



Council Meeting Agenda

Wednesday 17 December 2025 at 6:00pm

Maryborough Town Hall, 71 Clarendon Street, Maryborough and livestreamed on the internet.

Contents

1	Welcome	3
2	Apologies And Leave Of Absence	3
3	Declarations Of Conflict Of Interest.....	3
4	Confirmation Of Minutes From Previous Council Meetings.....	3
5	Minutes Of Delegated And Advisory Committees	3
6	Petitions.....	11
7	Council Reports	11
7.1	Aerodrome Advisory Group Terms Of Reference.....	11
7.2	Statutory Planning Delegation Policy.....	20
7.3	D070-24 10 Dundas Street, Maryborough.....	37
7.4	035-25 – 65 Wattle Gully Road, Mount Glasgow – Use And Development Of Dwelling In RCZ	217
7.5	D022-23 – 3280 Pyrenees Highway, Carisbrook.....	377
7.6	Contract G1882-2023 Panel Of Suppliers – Supply, Deliver & Lay Asphalt.....	453
7.7	2026 Central Goldfields Citizen Of The Year Awards.....	460
7.8	Quarterly Finance Report	464
7.9	Setting Council Meeting Dates For 2026	484
8	General And Other Urgent Business	486
9	Notices Of Motion	486
10	Confidential Business (Circulated Separately).....	486
10.3	Employment Matter.....	486
10.4	2026 Central Goldfields Citizen Of The Year Awards.....	486
11	Meeting Closure.....	486

1 Welcome

2 Apologies and Leave of Absence

3 Declarations of Conflict of Interest

4 Confirmation of Minutes from Previous Council Meetings

RECOMMENDATION

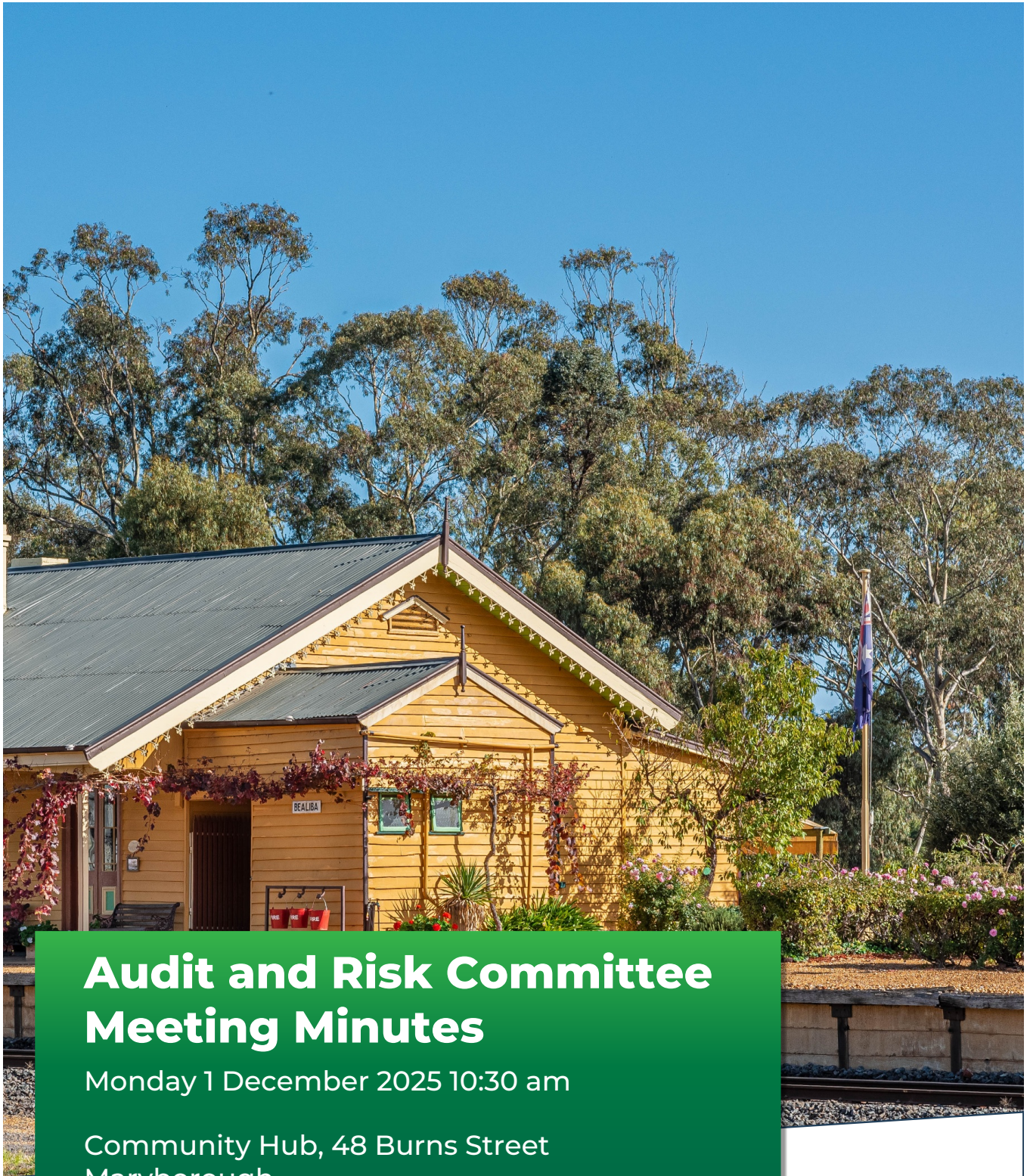
1. That the Minutes of the Statutory Council Meeting held on 19 November 2025 be confirmed.
2. That the Minutes of the Council Meeting held on 26 November 2025 be confirmed.

5 Minutes of Delegated and Advisory Committees

RECOMMENDATION

That the Minutes of the Audit and Risk Committee Meeting held on 1 December 2025 be noted.

Please note: The Audit and Risk Committee meeting held 8 September 2025 did not have a quorum.



Audit and Risk Committee Meeting Minutes

Monday 1 December 2025 10:30 am

Community Hub, 48 Burns Street
Maryborough.



1 Welcome and Acknowledgement of the Traditional Owners and Custodians of the Land

The Chair opened the meeting at 10.30am.

