Victorian goldfields. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit the key architectural features of their respective eras. This includes both modest and highly ornate Victorian buildings with Italianate influences characterised by weatherboard or brick construction, hipped roof forms typically clad with corrugated metal, front verandahs with cast iron lacework and supported by timber posts; Bungalow style Federation and early interwar buildings primarily characterised by weatherboard, prominent gable roofs clad with corrugated metal, front facing gable ends, front verandahs supported by brick or rendered verandah piers and balustrades, grouped windows, and exposed rafter tails and timber joinery; and interwar residences designed in a mixture of Spanish Mission Revival, Arts and Crafts, Old English, or Moderne styles and characterised by render or brickwork, hipped and gable roof forms clad with terracotta, timber framed windows, and eclectic detailing including prominent loggias, shaped parapets, roughcast renders, barley twist columns and balusters. The cohesive character of the built form of the precinct is complemented by the row of eight London Plane (*Platanus x acerifolia*) trees along Napier Street. (Criterion D)

Western Residential Precinct grading table

* S: Significant

C: Contributory

NC: Non-contributory

Street address	Place type	Style/era	Grading
13 Albert Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Albert Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
17 Albert Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
19 Albert Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
21 Albert Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
23 Albert Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
25 Albert Street, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Albert Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
29 Albert Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
12 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
15 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
17 Brougham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
20 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
21 Brougham Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
22 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
25 Brougham Street, Maryborough	Residential	Contemporary	NC
27 Brougham Street, Maryborough	Residential	Victorian Period (1851-1901)	C
29 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
31 Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
32B Brougham Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
11 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
12 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
13 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
14 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
15 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
16 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
19 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
20 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
21 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
22 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
23 Burke Street, Maryborough	Residential	Contemporary	NC
24-26 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
27 Burke Street, Maryborough	Residential	Contemporary	NC
28 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
29 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
30 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
32-34 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
33 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
35 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
36 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
37 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
38 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
39 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
40 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
41 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
43 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
44 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	C
45 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
46 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
47 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
48 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
49 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
50 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
51 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
52 Burke Street, Maryborough	Vacant allotment	-	NC
53 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
54 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
55 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
56 Burke Street, Maryborough	Religious School	Victorian Period (1851-1901) Interwar Period (c.1910-c.1940)	S
57 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
59 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
61 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
63 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
65 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
66 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
67 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
68 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
69 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
71 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
72 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
73 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	C
74 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
75 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
76 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
77 Burke Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
78 Burke Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
79 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
80 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
81 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
83 Burke Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
85 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
86 Burke Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
20 Burns Street, Maryborough	Residential	Contemporary	NC
22 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
21-23 Burns Street, Maryborough	Religious	Victorian Period (1851-1901)	C
	Residential	Post-War Period (1945-1965)	NC
24 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
28 Burns Street, Maryborough	Residential	Victorian Period (1851-1901)	C
30 Burns Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
32 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
33 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
34 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
35 Burns Street, Maryborough	Residential	Contemporary	NC
36 Burns Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
37 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
38 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
39 Burns Street, Maryborough	Residential	Victorian Period (1851-1901)	S
40 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
42 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
43 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	C
44 Burns Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
45 Burns Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
2 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
3 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
4-6 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
5 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
7 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
8 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
10 Inkerman Street, Maryborough	Residential	Contemporary	NC
11 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
12 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
13 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	C
14 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
17 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
18 Inkerman Street, Maryborough	Residential	Contemporary	NC
19 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
20 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
22 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
25 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
29 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
31 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	S
32 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
33 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
35 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
36 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
37 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
38 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
39 -41 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
42 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
43 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
44 Inkerman Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
47 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	S
49 Inkerman Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
20 Kars Street, Maryborough	Residential	Contemporary	NC
22 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C
26 Kars Street, Maryborough	Residential	Contemporary	NC
27 Kars Street, Maryborough	Residential	Contemporary	NC
28 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
29 Kars Street, Maryborough	Residential	Contemporary	NC
31 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C
32A Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
33 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
35 Kars Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
37 Kars Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
39 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
41 Kars Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
15 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
18 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
20 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
21 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
22 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
23 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
24 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
25 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
26 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
27 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
30 Napier Street, Maryborough	Residential	Contemporary	NC
31 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
32 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
33 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
34 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
35 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
36 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
37 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
38 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
39 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
40 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
41 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
44 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
46 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
48 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
49 Napier Street, Maryborough	Vacant allotment	-	NC
50 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
52 Napier Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
53 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
54 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
55 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
56 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
57 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
58 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
59 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
60 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	S
61 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
62 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
63 Napier Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	NC
64 Napier Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
65 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
68 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
70 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72 Napier Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
74 Napier Street, Maryborough	Residential	Contemporary	NC
76 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
78 Napier Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
80 Napier Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
82 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
84 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
86 Napier Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Nolan Street, Maryborough	Residential	Contemporary	NC
5 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Nolan Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
9 Nolan Street, Maryborough	Residential	Interwar Period (c. 1910-c. 1940)	C
11 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
15 Nolan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c. 1918)	C
17 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
19 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	C
24-26 Nolan Street, Maryborough	Commercial	Victorian Period (1851-1901)	S
27 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
28 Nolan Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
29 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
27 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
30 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
32 Nolan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
33 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
36 Nolan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
12 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	C
14 Victoria Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
16 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
20 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
22 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
24 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
25 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
26 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C
27 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
28 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
29 Victoria Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
30 Victoria Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
31 Victoria Street, Maryborough	Residential	Contemporary	NC
33 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	C
35 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	NC
36 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	S
37 Victoria Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
41 Victoria Street, Maryborough	Residential	Post-War Period (1945-1965)	C
43 Victoria Street, Maryborough	Residential	Victorian Period (1851-1901)	C

Primary source

Maryborough Heritage Review Study Volume 2, Extent Heritage, 2024.

Raglan Street Precinct Statement of Significance

Heritage Place: Raglan Street Precinct

PS reference no: HO212

Address: 2-4 & 3 Peel Street, 11-57 & 54-58 Raglan Street, 82-88 Kars Street, 1-19 & 2-20 Barkly Street, 83-101 & 86-90 Inkerman Street, Maryborough



Figure 1. Map showing property gradings within the Raglan Street Precinct.

Statement of Significance

What is significant?

The Raglan Street Precinct, comprising a large residential precinct with a church, bounded by Raglan Street, Peel Street, Inkerman Street and Barkly Street, Maryborough, is locally significant.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 25, 35 and 43 Raglan Street, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotment patterns created by the nineteenth and twentieth century subdivisions;
- The Victorian-era church, formerly known as the Congregational Church, at 35 Raglan Street, designed in the Late Victorian style with Gothic Revival elements;
- The variety of both restrained and elaborate freestanding Victorian era residences characterised by hipped roof forms, weatherboard or face brick with one example of extensive decorative render, deep wraparound verandahs, timber fretwork or cast-iron lacework, corbelled chimneys, decorative brackets and timber joinery;
- The variety of freestanding Federation era residences characterised by decorative projecting gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, hipped and gabled roofing clad in corrugated sheet metal, and timber sash windows;
- Interwar era development including a mixture of California bungalow forms and Spanish Mission residences, many with Classical Revival elements, and primarily characterised by hipped roof forms, weatherboard or brick and stucco walls, brickwork detailing and timber framed sash windows. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;
- The general uniformity of allotments, setbacks and low-scale building heights across the housing stock;
- Sympathetic front fences and walls typically of low brick walls to Interwar era residences and timber picket fences to Victorian and Federation era residences.
- The five mature English Oaks (*Quercus Robur*) along Raglan Street reserve, starting outside the former Congregational Church, and the Moreton Bay Fig (*Ficus macrophylla*) at the former Congregational Church, 35 Raglan Street.