2 Attendees

Members:

Mr John Watson (Chair)
Mr Richard Ainio (Independent Member)
Dr Craig Nisbet (Independent Member)
Cr Anna de Villiers (in place of Cr Grace La Vella)
Cr Geoff Bartlett

Other Attendees:

Mr Peter Harriott – Chief Executive Officer
Mr Liam Routledge – General Manager Corporate Performance
Ms Amber Ricks – General Manager Infrastructure Assets and Planning
Ms Emma Little – General Manager Community Wellbeing
Mr Avi Maharaj – Manager Governance, Property and Risk
Ms Sylvia Lee – Manager Finance

Visitors:

Ms Cassandra Gravenall – Crowe – External Auditor (online)
Mr Paul Harrison – RSD Audit – Internal Auditor

3 Apologies

Cr. Grace La Vella

4 Consideration of the Agenda

The members present noted the agenda, taken as read and the accompanying recommendation agreed without any further discussion in the meeting.

5 Declarations

Nil.

6 Noting of the previous notes of meeting held

DECISION

The Committee read and confirmed the notes of the meeting held on 8 September 2025.

7 CEO Update

7.1 CEO Update

Author: Chief Executive Officer

Responsible Officer: Chief Executive Officer

SUMMARY/PURPOSE

The Chief Executive Officer provided a verbal update to the Audit and Risk Committee.

COMMENTS

The Chief Executive Officer addressed the following:

- Council adopted a new Council Plan
- Council has adopted its Budget. The CEO highlighted that financial discipline is crucial to get Council back to a surplus position financially. Council will need to tighten its belt, and the focus should be on cost saving and driving efficiencies.

The Chair noted that his term will also come to an end in May 2026.

DECISION

The Committee noted the CEO's verbal update.

8. Table of Actions Arising from previous meetings

8.1 Table of Actions Arising from Previous Meetings

Author: General Manager Corporate Performance

Responsible Officer: Chief Executive Officer

SUMMARY/PURPOSE

The attachment provides an update on the Audit Action items arising from previous Audit and Risk Committee meeting with an update on the respective works in progress, and their expected completion dates:

COMMENTS

The Committee sought clarification on the 10% tolerance variance and whether GST was an issue. The Manager Finance clarified that there was no matter of concern and that these variances were in relation to minor consumable items, which was reviewed and approved by the respective financial delegate.

DECISION

The Committee noted and confirmed the updated Audit Action Items in progress and the proposed extension time sought to complete the outstanding Audit Action Items.

ACTION

The Procurement Policy is to be reviewed for the Committee's consideration in March 2026.

9 Internal Audit Plan

9.1 Internal Audit Plan Update

Author: General Manager Corporate Performance

Responsible Officer: Chief Executive Officer

SUMMARY/PURPOSE

The RSD Audit team provided the following to the Committee:

- Internal Audit Update Report Q1 FY26 Local Government
- Internal Audit Status Report December 2025
- Project Scope – Contract Management
- Project Scope – Rates and Revenue
- Internal Audit Report – Central Goldfields Shire Council – Payroll Procedures

COMMENTS

The Committee noted there was no change in the Internal Audit Plan and noted some of the delays in the timings of the some of the internal audits in progress.

The Committee highlighted there was an Emergency Management fee to be collected from the State government.

The Committee noted that despite being outsourced, the payroll service responsibility still set with Council.

DECISION

The Committee received and endorsed the Internal Audit Reports.

10 Officer Reports

10.1 Quarterly OH&S Report

Author: Coordinator Safety and Wellbeing

Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The purpose of this report is to provide the Audit and Risk Committee Council's Quarterly OH&S Report.

COMMENTS

The Committee recognised the Occupational Health and Safety (Psychological Health) Regulations 2025 that came into effect from 1 December 2025 and for Council in recognising this positive initiative.

DECISION

The Committee read and noted the Quarterly OH&S Report.

10.2 Quarterly IT Systems and Security Update

Author: Manager Information Technology & Business Transformation

Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The purpose of this report is to provide information on the current information/cyber security situation.

DECISION

The Committee read and noted the IT Systems and Security Report.

10.3 Governance Update

Author: Manager Governance, Property and Risk

Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The purpose of this report is to provide an overview of significant items managed by the Governance function of Council since 1 October 2025

DECISION

The Committee read and noted the Governance Update.

10.4 Quarterly Procurement Activities Report

Author: Procurement Specialist

Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The report provided a quarterly update and outlined how procurement is conducted both centrally via the procurement team and locally under financial delegation.

DECISION

The Committee read and noted the Quarterly Procurement Activities Report.

10.5 Risk Management Report

Author: Property and Risk Officer

Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

DECISION

The Committee read and noted the Risk Management Report.

10.6 Outstanding Audit Action Items Q1

5 of 7

Audit and Risk Committee Meeting Minutes – 1 December 2025

Author: Manager Governance, Property and Risk
Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The purpose of this Report is to present to the Audit and Risk Committee an update of the Audit Action Items for Quarter 1 (1 July 2025 – 30 September 2025).

COMMENTS

The Committee noted that the of the 41 action items, 34 action items (not 35) were in progress with 7 (not 6) action items on hold.

DECISION

The Committee read and noted the update of the Audit Action Items for Quarter 1 (1 July 2025 – 30 September 2025).

10.7 2026 Annual Work Plan

Author: Manager Governance, Risk and Property
Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The purpose of this report is to provide the 2026 Annual Audit and Risk Committee Work Plan.

DECISION

The members noted and approved the 2026 Annual Audit and Risk Committee Work Plan

10.8 Quarterly Finance Report

Author: Manager Finance
Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The purpose of this report is to brief Audit and Risk Committee on the financial performance for the year to date and how it is tracking against the adopted budget, noting any material differences.

DECISION

The Committee received and noted the Quarterly Finance Report as at September 2025. Council is to observe its financial discipline for the coming year.

10.9 Financial Plan 2025-2035 and Asset Plan 2025

Audit and Risk Committee Meeting Minutes – 1 December 2025

Author: Manager Finance

Responsible Officer: General Manager Corporate Performance

SUMMARY/PURPOSE

The purpose of this report is to brief Audit and Risk Committee on Council's Financial Plan 2025-2035 and Asset Plan 2025.

DECISION

The Committee received and noted Council's Financial Plan 2025-2035 and Asset Plan 2025.

11 Other Business

Nil

12 Close of Meeting

12.1 Close of Meeting

The next Audit and Risk Committee meeting is scheduled to be held on 2 March 2026 at 10:00 am.

The meeting closed at 11.58 am.

6 Petitions

Nil.

7 Council Reports

7.1 Aerodrome Advisory Group Terms of Reference

Author Co-ordinator Strategic Asset Management and Development Engineering

Responsible Officer: General Manager Infrastructure Assets and Planning

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to seek Council's endorsement of the updated Terms of Reference for the Aerodrome Advisory Group (AAG).

The report also acknowledges the valuable contributions of current members and seeks Council's support to undertake a public Expression of Interest (EOI) process to appoint new members in accordance with the revised Terms of Reference.

This process will ensure the Advisory Group continues to provide effective advice and community input to guide the ongoing management and development of the aerodrome, in alignment with Council's adopted Aerodrome Business Case.

Following completion of the EOI process, officers will present a further report to Council recommending appointments to the Advisory Group.

RECOMMENDATION

That Council:

1. Endorse the updated Terms of Reference for the Aerodrome Advisory Group attached to this report.
2. Formally acknowledge the valuable contributions and dedicated service of current Aerodrome Advisory Group members over the past 24 months.
3. Authorise the CEO (or delegate) to undertake a public Expression of Interest (EOI) process in February 2026 to appoint members to the Aerodrome Advisory Group in accordance with the updated Terms of Reference attached to this report.
4. Note that a further report will be presented to Council to confirm appointments upon completion of the EOI process.

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision:

Our Growing Economy

2. Well supported business and industry.

Leading Change

4. Transparent decision making.

Initiative:

Strategic Management of Aerodrome

BACKGROUND INFORMATION

The Maryborough Aerodrome is managed by Council to provide a safe and accessible landing area for general aviation, emergency services, and community use. Council has a legal responsibility to maintain the aerodrome in line with safety standards and ensure it remains operational.

In 2021, Council began work on an Aerodrome Business Case to secure the facility's future. This Business Case, adopted in 2023, sets out a clear plan for upgrades and investment. It highlights the aerodrome's importance for emergency response, pilot training, and local economic development.

To help guide this work, Council established the Aerodrome Advisory Group in 2023 for a 24-month term, which expires this month. The Group was created to provide practical advice and community input on aerodrome management and development.

Over the past two years, the Group has supported key improvements, including upgrading water mains, installing backup power, improving fencing and developing the Aerodrome Management Manual—projects identified in the Business Case.

With the expiry of the current group, officers have reviewed the Terms of Reference to ensure they reflect best practice and clearly define roles, responsibilities, and membership. The updated Terms of Reference will help the Group continue to provide strong advice and community representation.

REPORT

The Terms of Reference for the Aerodrome Advisory Group, first adopted in 2023, have been reviewed to make sure they remain practical, easy to understand, and aligned with Council's priorities and the Aerodrome Business Case.

The draft updates were shared with the current Advisory Group via email in November and further discussed at their final meeting this month for consideration and feedback.

Summary of key changes

Change	Rationale
Clearer format	Meeting and membership details are now in a table for easier reading, with timelines for when meeting information will be sent to members.
Longer membership term	Extended from 24 months to 36 months, allowing members to stay involved in longer projects and align with Council's election cycle.
New sections added	<i>Objectives:</i> Defines the role of members in supporting delivery of the Aerodrome Business Case. <i>Member Conduct:</i> Sets expectations for behaviour. <i>Resignation:</i> Explains what happens if a member steps down.

These changes strengthen governance and ensure the Advisory Group continues to provide advice that supports the actions outlined in the Aerodrome Business Case.

Upcoming works

Council has secured \$185,000 in Round 4 funding from the Federal Governments' Regional Airports Program and committed matching funds of \$185,000 over two financial years, bringing the total investment to \$370,000 over 2025/26 and 2026/27.

This funding will deliver upgrades including:

- Pilot-activated lighting
- Aircraft radio alert systems
- Helipad tower refurbishment
- Refuelling facilities
- Runway and taxiway resurfacing
- Tie-down areas and parking improvements

These projects are key priorities in the Aerodrome Business Case. The Advisory Group's input will be critical in guiding these works to ensure they meet community needs and deliver long-term benefits.

Next Steps

With the current group's term ending, officers propose running a public Expression of Interest process in early 2026 to appoint new members under the updated Terms of Reference. A further report will be presented to Council to confirm appointments.

CONSULTATION/COMMUNICATION

During the Aerodrome Advisory Group meeting on 18 September, members were advised that the Terms of Reference would be reviewed and that an Expression of Interest (EOI) process for the next term would be advertised. A draft version of the updated Terms of Reference was shared with current members on 17 November for their consideration.

Should Council endorse the updated Terms of Reference, officers will advertise the EOI in early 2026 via social media and local newspapers. Applications will remain open for 21 days, and applicants will be asked to respond to questions about their experience and interest in supporting the Aerodrome Advisory Group's role—particularly its work in delivering the Aerodrome Business Case and providing advice on the upcoming projects funded through the Regional Airports Program.

If applications exceed available positions, officers will conduct interviews to consider the most suitable candidates. A further report will then be presented to Council to confirm appointments.

FINANCIAL & RESOURCE IMPLICATIONS

Funding and staff resources within the Infrastructure Assets and Planning Directorate are already provided for in Council's operational budget to maintain the aerodrome and to administer and participate in Aerodrome Advisory Group meetings.

Consistent with the Aerodrome Business Case, future investment at the aerodrome will be staged through forward budgets and asset planning. This approach ensures all works remain aligned with the strategic objectives of the Council Plan and are delivered within the parameters of Council's Financial Plan and Asset Plan.

RISK MANAGEMENT

This report addresses Council's strategic risk:

Governance - Failure to transparently govern and embrace good governance practices.

Reviewing the Aerodrome Advisory Group's Terms of Reference and re-advertising committee positions at the end of the initial term strengthens Council's governance by ensuring transparency, accountability, and alignment with best practice. This process clarifies roles, refreshes membership through an open and merit-based approach, and demonstrates proactive risk management.

Community engagement- Inadequate stakeholder management or engagement impacting brand reputation and community satisfaction in Council decision making.

The review and proposed recruitment by public expression of interest promotes openness and inclusivity in Council decision-making. This process ensures diverse community representation, refreshes perspectives, and reinforces Council's commitment to transparent consultation.

CONCLUSION

The Aerodrome Advisory Group has provided valuable advice and community input over the past 24 months, helping deliver actions in the Aerodrome Business Case and supporting key infrastructure improvements. With the current term now ending, officers have reviewed and updated the Terms of Reference to strengthen governance, clarify roles, and ensure the Group continues to play a key role—particularly as Council progresses upcoming works funded through the Regional Airports Program and matching Council investment.

This report presented the following recommendation, that Council:

1. Endorse the updated Terms of Reference for the Aerodrome Advisory Group, attached to this report.
2. Formally acknowledge the valuable contributions and dedicated service of current Aerodrome Advisory Group members over the past 24 months.
3. Authorise the CEO (or delegate) to undertake a public Expression of Interest (EOI) process in February 2026 to appoint members to the Aerodrome Advisory Group in accordance with the updated Terms of Reference attached to this report.
4. Note that a further report will be presented to Council to confirm appointments upon completion of the EOI process.