How is it significant?

The Raglan Street Precinct is of local historical and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Raglan Street Precinct is of historical significance to the township of Maryborough as a mid-nineteenth century subdivision between the former Gaol site and the Civic square on Palmerston Street. The Raglan Street Precinct reflects the early development of the township with an emphasis on residential and community pursuits as reflected in the variety of Victorian era houses and former Congregational Church, and also reflects the ongoing development of the township through the late nineteenth century to early twentieth and interwar years, showing the township's evolution from a Gold Rush town to an industrial town. (Criterion A)

The Raglan Street Precinct is of aesthetic significance to the township of Maryborough and the broader Central Goldfields Shire Council as a highly intact residential precinct characterised by both restrained and elaborate Victorian dwellings, Federation residences and Interwar California Bungalows. The Victorian dwellings are typically constructed in weatherboard, and the more

restrained dwellings are single storey cottages with gabled roofs clad in corrugated iron, with simple skillion verandahs. The more elaborate dwellings show affluence through their detailing including features such as expressive moulded detailing including architraves with keystones and festoons, tall parapets, elaborate Italianate chimneys, wrought iron lacework, wraparound verandahs with ornately detailed posts and deep setbacks. The Federation-era residences are largely constructed in weatherboard; however, they show decorative use of projecting gable ends and in some late examples Spanish Mission influences through the use of rendered porches. The precinct is also characterised by Interwar California Bungalows, constructed following the typical typology of bungalow design, being a substantial rectilinear form with an emphasis on verandahs and a large gabled roof with deep eaves and a shallow pitch. Most bungalows are constructed in brick masonry, and some have decorative render and pier verandah posts. Mature tree specimens such as the five English Oaks (*Quercus robur*) along Raglan Street reserve and the Moreton Bay Fig (*Ficus macrophylla*) outside the former Congregational Church also contribute to the aesthetic significance to the precinct. The combination of all the above styles, with each their own complimenting characteristics, make for a highly intact and aesthetically pleasing precinct not only to the township of Maryborough but to the broader municipality. (Criterion E)

Raglan Street Precinct grading table

* S: Significant

C: Contributory

NC: Non-contributory

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
2 Peel Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Peel Street, Maryborough	Residential	Victorian Period (1851-1901)	C
4 Peel Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
11 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
13 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
17 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
21 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
23 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
25 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	S
27 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
29 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
31 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
33 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
35 Raglan Street, Maryborough	Religious	Victorian Period (1851-1901)	S
39 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
43 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	S
45 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
47 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
49 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
51 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
53 Raglan Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
54 Raglan Street, Maryborough	Residential	Contemporary	NC
55 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
57 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
56-58 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
83-85 Inkerman Street, Maryborough	Residential	Contemporary	NC
86 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
87 Inkerman Street, Maryborough	Residential	Contemporary	NC
88 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
89 Inkerman Street, Maryborough	Residential	Contemporary	NC
90 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
91 Inkerman Street, Maryborough	Residential	Victorian Period (1851-1901)	C
95 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
97 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
99 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
101 Inkerman Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
1 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
2 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
3 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
4 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

<i>Street address</i>	<i>Place type</i>	<i>Style/era</i>	<i>Grading</i>
5 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
8 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
10 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
13 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Barkly Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
16 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
17 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C

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EXTENT



CENTRAL GOLDFIELDS SHIRE

HERITAGE DESIGN GUIDELINES

Prepared for Central Goldfields Shire

November 2023 — Final Draft



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1. INTRODUCTION

1.1. About the Guidelines

Purpose

The Heritage Design Guidelines (Guidelines) aim to guide the development and management of Central Goldfields Shire (Council) heritage places to ensure that the town's valued heritage is appropriately conserved. The purpose of the Guidelines is to provide both Council and property owners/occupiers with clear guidance for decision making in relation to the conservation and development of heritage places included in the Heritage Overlay of the Central Goldfields Shire Planning Scheme. The intention of these Guidelines is not to provide a solution for every individual design proposal that may arise but to establish overarching guiding principles that can be used with the aim to obtain good heritage design outcomes.

The Guidelines follow the philosophy, principles and processes set out in *the Burra Charter, the Australia ICOMOS Charter for Places of Cultural Significance 2013* (Burra Charter).

Why the guidelines are needed

Heritage places across Central Goldfields Shire are highly valued by Council and the community for providing a meaningful link to the past and for enhancing the current built environment. These places not only make an important contribution to the Shire's heritage landscape but are also central to the town's unique goldfields character and distinct cultural identity.

Heritage places encompass individual heritage places, heritage precincts or heritage group listings, and include residential and non-residential places, parks and gardens, trees, and infrastructure. The aim is not to prevent change to these places, but rather to facilitate change that does not diminish their cultural significance over time.

1.2. How to use the guidelines

Scope

The Guidelines apply to all heritage properties included in Central Goldfield's Shire Schedule to the Heritage Overlay, under the provisions of Clause 43.01 Heritage Overlay.

The Guidelines have been prepared to support interpretation of the heritage policies within Central Goldfield Shire Planning Scheme. The heritage policies are as follows:

- Clause 15.03-1S Heritage conservation



How they are structured

The Guidelines are structured around the following themes, each of which contains approaches and techniques for significant, contributory, and non-contributory heritage places (where relevant), that will support the conservation of heritage places:

- Conservation works
- Demolition and relocation
- Additions and alterations
- New buildings
- Services
- Trees, gardens and landscape
- Fences and gates
- Vehicle accommodation
- Signage
- Subdivision
- Public realm

In using these Guidelines, select the themes that are relevant to the heritage place and proposed development in question. In most instances, more than one theme will apply to the proposed works. The Guidelines are not exhaustive, and it may be the case that other approaches not outlined in this document are appropriate. Definitions of terminology used in these Guidelines is included in the Glossary at the end of this document.

2. CONSERVATION WORKS

Conservation works are essential to conserving heritage places and ensuring their long-term survival. It can include returning the fabric of a heritage place to a known earlier state by removing non-original additions, repairing, or restoring existing original features without the introduction of new material, or the introduction of new materials sympathetically.



Figure 1. Intact residence at 7 Park Road, Maryborough. *Source:* Extent Heritage.

2.1. Key issues

Conservation of original external features is essential to maintaining the significance of the heritage places and precincts. Restoration, reconstruction, repairs, and maintenance are important to conserve the appearance and significance of these features.

Inappropriate conservation works may affect the significance of a heritage place, including:

- Historically inaccurate detailing or external paint schemes.
- Use of inappropriate and/or incompatible materials and methods.
- Painting of previously unpainted surfaces.
- Restoring features without reference to archival materials or existing elements.

2.2. Design guidelines

Conservation and Restoration

Retain, conserve and restore:

- All significant building fabric.
- Contributory elements including ancillary outbuildings, fences, gates, and gardens.
- Facade elements including original openings, decorative elements and joinery to doors and windows.
- Original or early shopfronts.