ATTACHMENTS

1. DRAFT Aerodrome Advisory Group Terms of Reference [7.1.1]

AERODROME ADVISORY GROUP

TERMS OF REFERENCE



1. Purpose

The purpose of the Aerodrome Advisory Group (AAG) is to provide expert advice and guidance to the Council on matters pertaining to the management, development, operation, and maintenance of the Maryborough Aerodrome.

While the group provides valuable input, it is not a decision-making forum. Any initiatives, programs, or projects recommended will be considered by Council in line with the endorsed Council Plan, Financial Plan, Asset Plan, Aerodrome Business Case and within available budgets.

2. Objectives

The objectives of the advisory group are to:

- ensure that operation of the Aerodrome is supported by optimal consultation processes.
- ensure that aerodrome operational procedures reflect an appropriate balance between commercial and community benefit outcomes.
- act as an advocate for aerodrome future development proposals.
- encourage best practice for the health and safety of all users of the Maryborough Aerodrome.
- provide advice and guidance on matters related to aerodrome management, including planning, infrastructure development, safety measures, environmental impact, noise management, and community engagement.
- review and provide feedback on proposed policies, guidelines, and initiatives related to the aerodrome.
- act as a liaison between the Council, aerodrome operators, local community, and other stakeholders, facilitating effective communication and engagement.

3. Membership and selection

The group shall consist of a Councillor, maximum of three Council officers, and maximum of five community and stakeholder members.

Number	Group Representing	Selection Mechanism
3	Central Goldfields Shire Council (CGSC) Staff	By position: <ul style="list-style-type: none">• General Manager Infrastructure, Asset and Planning;

AERODROME ADVISORY GROUP TERMS OF REFERENCE

		<ul style="list-style-type: none"> • Manager Project Services and Asset Management; • Coordinator Asset Management and Development Engineering
1	Councillor	By resolution of Council at Statutory Council Meeting
1	Emergency services representative	Public Expression of Interest (EOI), and appointment confirmed by resolution of Council
1	Local resident	Public Expression of Interest (EOI), and appointment confirmed by resolution of Council
1	Flight training provider	Public Expression of Interest (EOI), and appointment confirmed by resolution of Council
2	Aerodrome Tenant	Public Expression of Interest (EOI), and appointment confirmed by resolution of Council

Community and stakeholder positions will be skills-based with the following capabilities demonstrated:

- Knowledge of aerodrome operations
- Business acumen
- Community development
- Community asset management

Members will be selected via a public expression of interest process, with appointment being confirmed by resolution of Council. An advertisement will be placed via local media and on Council's website. Interested representatives must submit an Expression of Interest.

Appointment will be for an initial period of 36 months and will be reviewed one month prior to expiry.

Other stakeholders can be invited to advisory group meetings on an as-needs basis to provide information or contribute to discussions for increased benefit to the Maryborough Aerodrome.

4. Meetings

The Advisory Group will operate under a structured meeting framework to ensure transparency, consistency, and effective communication between members and Council:

Chairperson	Councillor
Duration of meeting	1 Hour
Frequency of meeting	Quarterly
Quorum	More than 50% of the committee excluding Central Goldfields Shire Council officers
Reporting mechanism	An report on the initiatives of the AAG will be presented annually via Council briefing.
Communication and advice	Meeting dates for each year will be set by the committee at the first meeting of the calendar year. Where changes to scheduled meetings are required, every opportunity will be taken to

Warning – uncontrolled when printed – the current version of the document is kept in Council's Records Management System

Page 2 of 5

AERODROME ADVISORY GROUP TERMS OF REFERENCE

	<p>provide committee members with at least seven (7) days' notice, and options to reschedule will be provided and decided by majority.</p> <p>Agenda and supporting documentation will be sent seven (7) days prior to the meeting.</p> <p>Minutes will be sent within two (2) weeks after each meeting to all committee members.</p> <p>Minutes will be made available to all Councillors via the Councillor bulletin and Councils Executive Leadership Team (ELT).</p>
Dissolution	<p>The AAG may recommend dissolution if it believes its purpose is complete. As the group was established by Council, dissolution of the committee must be made by Council resolution.</p>

5. Member conduct

Conflict of Interest and/or Declaration of Interest

All committee members must declare any actual or perceived conflict of interest at the start of each meeting if they are to discuss an item that could, if later supported by Council, result in a direct or indirect financial or personal benefit—or loss—to them.

- Councillors must also comply with the Councillor Code of Conduct and the requirements of the Local Government Act 2020.
- Council Officers must also comply with the Council's Conflict of Interest Policy and relevant staff conduct guidelines.

Process:

1. The declaration must be made before discussion begins.
2. The conflict must be recorded in the meeting minutes.
3. The conflict must be managed appropriately, which may include:
 - The member leaving the room during discussion.
 - Abstaining from participating in any recommendation to Council on the relevant item.

Confidentiality

A person who is, or has been, a member of the advisory group, must not disclose information that the person knows, or should reasonably know, as confidential information.

Member conduct

AERODROME ADVISORY GROUP TERMS OF REFERENCE

To ensure meetings are productive and respectful, all members are expected to:

- Allow others to finish speaking and avoid talking over each other.
- Keep to time and follow the agenda.
- Be open-minded and listen actively to each other.
- Stay relevant and keep discussions focused on the topic.
- Respect differing views and avoid any language that is abusive, discriminatory, or offensive.

Meeting Attendance

Regular attendance helps ensure the committee's work remains collaborative and informed. If a member cannot attend a meeting, they may nominate a proxy to attend in their place. All proxies should be fully briefed and are expected to act in accordance with this Terms of Reference.

If a member misses three consecutive meetings, their ongoing involvement on the committee will be reviewed by the group, with consideration given by the other committee members.

Integrity

A person who is, or has been, a member of the AAG must not misuse their position to gain or attempt to gain, directly or indirectly, an advantage for themselves or for any other person; or to cause, or attempt to cause, detriment to the Council, or another person.

Partnership and reputation

Members of the AAG are expected to work collaboratively with Council in a spirit of mutual respect and shared purpose. All members should act in a manner that upholds the reputation of the Council and the AAG, fostering trust and confidence in the community. Constructive dialogue, professionalism, and adherence to agreed values are essential to maintaining a positive and productive partnership.

Managing membership conduct

The Advisory Group operates on principles of respect, collaboration, and shared responsibility. Where concerns arise about a member's conduct, Council officers will first seek to resolve the matter through discussion and support, encouraging alignment with the agreed Member Conduct requirements. If issues persist and cannot be resolved collaboratively, the General Manager Infrastructure Assets and Planning, in consultation with the Chairperson, may recommend to Council that the member's participation be reviewed. Any decision regarding suspension or removal will be made by Council.

6. Resignation

If an appointed member resigns with more than six (6) months remaining in their term, the vacancy will be publicly advertised, and recommended to Council to confirm the appointment by resolution.

AERODROME ADVISORY GROUP TERMS OF REFERENCE

7. Insurance

Members of the advisory group are covered by the Council's voluntary workers and fidelity guarantee policy.

8. Review period

These Terms of Reference will remain in effect until amended or revoked by Council. The Council will periodically review the AAG's performance and effectiveness, making adjustments or reconstituting the Group if deemed appropriate.

Reviews will be undertaken annually as part of the annual briefing to Councillors, ensuring the Committee continues to meet its objectives and align with Council priorities.

DRAFT

7.2 Statutory Planning Delegation Policy

Author: Manager Statutory Services

Responsible Officer: General Manager Infrastructure Assets and Planning

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to present the proposed Statutory Planning Delegation Policy (the Policy).

The Policy aims to:

- Provide clarity and certainty for Councillors, Council staff, and the community regarding statutory planning decision processes;
- Define clear delegation arrangements for planning decisions, including which matters are determined by Council and which are delegated to officers;
- Promote transparency, accountability, and efficiency in decision-making; and
- Support effective communication and engagement throughout the planning process.

RECOMMENDATION

That Council adopt the Statutory Planning Delegation Policy attached to this report.

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision:

Leading Change

- 4. Good planning, governance, and service delivery.
- 4. Transparent decision making.

Initiative:

Provide financial sustainability and good governance.

Legislation:

Local Government Act 2020
Planning and Environment Act 1987

BACKGROUND INFORMATION

The absence of a formal Statutory Planning Delegation Policy at Central Goldfields Shire Council presents a significant gap in our governance framework, particularly considering recent sector-wide scrutiny of planning decision-making processes.

Operation Sandon

The findings of Operation Sandon, handed down by the Independent Broad-based Anti-Corruption Commission (IBAC), exposed systemic vulnerabilities in Victoria's planning system. The report highlighted how planning decisions can be compromised by political donations, lobbying, and personal relationships, undermining public confidence and the integrity of local government processes.

In response, IBAC made 34 recommendations aimed at strengthening transparency, accountability, and governance in planning. The recommendations reflect a broader push to reduce the risk of undue influence and improve decision-making integrity.

Planning Amendment (Better Decisions Made Faster) Bill 2025

The Planning Amendment (Better Decisions Made Faster) Bill 2025, which proposes reforms to the Victorian Planning and Environment Act 1987, was passed in the Victorian Parliament Upper

House on 9 December. The Bill establishes three distinct planning approval pathways—Category 1, 2, and 3—designed to streamline decision-making and reduce delays in housing delivery.

Developing this policy now is critical to ensure robust governance as well as creating efficiency through clarity in decision-making. It will:

- Define roles and responsibilities.
- Empower officers to make timely determinations on lower-risk applications.
- Maintain Councillor involvement in strategic matters, consistent with obligations under the *Local Government Act 2020* and *Planning and Environment Act 1987*.

REPORT

As with all Local Government Authorities, at Central Goldfields Shire Council (CGSC), relevant powers are transferred to the CEO and officers by Council via Instruments of Delegation. At CGSC these are:

- S13 Instrument of Delegation of CEO powers, duties and functions;
- S14 Instrument of Delegation by CEO for VicSmart Applications and Future Homes Applications under the Planning and Environment Act 1987; and
- S16 Instrument of Delegation for Bushfire Reconstruction Applications under the Planning and Environment Act 1987.

The Statutory Planning team currently operates within a decision-making framework under an operational procedure. This procedure was developed in 2018 and has never been updated. This procedure is not guided by a clear Policy position adopted by the Council.

Purpose of Policy

The purpose of the Policy is to provide clear guidelines regarding the exercise of delegated planning powers, duties and functions. It aims to ensure that Councillors can concentrate on determining matters in relation to the strategic direction of the municipality and that decision-making regarding planning matters is transparent, consistent and compliant with all relevant legislation and policies.

The objectives of the Policy are to:

- increase certainty through applying a consistent approach in an established framework for the exercise of delegated authority in matters concerning statutory planning, whilst recognising the key role of Councillors in determining the strategic direction of the municipality;
- clearly define when Council will be called on to determine a planning permit application and when an application can be determined by an officer acting under delegation;
- reduce delays in the planning process using delegation which facilitates efficient, consistent and transparent decision-making;
- enable Councillors and officers to fulfil their respective roles; and
- enable adequate involvement of all stakeholders in decision-making, including, Councillors, officers, applicants, referral authorities, objectors and the broader community.

The benefits of a Council Policy position

The Policy balances the need for efficient, expert decision-making with Councillor oversight on key issues, enhancing the overall responsiveness and governance of statutory planning processes.

The Policy provides Council with many benefits, such as:

Improved Efficiency and Timeliness

Delegations allow senior planning staff to assess and decide on most planning permit applications without requiring the full Council's involvement. This reduces delays by streamlining decision-making on routine or less significant applications and prevents Council meetings from being overloaded with matters that can be better handled administratively.

Councillors focus on applications of Significant Importance or Major Public Interest

The Policy ensures that Councillors can focus on planning applications of Significant Importance or Major Public Interest, while day-to-day decisions are handled by delegated officers. This maintains Councillor engagement on strategic issues while delegating operational decisions, promoting strengthened governance in line with the principles of the *Local Government Act 2020* and *Planning and Environment Act 1987*.

Consistent and Professional Decision-Making

Delegations are typically given to suitably qualified and experienced staff, ensuring that technical expertise underpins decisions in line with the intent of the Planning Scheme. This is important for maintaining consistency, quality, and defensibility of planning decisions.

Use of Delegation Guidelines

The Policy includes clear delegation guidelines, which specify thresholds and protocols for consultation with Councillors. These structures support informed, multi-perspective consideration of complex or borderline applications without escalating all applications to full Council.

Transparency and Accountability

Call-ins (requests by Councillors to move decision-making from delegated officers back to Council) are governed by clear rules, with reasons clearly documented in Council records. This promotes transparency regarding decision authority and ensures that the delegation is exercised appropriately.

Formal Delegation Framework Underpinning Local Government Act

The Policy aligns with legal frameworks allowing Council to delegate powers to officers, ensuring decisions are lawful, and delegation limits are respected. It also facilitates regular review and updating of delegations to keep pace with organisational and legislative changes.

CONSULTATION/COMMUNICATION

The Statutory Planning Delegation Policy has been developed for officers, Councillors and applicants. The Policy has been developed based on Councils legislative obligations, best practice guidelines and giving consideration to similar policies in the local government sector. The Policy has been externally reviewed by Macquarie Local Government Lawyers.