Works should:

- Retain and restore existing significant and contributory fabric or replace on a like for like basis as a last resort option (for example, if the fabric is beyond repair).
- Not reproduce period detailing to shopfronts or facades unless it aims to restore the building to a known original state.
- Be based on physical evidence, such as remnant fabric, or documentary evidence, such as plans and photographs. If there is not enough evidence for an accurate reconstruction, then a simplified design appropriate for the style and era of the building should be used.
- Avoid adding decorative features that never existed.



Repairs and Maintenance

Works should:

- Match the material, colour, texture, composition, and pattern of the original.
- Prioritise the repair and maintenance of the existing fabric, rather than complete replacement wherever possible.
- Avoid techniques such as sandblasting that could damage heritage features, details, materials or finishes.
- Carry out test works on small areas prior to proceeding with a full scale of conservation work.

Colours and finishes

Works should:

- Retain unpainted brick, masonry, render or roughcast surfaces unpainted.
- Remove paint from surfaces which were not originally intended to be painted through an appropriate method.
- Be in keeping with the character of the heritage place and heritage precinct more broadly (if relevant).
- Replicate original colour schemes, where known (for example, based on archival research or paint investigation undertaken by a suitably qualified specialist).
- Use traditional colour schemes typical of the building period where the original scheme is not known.

Encourage like for like replacement when original fabric is unable to be repaired, for example, preference the use of traditional galvanised iron roof sheets over contemporary products such as Zinalume or

Colorbond.



Figure 2. Intact shopfront at 79 Nolan Street, Maryborough. Source: Extent Heritage.



Figure 3. Intact shopfront at Dunolly. Source: Trove.

3. DEMOLITION AND RELOCATION

Retaining heritage places, and parts of heritage places, is important to sustaining the valued heritage character of Central Goldfields Shire.

3.1. Key issues

- Loss of heritage buildings, or removal of significant building fabric, undermines the heritage values of Central Goldfields Shire.
- Demolition of the front or principal part of heritage places (including facade, roof and side walls) severely degrades the significance of a heritage place. This can result in 'facadism' where only the very front most parts of the heritage place are maintained but the integrity and massing of the place is lost either through demolition or intrusive additions.
- Incremental loss of heritage buildings and contributory fabric within a precinct have a broader cumulative impact on the integrity of a precinct over time.
- Relocation of a heritage place or element from its original physical location can impact its cultural heritage significance.

3.2. Design guidelines

Significant Places

Full demolition is strongly discouraged.

Demolition of parts of buildings is discouraged, unless all of the following apply:

- Significant building fabric and other elements, such as gardens, outbuildings

and fences, identified in the Statement of Significance, are retained.

- The front or principal part of the building is retained.
- It can be proven that the works are required to ensure the long-term conservation of the place.

The poor structural or aesthetic condition of a heritage place should not in itself be a reason for permitting demolition of a significant heritage place or part thereof. Further, poor condition needs to be substantiated by structural evidence to justify that repair/restoration of existing elements is not possible.

Contributory Places

Full demolition of contributory places is discouraged.

Partial demolition of contributory places may be appropriate in more limited circumstances including:

- The demolition will not adversely affect the established significance of the place and heritage precinct more broadly (if relevant).
- The replacement built form is sympathetic to the scale, setbacks and general heritage significance of the place and heritage precinct more broadly (if relevant).

The poor structural or aesthetic condition of a heritage place should not in itself, be a reason for permitting demolition of a contributory heritage place or part thereof.

Non-contributory Places

Full and partial demolition of non-contributory places is supported.



Where full demolition is proposed, the application should be accompanied by a proposed replacement building which responds to the built form, detailing, materials, building envelope and settings of the broader precinct.

Building Relocation

Relocation of a heritage building, work or element is generally unacceptable, unless this is the sole practical means of ensuring the survival of that heritage place.

Some buildings, works or other elements of places were designed to be readily removable or already have a history of relocation. Provided such buildings, works or other elements do not have significant links with their present location, removal may be appropriate.

If any building, work or other element is moved, it should be moved to an appropriate location and given an appropriate use.

4. ALTERATIONS AND ADDITIONS

Central Goldfield's heritage places have been altered over time in response to changing uses, needs and architectural trends.

Alterations and additions should preserve fabric that contributes to the significance of a heritage place. It is important to ensure that any changes respect and do not detract from the assessed significance of a heritage place.

4.1. Key issues

- Unsympathetic alterations and additions that obscure, remove, or detract from significant building fabric are likely to undermine the heritage values of Central Goldfields Shire.
- Obtrusive scale, mass, height and visual dominance of new additions.
- Unsympathetic design details, including inappropriate selection of materials, colours, textures and finishes.
- Imitation or replica heritage styles, creating a false impression of the provenance of the new work.

4.2. Design guidelines

Significant Places

Alterations and additions to significant places should be respectful of the heritage fabric and setting of the heritage place.

They should:

- Not alter, conceal, or remove significant fabric or features, regardless of whether they are visible from the public realm.

- Assist in the long-term conservation of the place.
- Retain external and internal (where applicable) openings, forms, detailing and fabric where they contribute to the assessed significance of the place.
- Be undertaken using appropriate materials, colours, textures and finishes that are sympathetic to significant fabric and complement colour schemes and materiality associated with existing walls, windows and roofs.
- Remove later (non-original) alterations or additions.
- Incorporate design details that honestly admit their modernity while relating to the heritage character of their surroundings.
- Be located and massed in a manner that does not detract from or dominate significant fabric of the heritage place (through siting and massing). This should be achieved utilising a combination of setbacks, heights and physical separation as appropriate.
- Be located to the rear of the heritage place, where possible.

Contributory Places

Alterations and additions to contributory heritage places are permitted, particularly if they are not visible from the public realm.

They should:

- Where possible, be concealed from view of the street frontage (Figure 4).
- Not obscure or overwhelm the façade, original massing, height, contributory form and/or scale.
- Be undertaken using appropriate materials, colours, textures and finishes that are sympathetic to contributory

fabric and complement existing colours on walls, windows and roofs.

- Use modern materials which are discernible from the existing building fabric without providing a strong visual contrast.
- Discourage new openings in the principal façade.
- Retain external fabric that can be viewed from the public realm.
- Maintain consistency of side setbacks when viewed from the public realm, especially where this is a character element of a broader precinct.
- Not reproduce period detailing unless there is evidence that they were originally present.
- Remove later (non-original) alterations or additions.

the broader heritage setting and character of the place.

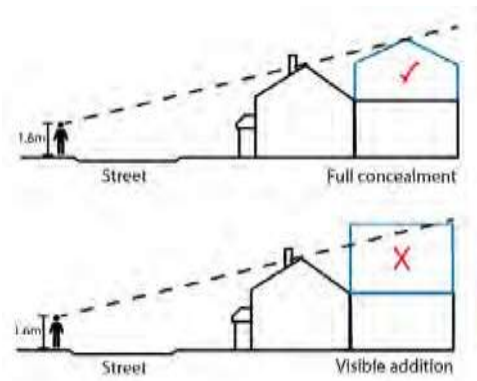


Figure 4. Assessing the visual dominance of a rear addition from a height of 1.6m.