FINANCIAL & RESOURCE IMPLICATIONS

The preparation of the Policy was undertaken using existing human resources in the Planning unit of Council and incurred legal costs for quality assurance and alignment with legislation. This has been funded through the approved operational budget. There are no immediate unbudgeted financial or resource implications. Decisions arising from the use of the Policy in relation to potential costs associated with VCAT will be made on an individual basis, as required.

RISK MANAGEMENT

This report addresses Council's strategic risks:

Business Continuity - Failure to plan adequately for the impacts of a disruption to Council's normal operating environment.

Without a clear Policy position, Council faces a governance gap that could disrupt business-as-usual operations. A Policy will ensure planning assessments and determinations can continue seamlessly, even as legislative changes progress.

Financial sustainability - Failure to maintain our long-term financial sustainability.

Inconsistent decision-making increases the risk of unplanned and unbudgeted VCAT hearings. A robust Statutory Planning Delegation Policy will provide clarity and consistency, mitigate these financial risks and support long-term sustainability.

Governance - Failure to transparently govern and embrace good governance practices.

The absence of a formal policy undermines transparency and good governance practices. Developing a Statutory Planning Delegation Policy will strengthen Council's governance framework, aligning with the intent of the *Local Government Act 2020* and *Planning and Environment Act 1987*.

Legislative compliance - Failure to manage our compliance with relevant legislative requirements.

While the *Planning Amendment (Better Decisions Made Faster) Bill 2025* has not yet passed, Council must proactively manage compliance within current requirements. A clear Policy position will drive adherence to the *Planning and Environment Act 1987* and can be updated to reflect any changes once the Bill becomes law.

CONCLUSION

In response to the governance vulnerabilities highlighted by IBAC Operation Sandon and the current absence of a Statutory Planning Delegation Policy, Council must act decisively to strengthen transparency, accountability, and efficiency in planning decision-making. While the *Planning Amendment (Better Decisions Made Faster) Bill 2025* has not yet passed, its intent underscores the need for a clear delegation framework that supports timely, proportionate decisions and maintain Councillor oversight of significant matters.

The proposed Statutory Planning Delegation Policy delivers this by:

- Establishing a clear and consistent framework for the exercise of delegated planning powers;
- Introducing documented call-in procedures and mechanisms for community engagement; and
- Enabling Councillors to focus on strategic planning priorities while qualified officers manage routine applications.

Adopting this Policy now addresses a critical governance gap, reduces delays, and mitigates financial risks associated with unplanned VCAT hearings. It ensures decisions are made lawfully, fairly, and in the public interest, while positioning Council to adapt seamlessly to future legislative changes.

ATTACHMENTS

1. 20251311 Draft Statutory Planning Delegation Policy [7.2.1]

STATUTORY PLANNING DELEGATION POLICY



Directorate:	Infrastructure, Assets and Planning
Responsible Manager:	Manager Statutory Services
Review Due:	November 2029
Adoption:	Council
Date Adopted:

Acknowledgement

Central Goldfields Shire Council acknowledges and extends appreciation for the Dja Dja Wurrung People, the Traditional Owners of the land that we are on.

We pay our respects to leaders and Elders past, present and emerging for they hold the memories, the traditions, the culture, and the hopes of all Dja Dja Wurrung People.

We express our gratitude in the sharing of this land, our sorrow for the personal, spiritual and cultural costs of that sharing and our hope that we may walk forward together in harmony and in the spirit of healing.

1. Background

The findings of Operation Sandon, handed down by the Independent Broad-based Anti-Corruption Commission (IBAC), exposed systemic vulnerabilities in Victoria's planning system. The report highlighted how planning decisions can be compromised by political donations, lobbying and personal relationships, undermining public confidence and the integrity of Local Government processes.

In response, IBAC made 34 recommendations aimed at strengthening transparency, accountability and governance in planning. The recommendations reflect a broader push to reduce the risk of undue influence and improve decision-making integrity.

Central Goldfields Shire Council recognises the importance of aligning with these principles, whilst also enabling Councillor involvement in strategic decision-making, in line with their responsibilities in the *Local Government Act 2020* and *Planning and Environment Act 1987* (Act).

The absence of a formal Statutory Planning Delegation Policy (Policy) at Council presented a significant gap in Council's governance framework, particularly considering recent sector-wide scrutiny of planning decision-making processes, prompting the introduction of this Policy.

The development of this Policy is a proactive step towards:

STATUTORY PLANNING DELEGATION POLICY

- Strengthening governance by clearly defining roles and responsibilities in planning decisions;
- Enhancing transparency in how planning matters are assessed and determined by Council; and
- Promoting probity and reducing the risk of perceived or actual conflicts of interest.

This Policy provides a clear framework for delegating planning powers, ensuring that decisions are made consistently, fairly and in the public interest.

2. Purpose

The purpose of this Policy is to provide clear guidelines regarding the exercise of delegated planning powers, duties and functions.

This Policy ensures that decision-making regarding planning matters is transparent, consistent and compliant with all relevant legislation and policies.

This Policy provides clarity and certainty to Councillors, Council staff and the community regarding Council's planning processes, promoting effective communication and engagement throughout the planning process.

3. Scope

This Policy applies to Councillors and Delegated Officers holding planning powers, duties and functions pursuant to an Instrument of Delegation. These powers include the consideration and determination of planning permit applications and other decisions required by Council as the Responsible Authority under the Act.

This Policy supports a commensurate approach to the delegation of planning decisions within Council by ensuring that Councillors are engaged in applications of significant importance or major public interest, whilst providing Delegated Officers with the ability to determine all other planning permit applications, in accordance with the Instruments of Delegation.

This structure enables Councillors to focus on strategic planning policy decisions and direction for the municipality.

This Policy details the criteria that will be used to decide who can determine a planning permit application within Council.

4. Policy Objectives

The objectives of this Policy are to:

- **Increase certainty through applying a consistent approach** within an established Policy framework for the exercise of delegated authority in matters concerning statutory planning, whilst recognising the key role of Councillors in determining the strategic direction of the municipality.
- **Clearly define when Council will be called on** to determine a planning permit application and when an application can be determined by an officer acting under delegation.
- **Reduce delays in the planning process** by using delegation which facilitates efficient, consistent and transparent decision-making.
- **Enable Councillors and officers** to fulfil their respective roles.
- **Enable adequate involvement of all stakeholders** in decision-making, including, Councillors, officers, applicants, referral authorities, objectors and the broader community.

5. Policy Authorities

The Policy establishes authorities and identifies who bears responsibility for determining planning permit applications. The criteria are based on an assessment of risk and consider the value of the project, public response and the potential sensitivity of the project.