Non-contributory Places

Alterations and additions to non-contributory buildings within a precinct are permissible as they do not contribute meaningfully to the cultural heritage significance of the precinct. However, it is still important to ensure that such alterations and additions do not visually dominate the precinct and are sensitive to

5. NEW BUILDINGS

New buildings within a heritage precinct should be sensitive towards the key attributes that contribute to a precinct's heritage significance. This approach can help ensure that new buildings provide for modern demands and standards while simultaneously respecting the broader heritage character and setting.

5.1. Key issues

- Building scale and form that is not reflective of the predominant scale and form of the heritage properties in the precinct.
- Materials and finishes that are visually obtrusive and do not complement the key characteristics of the precinct.
- Larger scale dwellings including greater site coverage, reduced setbacks and building spacing.
- Inappropriate location and design of carports, garages and parking (see also Section 9 for vehicle accommodation).
- Imitation or replica heritage style buildings, creating a false impression of the provenance of the new work.

5.2. Design guidelines

All areas

In heritage streetscapes, new buildings should broadly reflect the following characteristics of Significant and Contributory places:

- Height, form and massing;
- Front and side setbacks;
- Siting and orientation;
- Window and door openings;

- Details, colours, materials and finishes; and
- Fence height and form (see also Section 8); and
- Landscaping (see also Section 7).

New buildings should not visually dominate or overwhelm a heritage precinct. They should interpret heritage attributes in contemporary manner. Mock, or imitation period detailing should be avoided.

Residential infill

In residential streetscapes, new buildings should:

- Not exceed the maximum height of buildings on adjoining lots, but may incorporate upper storey addition/s at the rear if visually recessive and does not dominate the streetscape.
- Respect the building proportions, wall height, roof and verandah forms, where applicable.
- Ensure that front and side setbacks match the setbacks of adjoining buildings (Figure 5)
- Present minimal bulk from oblique viewpoints from the footpath on the opposite side of the street/s.
- Provide a sympathetic transition between adjoining buildings.
- Interpret the key contributory features of neighbouring places.

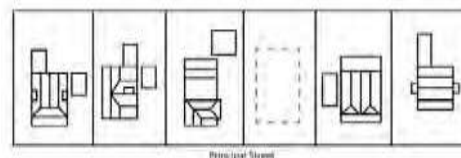


Figure 5. An example of a consistent front setback within a heritage context.

Commercial/retail infill

New buildings in commercial areas should:

- Not exceed the street wall height of heritage buildings on adjoining lots, but may incorporate a higher section at the rear if it is visually recessive and does not visually dominate the streetscape.
- Respect the building proportions, setbacks, street wall and parapet heights, roof and verandah forms, entry proportions, openings and framings (Figure 6).
- Ensure that front and side setbacks match the setbacks of adjoining buildings.
- Setback upper floor levels within a concealment envelope so as to present minimal bulk from oblique view points from the footpath on the opposite side of the street/s or laneways.
- Incorporate an angled splay on street corners where these are present on adjacent or opposite corners.
- Not obscure or overshadow prominent views, settings and terminating vistas.

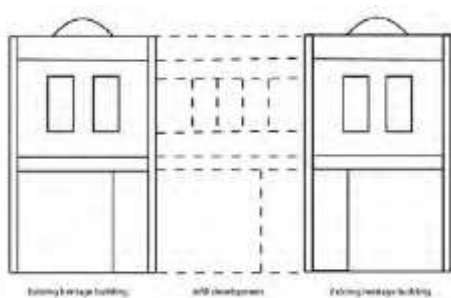


Figure 6. Commercial infill development between heritage buildings at street level.

6. SERVICES

Heritage places were not originally designed to include ancillary services and equipment such as solar energy systems, rainwater tanks, air conditioning units, hot water systems, EV charging stations and satellite dishes found in contemporary buildings.

Some of these ancillary services, such as solar energy systems and rainwater tanks, improve the environmental sustainability of a building and are therefore encouraged. However, their visual impact should be mitigated through a considered approach in the choice of scale, placement and design.

6.1. Key issues

- The scale and placement of ancillary services can have a visual impact on heritage values of a place or precinct.
- The placement of ancillary services can have a physical impact on heritage fabric.

6.2. Design guidelines

Design and placement of ancillary services and equipment

Ancillary services and equipment should:

- Be concealed from the principal façade of a heritage place as viewed from the public realm.
- Be integrated or incorporated into the building design of external additions and new buildings, preferably located to the rear of the heritage place where possible.
- Be installed in a manner where they can be removed without damaging significant fabric.

- Align with the profile of the roof, particularly in the case of roof fixtures.
- Locate solar energy systems away from the primary visible roof form as viewed from the public realm.
- Locate EV charging stations to side walls where possible, setback at least 1 metre from the principal façade.

Ancillary services and equipment, particularly those that will reduce greenhouse gas emissions or water consumption, may be permitted on visible parts of significant or contributory buildings where it can be demonstrated that there is no feasible alternative.

Environmental Performance Upgrades

Encourage the enhancement of the environmental performance of buildings whilst also minimising impacts on the heritage significance of a place and its contributory elements.

Ensure that the installation of solar energy systems does not:

- Dominate or adversely impact upon the heritage values of a place or precinct.
- Diminish the prominence of contributory elements of a place.
- Damage original fabric of a heritage place.

Disabled access

Disabled access should:

- Be lightweight, non-permanent (e.g. portable) construction that does not adversely affect heritage fabric or settings.
- Utilise modern materials that are discernible from original heritage fabric without providing a strong visual contrast.

7. TREES, GARDENS AND LANDSCAPE

Historic trees, gardens and landscaping were generally designed to complement the architectural design and setting of heritage buildings. Built elements such as garages, carports, entrances to basement car parks and areas of hard stand were not typically located within front gardens.



Figure 7. Mature trees and plantings in the front set back of 19 Park Road, Maryborough. *Source:* Extent Heritage.

7.1. Key issues

- Removal of gardens, trees and landscaping which contribute to the heritage significance of a place.
- Removal or alteration to significant landscape design elements such as garden beds and paths.
- Poor ratio between soft and hard landscaping.

7.2. Design guidelines

Restoration of significant gardens and landscaping

Significant heritage gardens and landscaping should be:



- Restored to original designs with regards to plant species and landscape treatment appropriate to the era of development.
- Restoration works should be based on historical documentation such as early drawings, plans, photographs or physical evidence found on site.

Gardens, trees and landscaping

Works should:

- Retain trees listed as having tree controls in the Schedule to the Heritage Overlay.
- Retain original or early landscaping elements, including:
 - trees and gardens which are significant or contributory to a heritage place; and
 - pathways and driveways, garden border tiles or edging, fencing and walls.
- Tree or landscaping replacement should be like for like with regards to species and materials, unless an alternative planting strategy or landscape plan has been approved by Council.
- Ensure that new development is located at a distance that does not adversely damage the health of any contributory or significant graded tree.

Front setback areas

Front setback areas should:

- Retain gardens, trees and landscaped areas and be free from built form such as swimming pools, vehicle parking, large hard stand or paved areas, tennis courts and other permanent recreational structures.

8. FENCES AND GATES

Residential heritage areas in Central Goldfield Shire often feature low brick, timber or iron front and side fences and gates that complement the architectural style of the dwelling. Original, early and/or sympathetic fences and gates are contributory features that enhance the significance of a heritage place and precinct.



Figure 8. Original brick front boundary fence at 21 Barkly Street, Maryborough. Source: Extent Heritage.



Figure 9. Brick front boundary fence in keeping with the design of the building, at 35 Barkly Street Maryborough. Source: Extent Heritage.

8.1. Key issues

- Removal of fences and gates which contribute to the significance of a place.

- Addition of new fences and gates that do not complement the architectural character of a heritage place or precinct.
- High and impermeable fences that obscure heritage places.
- Lack of consistency in fencing scale, siting and materials.

8.2. Design guidelines

Restoration of original fences and gates

Original fences and gates should be conserved. Works should:

- Restore original fences and gates. If only part of a fence or gate survives, the original elements should be retained and incorporated into a new fence or gate of the same form.

New fences and gates (significant and contributory places)

New fences and gates at a contributory or significant graded heritage place should be sympathetic with the historic streetscape character. Works should:

- Reconstruct fences and gates using plans and details of the original structure where possible.
- Replace or construct new front and side fences and gates consistent within the architectural style of the heritage building, and the height, form, setback and materials of original fencing of heritage places in the immediate environs, without necessarily reproducing their detail.
- Avoid new openings in front fences that impact the character of the heritage place.



New fences and gates (non-contributory places)

New fences and gates at non-contributory places should:

- Be of a fence height that is complementary to fences at neighbouring contributory or significant places within the streetscape.

Painting fences

Unpainted fences should remain unpainted. However, it is permissible to paint a painted contributory fence in a colour scheme that is in keeping with the heritage place.



Figure 10. Contemporary fence sympathetic to its heritage context at 17 Peel Street, Maryborough.

Source: Extent Heritage.

9. VEHICLE ACCOMMODATION

Vehicle access to residential dwellings in heritage areas was typically not provided due to the era of development. However in many cases, vehicle access in the form of crossovers was subsequently established from the mid twentieth century onwards following the advent of the motor vehicle.

9.1. Key issues

- Widening existing crossovers that would require altering a fence, impacting an established tree, or removing original plantings that contribute to the significance or setting of a heritage place.
- Vehicle crossovers may be damaged during building works.
- Siting new on-site vehicle parking within front setbacks that obstructs views to a heritage place and requires construction of large areas of paving/hard surfaces.

9.2. Design guidelines

All areas

Development relating to vehicle access and accommodation should:

- Avoid more than two crossovers to a single site.
- Avoiding widening existing crossovers.
- Avoid crossover works that require the alteration or removal of a feature that contributes to the significance of a heritage place, such as a fence or tree.
- Works to existing crossovers should match the materials of heritage streetscape elements.

- Repair any damage to vehicle crossings caused during construction using like for like materials.

Residential areas

Vehicle accommodation and access in residential areas should:

- Utilise existing crossovers to the side or rear of the dwelling.
- Discourage new on-site parking, garages, carports and vehicle crossovers unless:
 - Car parking is located to the rear of the property, where this is an established characteristic.
 - Any garage or carport is located to the rear or side of the principal part of the building and is visually recessive, does not obscure contributory heritage fabric and is respectful of the form, details and materials of the heritage place.
- Locate ramps to basement or sub-basement car parking to the rear of the property, or to a side street where they do not visually disrupt the setting of the significant or contributory building or impact the streetscape character.
- Avoid the construction of large areas of paving or other hard surfaces in the front setback where this is not responsible to the heritage place.

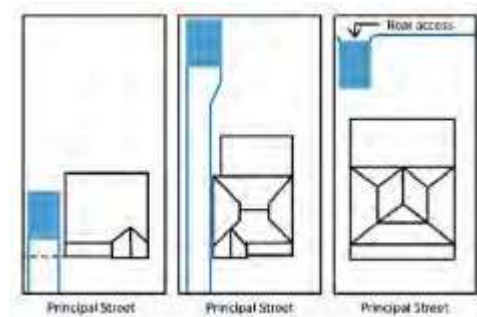


Figure 11. Potential locations for garages and carports.



Commercial areas

Vehicle access in commercial areas should:

- Be located at the rear of the heritage place except where evidence shows the historic location for vehicle access was at the front of the heritage place.
- Not affect significant or contributory building fabric on the building facade.

10. SIGNAGE

Across Central Goldfields Shire, signage in commercial areas were often painted on brick or wood directly on the building fascia or on panels above or below verandahs.



Figure 12. c. 1906 view of commercial signage along High Street, Maryborough. *Source:* State Library of Victoria.

10.1. Key issues

- Few heritage signs, which were typically painted on brick face, remain extant due to changing commercial uses.
- Obscured or altered signage.
- The scale, number and location of non-complementary contemporary signs that obscure building architecture.

10.2. Design guidelines

Heritage signage

Heritage signs should:

- Be retained and restored.
- Not be obscured, covered or painted over.

Type, location and scale of signage

New commercial signage should:

- Be simple in design and minimise visual clutter.
- Be modest in scale and not overwhelm the façade of a heritage place. Sky signs, spot lit signs, animated screens, large freestanding and billboard signs are discouraged.
- Not conceal architectural features or details which contribute to the significance of a heritage place.
- Complement the architectural style, materials and colour scheme of a heritage place and any significant fabric.
- Be positioned in locations where they are traditionally placed, including building fascia's and on panels above or below verandahs. Be easily removed without damaging significant fabric.
- New signs should not be internally illuminated unless this is a characteristic of the heritage place. External lighting should be limited to be consistent with the character of the precinct.
- Discourage painting in corporate colours, painting over and covering windows and the loss of contrast that provides for articulation of heritage features.

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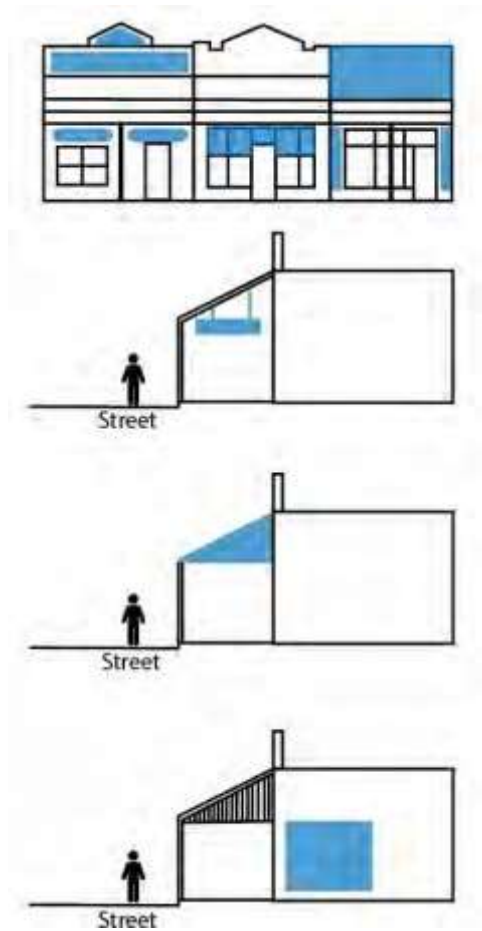


Figure 13. Potential locations of signage on heritage shopfronts.