Table 1: Planning authority decision table

Application	Criteria	Determination
Planning Permit or Amended Planning Permit	Value of development up to \$5 Million; or Between 1-4 eligible objections have been received.	Delegated Officers
Planning Permit, or Amended Planning Permit	Value of development above \$5 Million; or 5 or more eligible objections have been received; or Planning application is called in by a Councillor in line with Section 7.3 of this Policy.	Council

STATUTORY PLANNING DELEGATION POLICY

Application	Criteria	Determination
Planning Permit or Amended Planning Permit	<p>The CEO determines that the application is <u>Significant Importance</u> in line with this Policy; or has <u>Major Public Interest</u> or is likely to be of <u>Major Public Interest</u>.</p> <p>The CEO, General Manager Infrastructure Assets and Planning, and/or Manager Statutory Services is satisfied that the application:</p> <ul style="list-style-type: none"> raises an issue of policy or process not covered by existing Council policies, processes or practices. <p>OR</p> <ul style="list-style-type: none"> is affected by two or more Council policies that appear to be inconsistent, conflicting or ambiguous, or the parameters for decision are unclear. 	Council
VicSmart Applications	All applications	Delegated Officers

6. Policy Tests

For an application to be considered of **Significant Importance**, it must meet one or more of the following criteria:

(a) Strategic Policy Impact

The consideration of the proposal involves various policies which may conflict or be unclear on application which may set a precedent or influence future planning decisions. The proposal raises issues beyond the immediate site, affecting the municipality's strategic direction.

(b) Scale and Complexity

The proposal concerns a large-scale development (for example, multi-dwelling projects, major commercial or industrial proposals). High-value developments or those outside the Urban Growth Boundary often trigger significance tests.

(c) Long-Term Impacts

The proposal raises potential for long-term environmental, economic, or social effects on the municipal community.

STATUTORY PLANNING DELEGATION POLICY

For an application to be considered of **Major Public Interest**, it must meet the following criteria:

(d) Major Public Interest

Significant objections or submissions indicating strong community concern have or are reasonably expected to be received. Media attention or controversy beyond the immediate neighbourhood is or is reasonably expected to be generated.

7. Exercise of Planning Decisions

This part outlines how the Council will determine planning permit applications.

7.1 Delegated Officers determination of Planning Permits

Subject to Section 5, Table 1, Delegated Officers will determine planning permits in accordance with the provisions of section 60 of the Act.

Council's *S6 Instrument of Delegation – Members of Staff* sets out the titles of those Council officers to whom planning powers, duties and functions are delegated. Council's delegation applies to three senior positions:

- Coordinator Statutory Planning;
- Manager Statutory Services; and
- General Manager Infrastructure, Assets and Planning.

7.2 Councillor requests for Planning Permit information

Councillors may request information or a briefing on planning permit applications at any time. Requests can be made to the Chief Executive Officer or General Manager Infrastructure Assets and Planning. Information on individual planning permit applications should be made available to all Councillors, to ensure Councillors have access to the same information. Once a request for information has been made, officers will provide an update to all Councillors at the next available Councillor briefing session.

7.3 Councillor powers to call-in Planning Permits

Councillor call-in of a planning permit refers to a process where Councillors may request a planning permit application (which would normally be decided by Council officers under Delegated Authority), be brought before the full Council for determination.

Councillors can call in planning permits of a value less than \$5m and that have less than 5 objections (for example, permits delegated to officers for decision) provided they can justify the call-in based on the *Significant Importance and/or Major Public Interest* test outlined in section 6 of this Policy.

Once a valid call-in request is received, the application cannot be determined under officer delegation. The application will be brought to a Council meeting for determination once the assessment process for the permit application has been completed by officers.

At least two Councillors must request the call-in for a planning permit application. The request must be in writing to the Chief Executive Officer and include:

STATUTORY PLANNING DELEGATION POLICY

- details of the application;
- reasons for calling in the application (how the call-in request aligns with section 6 Policy Test requirements of *Strategic Importance* and *Major Public Interest*); and
- signatures of the supporting Councillors.

All call-ins requested by Councillors, including the reasons why it was called in and why the matter should not be decided under delegation, will be recorded in the Register of Councillor call-ins.

7.4 Decide to call in permit applications early

Councillors must ensure that it is clear to the Chief Executive Officer if there is an intention to call-in an application as soon as is practicable. It is the responsibility of Council's Delegated Officers to inform the permit applicant if an application has been called in.

7.5 Provide reasons for Council decisions

Where a Council decision differs from the Council officer recommendation, clear reasons for the decision must be included in the resolution of Council and documented in Council Meeting minutes.

8. Responsibilities

The following responsibilities form part of this Policy:

8.1 General Responsibilities

Councillors and Delegated Officers work in partnership as different arms in the same organisation.

The common goals are:

- informing the community;
- resolving differences between objectors/submitters and applicants, where appropriate;
- achieving quality outcomes in planning decisions;
- ensuring transparency in the planning process; and
- ensuring consistency in decision-making.

Where possible, Council will seek consensus between objectors, submitters and applicants with a view to obviating the need to apply to the Victorian Civil and Administrative Tribunal (VCAT) for review of planning decisions.

By building consensus and reaching a mutually acceptable outcome, stakeholders can avoid the delays, costs and frustration that can be associated with formal VCAT processes.

8.2 Role of Councillors

Council is the Responsible Authority for planning permits under the Act. Councillors play a key role in determining the strategic direction and planning policy position of the municipality. Councillors can participate in planning decision-making processes as outlined in this Policy, as representatives of the community and by participating in Council Meetings.

STATUTORY PLANNING DELEGATION POLICY

Under section 28 of the *Local Government Act 2020*, the role of a Councillor is strategic, not operational. Councillors must:

- ensure Councillor decisions on planning permits occur only at Council meetings, based on policy and evidence;
- avoid pre-determination, lobbying, or private discussions with developers;
- adhere to Council's Governance Rules; and
- consider the IBAC recommendations from Operation Sandon and related reports to maintain integrity and public trust.

8.3 Councillor interaction with planning applicants

Outside of Council Meetings, Councillors perform important representative functions by liaising with residents of the Shire. Community engagement is essential to ensure Councillors have a sound understanding of local issues and are best positioned to consider the needs and interests of the broader community.

To maintain transparency and integrity in decision-making regarding planning permit applications, Councillors must not liaise directly with applicants about their application. If Councillors require information on a specific planning application, they may request it in accordance with section 7.2 of this Policy.

Council acknowledges that from time to time, Councillors may be approached by applicants regarding their planning permit for various reasons. In these circumstances, Councillors should not provide advice or engage in discussions about the application. Instead, they must refer the matter to the Chief Executive Officer to ensure it is managed in accordance with statutory processes.