Figure 14. View of J.W. Washington General Store, Dunolly, c. 1910. *Source:* Australian National University.



Figure 15. View of Talbot Drug Store, Castlemaine c.1858–1863. *Source:* State Library Victoria.

11. SUBDIVISION

Original subdivision and allotments often contribute to the rhythm and character of streetscapes and can provide insight into early patterns of development. In Maryborough, subdivision patterns typically date back to the mid to late nineteenth century.

11.1. Key issues

- Subdivision can result in the loss of historical development patterns.
- Subdivision can disrupt the streetscape rhythm and hinder the visual consistency of a streetscape.
- Subdivision can result in development that visually disrupts the setting and impact on the presentation of significant and contributory buildings.
- Subdivision can result in the loss of significant gardens and trees.

11.2. Design guidelines

Residential

Subdivision patterns in residential areas typically comprise generously sized rectangular lots with consistent dimensions.

Subdivision in residential areas should:

- Reflect the pattern of development in a street or precinct.
- Retain original road layouts.
- Maintain broader settings and contexts for significant and contributory heritage places, including the retention of original gardens, trees and/or other features that have been identified as contributing to the significance of a place.

- Not provide for future development that obscures views to major elevations of a heritage place or creates 'orphan' heritage places that lack an appropriate curtilage

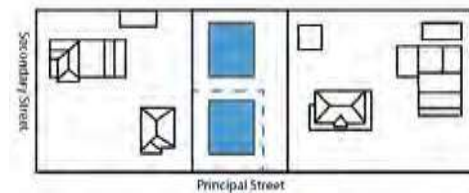


Figure 16. Sympathetic subdivision of residential allotment in a heritage context.

Commercial areas

Subdivision in commercial areas in Maryborough dates back to the original 1855 town survey and the subsequent 1858 alignment of shop fronts. They are typical of nineteenth century commercial streetscapes and comprise modestly sized rectangular lots with consistent dimensions.

Subdivision in commercial areas should:

- Reflect the pattern of development in a street or precinct.
- Retain original road layouts.
- Maintain settings and contexts for significant and contributory heritage places.
- Not provide for future development that may obscure views to major elevations of a heritage place or impact on significant views and settings.
- Ensure that subdivision provides for three-dimensional building envelopes for future built forms.

Civic Square Precinct, Maryborough

The Civic Square Precinct is particularly noted for its distinct municipal character created by its generous and wide, open allotments.



Subdivision in this area should:

- Retain places with multiple elements as a single lot.
- Reflect the pattern of development in the surrounding street.
- Retain original road layouts.
- Maintain settings and contexts for significant and contributory heritage places.



Figure 17. Civic Square Precinct, Maryborough.
Source: Extent Heritage.

12. PUBLIC REALM

In Central Goldfields Shire, significant or contributory elements of the public realm (the spaces between private properties) may include nature strips, mature trees, monuments and/or street furniture such as bollards and drinking fountains. The majority of original masonry kerbing and guttering has since been lost.



Figure 18. c.1930s view of the memorial drinking fountain at the Civic Square, Maryborough. *Source:* State Library of Victoria.



Figure 19. Figure 20. 2023 view of Civic Square, Maryborough. *Source:* Extent Heritage.

Public realm in Dunolly or Talbot etc

12.1. Key issues

- Loss of heritage fabric in the public realm due to loss of relevance of purpose.

- New elements within the public realm, such as contemporary services and street furniture, may adversely impact the character of significant or contributory places and/or views and vistas to significant or contributory places.

12.2. Design guidelines

Street furniture

Existing street furniture that has been identified as significant or contributory should:

- Be retained or conserved.
- Be re-instated if removed for works.

New street infrastructure should:

- Not obscure heritage places or views to significant or contributory places and contributory elements.
- Respect, but not copy the original materials, finishes and details of significant or contributory street furniture.
- Ensure that the original layout, sitting, setting or details of significant or contributory street furniture is retained or remains evident.

Contemporary Services

The installation of contemporary services (e.g. EV charging/parking bays, CTV poles, smart bins) should be located as not to:

- Obscure heritage places or views to significant or contributory places and contributory elements.

Universal access

Universal access should:

- Be lightweight, non-permanent (e.g. portable) construction that does not adversely affect heritage fabric.

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The logo for 'Extent' features the word in a bold, sans-serif font. The letters 'E', 'X', and 'T' are blue, while 'E', 'N', and 'T' are green. Below the text, there are three thin, curved lines that sweep upwards and to the right, suggesting a landscape or architectural element.

- Be sensitively located to avoid obscuring key view lines or impact areas of open landscape setting.
- Utilise modern materials that are discernible from original heritage fabric without providing a strong visual contrast.



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14. DEFINITIONS

14.1. Burra Charter

The following definitions have been adapted from the Burra Charter, the *Australia ICOMOS Charter for Places of Cultural Significance 2013* (Burra Charter)

Adaptation: modifying a place to suit the existing use or a proposed use.

Associations: the special connections that exist between people and a place.

Conservation: all the processes of looking after a place so as to retain its cultural significance.

Cultural significance: aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Fabric: all the physical material of the place including components, fixtures, contents and objects.

Interpretation: all the way of presenting the cultural significance of a place.

Maintenance: the continuous protective care of the fabric and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction.

Place: site, area, land, landscape, building or other work, group of buildings or other works, and may include components, contents, spaces and views.

Preservation: maintaining the fabric of a place in its existing state and retarding deterioration.

Reconstruction: returning a place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric.

Restoration: returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.

Setting: the area around a place, which may include the visual catchment, that is part of or contributes to its significance

Use: means the functions of a place, as well as the activities and practices that may occur at that place.

14.2. Other definitions

Alteration: to modify the fabric of a heritage place, without undertaking building works such as an addition.

Building Form: the shape and configuration of a heritage place or infill development, including for example height and massing (as defined under 'massing'), depth and setback (as defined under 'setback').

Context: the context of a heritage place can include: its setting (as defined under 'setting'), the immediate landholding, adjoining significant or contributory places, and the surrounding area.

Contributory heritage place: a contributory heritage place is important for its contribution to a heritage precinct. It is of historical, aesthetic, scientific, social and/or spiritual significance to the heritage precinct. Contributory places are typically externally intact but may have visible changes which do



not detract from the contribution to the heritage precinct.

Fabric: all the physical material of the heritage place.

Front or principal part of a building: This is generally considered to be front two rooms in depth, complete within the structure and cladding to the roof; or part of the building associated with the primary roof form, whichever is greater. For corner sites, the front or principal part of a building includes the side street elevation.

Heritage place: is a place that has identified heritage value and could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land.

Massing: the arrangement of a heritage building or infill development's bulk and its articulation into parts.

Non-contributory heritage place: A non-contributory place does not make a contribution to the cultural significance or historic character of the heritage precinct.

Orientation: how a heritage building or infill development is positioned according to its surroundings.

Setback (front, side or rear): the distance that infill development or a specific portion of it (e.g., an upper storey) must be set back from the property boundary, street line or neighbouring property.

Significant heritage place: a significant heritage place is individually important at the local level, and a heritage place in its own

right. It is of historical, aesthetic, scientific, social or spiritual significance to the municipality. Significant places are typically externally intact, ; and/or has notable features associated with the place type, use, period, method of construction, siting or setting. When located in a heritage precinct a significant heritage place can make an important contribution to the precinct.

Siting: The placement and orientation (as defined under 'orientation') of a heritage building or infill development.

Three-Dimensional Building Envelope: building envelopes set the parameters of a building on a lot and demonstrate the relationship with buildings on adjoining lots. Three-dimensional envelopes demonstrate the preferred heights of the building and associated elements.

EXTENT



INCORPORATED PLAN UNDER THE PROVISIONS OF CLAUSE 43.01 HERITAGE OVERLAY INCORPORATED DOCUMENT

HERITAGE OVERLAY EXEMPTIONS



Prepared for Central Goldfields Shire

SYDNEY
July 2024

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1. INTRODUCTION

This Incorporated Plan establishes planning permit exemptions for specific properties included in Central Goldfields Shire Schedule to the Heritage Overlay identified in the Maryborough Heritage Review (2023), under the provisions of Clause 43.01 Heritage Overlay. In accordance with Clause 43.01–3, where a permit exemption applies no permit is required for works identified in this Incorporated Plan. In some instances, certain exemptions do not apply to specific property designations/gradings (e.g. significant buildings) or within certain Heritage Overlay precincts. Where this is the case, it is indicated in the relevant section below.

The provisions of this Incorporated Plan apply to the following heritage places (except where specifically excluded):

The following Heritage Precincts (as per section 2):

- Former Gaol Precinct
- Civic Square Precinct
- Commercial Precinct
- Park Road Precinct
- Eastern Residential Precinct
- Western Residential Precinct
- Palmerston Street Precinct
- Raglan Street Precinct
- Industrial Serial Listing

Individual places subject to the exemptions are those listed in Section 3:

- Main Drain
- Bristol Hill
- Maryborough Railway Complex

1.1. Definitions

Term	Definition
Contributory heritage place	A contributory heritage place is important for its contribution to a heritage precinct. It is of historic, aesthetic, scientific, social or spiritual significance to the heritage precinct. A contributory heritage place may be valued by the community; a representative example of a place type, period or style; and/or combines with other visually or stylistically related places to demonstrate the historic development of a heritage precinct. Contributory places are typically externally intact but

Term	Definition
	may have visible changes which do not detract from the contribution to the heritage precinct.
Façade/principal elevation	The façade/principal elevation is the main presentation of the subject building to the street.
Heritage place	A heritage place is a place that has identified heritage value and could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land.
Heritage precinct	A heritage precinct is an area which has been identified as having heritage value. It is identified as such in the Schedule to the Heritage Overlay and mapped in the Planning Scheme Heritage Overlay Maps.
Non-contributory	A non-contributory place does not make a contribution to the cultural significance or historic character of the heritage precinct.
Outbuilding	An outbuilding is a structure which is not part of a main building (i.e. is detached from the main building) but which supports the function of the main building. It can be a carport, garage, shed, stand-alone conservatory, stables, cabana, studio or children's cubby house or similar structure.
Paint	Paint means to apply paint to any part of the surface of a building, including walls, timber joinery and other elements of a building such as cast iron features. It does not include external alterations to a building such as rendering or sandblasting external surfaces.
Repairs and maintenance	Maintenance means the continuous protective care of a place, and its setting, and is distinguished from repair which involves restoration or reconstruction.
Significant heritage place	A significant heritage place is individually important at state or local level, and a heritage place in its own right. It is of historic, aesthetic, scientific, social or spiritual significance to the municipality. A significant heritage place may be highly valued by the community; is typically externally intact; and/or has notable features associated with the place type, use, period, method of construction, siting or setting. When located in a heritage precinct a significant heritage place can make an important contribution to the precinct.
Visible	Visible means anything that can be seen from a street (other than a lane) or public park.

2. GENERAL EXEMPTIONS

2.1. Repairs and maintenance

Repairs and routine maintenance works that change the appearance of a heritage place or are not undertaken to the same details, specifications and materials as existing are permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	All maintenance and repair works

2.2. Roofing

New and replacement roofing material (including the full or partial removal of the existing roofing material) is permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	All new or replacement roofing

2.3. Painting

External painting involves applying paint to any part of the external surface of a building, including external walls, external timber joinery and other external elements of a building such as external cast iron features, verandahs or chimneys etc.. External painting does not include external alterations to a building such as rendering or sandblasting external surfaces, which require a permit under the Heritage Overlay.

External painting of a previously unpainted surface is permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	The external painting does not constitute an advertisement, artwork or a mural

Where external paint controls apply:

Significant	Contributory	Non-contributory
Repainting existing painted surfaces in like for like colours and paint type	Repainting existing painted surfaces in like for like colours and paint type	Repainting existing painted surfaces

2.4. Modifications and alterations

Minor modifications/alterations to existing fabric, including demolition, to rear walls or rear parts of buildings at ground level are permit exempt where:

Significant	Contributory	Non-contributory
Does not apply	The works are to the rear of the building as shown at Figure 1. The works are not visible from the street, side street or public park	Exempt

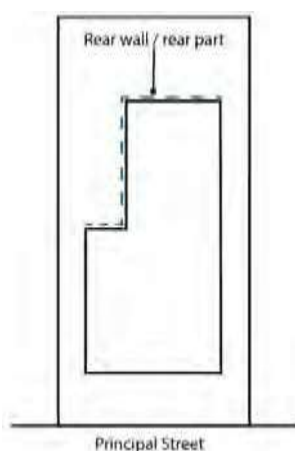


Figure 1: Sketch showing the rear wall/part of a dwelling.

2.5. Additions

Construction of a single storey rear addition to a building is exempt provided (all conditions must be met):

- The subject property is graded non-contributory or contributory and:
 - The works are to the rear of the building as shown at Figure 1.

- The works are not visible from the street, side street or public park.
- The works do not involve modifications or alterations and are not exempt under section 2.4 of this plan.
- The building height of the existing building is not exceeded.
- The setback from side boundaries is the same as or greater than the setback of the existing building.
- The property is not located at a corner or does not have two street frontages (excluding a lane).

2.6. Outbuildings

The construction of an outbuilding is exempt where (all conditions must be met):

- The subject property is graded non-contributory or contributory and:
 - The outbuilding is located in the rear yard and is not visible from the street, side street or public park.
 - The outbuilding does not exceed 3 metres in height from natural ground level.
 - The outbuilding does not exceed more than 10m² in floor area.
 - The outbuilding is detached from the existing building.
 - The property is not located at a corner or does not have two street frontages (excluding a lane).

This exemption does not apply to the Commercial Precinct and Civic Square Precinct.

2.7. Pergolas, verandahs and decks

The construction or extension of open sided pergolas, verandas or unroofed deck structures, including those attached to an existing building is permit exempt where (all conditions must be met):

- The subject property is graded non-contributory or contributory and:
 - The pergola, verandah or deck is located in the rear yard and is not visible from the street, side street or public park.
 - The overall height of the pergola or verandah does not exceed 3 metres in height from natural ground level.
 - The finished floor level of the pergola/verandah/deck is not more than 800mm above natural ground level.
 - That any demolition required to construct the pergola, verandah or deck is consistent with the exemptions outlined in section 2.4.

This exemption does not apply to the Commercial Precinct and Civic Square Precinct.

2.8. Fences, gates and roller doors

Works to fences and roller doors are exempt where:

Works	Significant	Contributory	Non-contributory
Demolition of roller doors	Does not apply	Where the roller door is located to rear or side property boundaries	Demolition of any existing roller door is exempt
Installation of new roller doors	Does not apply	Replacement of roller door in like for like location, roller door is located to rear or side property boundaries and the size, colour and materiality of the roller door is like for like	Replacement of roller door in like for like location
Demolition of front fence	Does not apply	Does not apply	Exempt
Construction of front fence	Does not apply		Exempt provided the fence does not exceed 1.2m in height and is a minimum of 80% permeable (does not apply to the Old Gaol Precinct)
Demolition and replacement of side and rear fences	Demolition and replacement of all side and rear fences provided the existing height and materiality is maintained	Demolition and replacement of all side and rear fences provided the existing height and materiality is maintained	Demolition and replacement of all side and rear fences provided the existing height and materiality is maintained
Installation of a lattice or trellis to side or rear fences	Exempt provided it is not situated forward of the front wall of the building	Exempt provided it is not situated forward of the front wall of the building	Exempt

2.9. Vehicle accommodation and crossovers

The construction of new crossovers and driveways are exempt where (residential properties only; all condition must be met as relevant to type/location):

2.9.1. Front property boundary

- The subject property is graded non-contributory or contributory and:
 - The crossover/driveway is located to the side of the dwelling and does not obscure the front façade presentation in any way.
 - The crossover/driveway adopts materials and finishes consistent with the prevailing characteristics of the precinct.
 - No more than one crossover/driveway is located to each individual property.

2.9.2. Rear property boundary

- New crossovers to rear boundaries are exempt provided that construction of the crossover involves remediation and making good any damage to existing bluestone, brick, asphalt or concrete paths, gutters and kerbs.

2.9.3. Garages/carports

The construction of new garages/carports is exempt where:

- The garage/carport is located to the rear yard.
- The garage/carport does not exceed 3 metres in height from the natural ground level.
- The garage/carport is detached from the existing building.

2.10. Domestic services normal to a dwelling, utility, and rainwater tanks

Installation of domestic services normal to a dwelling on any property that may be visible from a street, side street or public park are exempt provided that:

- The installation is not attached to the front wall of the building.
- The installation is not situated between the front wall of the building and the front property boundary.
- The installation, if attached to the side wall of a building graded significant or contributory, is setback not less than 4 metres from the front wall.
- The installation is not situated on that part of the roof that faces directly toward a street (including a side street).
- The installation does not project above the highest point of the roof.

- The installation, if situated on part of a roof that faces a side boundary, is set back not less than 4 metres from the front wall of the building.

2.11. Domestic swimming pool and spa

The construction of a domestic swimming pool or spa and associated mechanic equipment and fencing is exempt where (all conditions must be met):

- The swimming pool/spa is located in the rear yard.
- The swimming pool/spa is no higher than 1 m above natural ground level.

2.12. Solar energy systems

This section applies to a solar energy system attached to a building that primarily services the land on which it is located.

Where the schedule to the Heritage Overlay specifies that solar energy system controls apply to a heritage place, the construction/carrying out of works to install a solar energy system which is visible from a street (other than a lane) or public park is exempt where:

Significant	Contributory	Non-contributory
Does not apply	Does not apply	The adjoining properties are not graded contributory or significant

2.13. Signage

2.13.1. Commercial and Civic Square Precincts

The construction or display of a sign in the Civic Square and Commercial Precincts is exempt where:

Significant	Contributory	Non-contributory
An existing sign is to be replaced in the same location, provided it is of the same size, format, shape and materiality and the existing sign to be replaced is located at ground level or underneath an awning or a verandah	An existing sign is to be replaced in the same location, provided it is of the same size, format, shape and materiality and the existing sign to be replaced is located at ground level or underneath an awning or a verandah	The sign is situated below a verandah at ground floor level

Significant	Contributory	Non-contributory
Does not apply to a new sign above a verandah on a building	Does not apply to a new sign above a verandah on a building	The sign is above a verandah on a building, unless the building is adjacent to a Significant or Contributory building

2.14. Landscape and trees

The following landscaping works and the removal, destruction or lopping of a tree are exempt where:

Works	Significant	Contributory	Non-contributory
Landscaping works (including earth works, retaining walls, paths, garden bed edging etc. which change the natural or existing condition or topography of the land)	The works are located to the rear yard	The works are located to the rear yard	Exempt
Removal, installation or replacement of garden watering, water recycling or drainage systems which change the natural or existing condition or topography of the land	Exempt	Exempt	Exempt

3. SPECIFIC EXEMPTIONS FOR SPECIFIED PLACES

3.1. Main Drain

The following works to the Main Drain are exempt:

- Standard maintenance and repair of existing fabric (as per the definitions at section 1.1).
- All above ground works in the area of subsurface drain (Figure 2) provided no sub-surface works occur. This exemption does not apply where the aboveground property is subject to a separate heritage control.



Figure 2. Map showing above ground and subsurface drains, the exemption applies to the orange areas only.

3.2. Bristol Hill

The following works to Bristol Hill are exempt:

- Works or activities to vegetation and landscape management is exempt subject to the following:
 - Works or activities must not alter the layout, contours, plant species or other landscape features or views of Bristol Hill.
 - Works or activities must not harm early or original fabric associated with Bristol Hill, including paths and ground surface masonry, the Memorial Pioneer Tower, historic signage or historical archaeological remains.
 - Any works or activities undertaken in a tree protection zone or structural root zone must comply with Australian standard *Protection of trees on development sites AS 4970-2009*.
- Removal of environmental and noxious weeds.
- Management and maintenance of trees is permit exempt subject to the following:
 - Pruning of vegetation must not exceed 20% of the tree canopy within one calendar year, regardless of regrowth.
 - Pruning activities must not adversely affect the health of the tree and must be in accordance with Australian standard *Pruning of amenity trees AS 4373-2007*.
 - Above-ground tree cabling works, cobra-bracing and propping works or activities must be undertaken by a qualified arborist.

3.3. Maryborough Railway Complex

The following works within the Maryborough Railway Complex are exempt:

- Removal of, modifications and repairs to and replacement of overhead power lines.
- Repairs to and replacement of railway tracks and sleepers including ballast.
- Modifications and repairs to and replacement of any electric or electronic signalling equipment.
- Removal of, repairs to, installation or replacement of ticket machines, passenger control gates, safety barriers, rubbish bins, seating, bicycle racks and other small items of platform furniture.
- Removal, installation, repair or replacement of non-commercial signage, security lighting, fire safety equipment provided it does not involve the removal or erection of a building or other structure.
- Resurfacing of existing paths and driveways.
- Removal, installation or replacement of garden watering, water recycling or drainage systems.
- Management of trees in accordance with *Australian Standard 4373: Pruning of Amenity Trees*.
- The construction or demolition of buildings and works and tree removal necessary to achieve compliance with the *Disability Discrimination Act 1992 and Disability Standards for Accessible Public Transport 2002* in accordance with a plan for such works within the Heritage Overlay area which has been approved by the responsible authority.