8.4 The Council

Subject to this policy, the Council's role in the planning process is to consider all factors relating to a planning permit application, including officer recommendations. The broad range of issues considered by Council as part of its decision-making process includes:

- the purpose and vision of the Planning Scheme;
- objectives of the Planning Policy Framework;
- the purpose of the applicable zone and/or overlay;
- decision guidelines set out in the Planning Scheme;
- objections lodged;
- outcomes (if any) reached at a mediation;
- the likely impacts on neighbouring land and the neighbourhood; and
- any relevant State and/or local policies included in the Planning Scheme.

8.5 Role of Delegated Officers

The role of Delegated Officers is divided into two distinct areas:

(a) Before a decision is made

STATUTORY PLANNING DELEGATION POLICY

Before a decision is made on an application, it is the role of Delegated Officers to engage with applicants, objectors, referral authorities and other residents clearly, impartially and professionally to ensure that Council's planning processes and requirements are understood.

Delegated Officers must ensure that applications and supporting documents are in the best form to ensure the full concept is easily understood and able to be properly considered.

Council is obliged by law to consider all applications. This allows all applications to be the subject of an appeal, which is an underlying principle in the Victorian planning system. Delegated Officers must formally consider all applications that are received.

(b) Provide advice and determine applications

Delegated Officers provide professional and technical advice to applicants, residents and the Council on a range of issues.

Delegated Officers are empowered to determine planning permit applications under section 60 of the Act subject to the criteria in Section 5, Table 1 of this Policy.

9. VCAT

9.1 Delegation to Council Officers at VCAT

The CEO or their delegate has authority to:

- Represent Council at VCAT hearings, mediations, and compulsory conferences;
- Negotiate and settle matters with all parties during VCAT proceedings;
- Form a position on any amended plans or proposals filed with VCAT;
- Prepare, file, and serve amended grounds for review under sections 77, 79, or 82 of the Planning and Environment Act 1987;
- Negotiate and agree to minor changes to permit conditions or plans, provided:
 - Changes do not alter the fundamental intent of Council's decision; and
 - Changes do not introduce new uses or developments of greater impact.

The above powers will apply irrespective of whether the decision was made by the Council or by a Delegated Officer.

9.2 VCAT Powers and Council's Authority

A decision made by Council or a Delegated Officer may be reviewed in VCAT. These proceedings are subject to certain limitations.

VCAT cannot hear matters involving federal legislation or cases where parties are from different states. VCAT cannot award compensation for non-monetary loss beyond a small amount for personal injury, and it cannot make non-monetary orders. Status reports of Council VCAT cases must be provided to Councillors to keep them informed as to the progress of hearings.

When VCAT conducts a merits review, it takes a fresh look at the application and is not bound by the Council's or the Delegated Officer's decision.

VCAT can:

STATUTORY PLANNING DELEGATION POLICY

- affirm the Council decision;
- vary conditions;
- set aside the decision and substitute its own;
- issue a consent order; or
- cancel or grant a permit.

Once an application is lodged at VCAT, Council becomes a party to the proceeding, not the decision-maker. It must:

- present its position (which may differ from its original decision if circumstances change); and
- comply with Model Litigant Guidelines and VCAT Practice Notes.

9.3 Matters Requiring Council Resolution

The following actions arising from a VCAT proceeding must be referred to Council for a decision:

- settlement or consent orders that materially alter Council's original decision (for example, changing a refusal to an approval or approving additional storeys or dwellings);
- withdrawal of Council's position or abandonment of grounds of refusal; or
- any agreement that significantly changes the scope or impact of the proposal beyond what was considered by Council.

VCAT expects Councils to provide a fair and balanced assessment, even those which are contrary to the Council decision. Independent advocates are skilled at framing these arguments without undermining Council's position. Council will appoint independent representation when:

- the decision is politically sensitive or high-profile;
- the decision opposes the Delegated Officers recommendation; or
- the matter involves complex planning policy or legal issues.

9.5 Councillor status reports

Councillors will be provided with a weekly report in the Councillor Bulletin which will provide the following information:

- list of all planning permit applications lodged in the past seven days, including indications about:
 - relevant previous applications on the property; and
 - applications that are, or are likely to be of Significant Importance or of Major Public Interest.
- list of planning decisions made under delegation in the past seven days.

STATUTORY PLANNING DELEGATION POLICY

- VCAT matters to be heard; and
- VCAT decisions made in the past seven days.

10. Planning Hearings

A Council Planning Hearing provides an independent, transparent forum for assessing planning matters. A Planning Hearing can help Councils meet community expectations for integrity and align with state reforms aimed at reducing corruption risks and streamlining planning processes.

A Planning hearing presents an opportunity for the applicant, referral authorities and objectors to make submissions before Councillors in attendance.

Planning hearings are not a mandatory requirement under the Act but are used to give Councillors an opportunity to gain further insight into objections and a better understanding of the application in addition to reports presented through regular Council briefings and Council Meetings.

As it is not a mandatory requirement, Planning Hearings will not form part of all planning permit application processes. The criteria used by Council to determine whether a Planning Hearing should be conducted is outlined in the Planning Hearing Eligibility table below (Table 2).

Table 2. Planning Hearing Eligibility

Application Type	Criteria	Determination
Planning Permit Amended Planning Permit	Value of development up to \$5 Million; OR Between 1-4 objections have been received	<u>No hearing provided</u>
Planning Permit or Amended Planning Permit	Value of work above \$5 Million; OR 5 or more objections have been received; OR Planning application is called-in by Council.	<u>Hearing offered</u> Upon request of Council; OR The applicant; OR Where the CEO, General Manager Infrastructure Assets and Planning and/or Manager Statutory Services are satisfied that the application is of Significant Importance or Major Public Interest.
VicSmart	All applications	No hearing

STATUTORY PLANNING DELEGATION POLICY

Councillors can request a planning hearing in line with the communications protocols outlined in the *Councillor and Staff Interaction Policy*.

11. Planning Definitions

Term	Definition
Act	Planning and Environment Act 1987
Amendment	<p>A permit or details in a permit can be changed using the following mechanisms under the Act:</p> <ul style="list-style-type: none"> • Section 72 – a person who is entitled to use or develop land in accordance with a permit may apply to the Council for an amendment to the permit. • Secondary Consent – under a permit Council may consent to changes to, or amend matters regulated by a permit condition if this is authorised by the condition. • Section 87 – amendment under section 87 is a remedy available in limited circumstances to specified people exercisable by VCAT. • Section 87A – amendment under section 87A is a broad power of amendment only exercisable by VCAT at the request of the owner, occupier or developer of land in respect of a permit issued at the direction of the Tribunal. <p>The powers to amend a permit under sections 72, 87 and 87A are statutory powers conferred by the Act. An application under section 72 can be made to Council. An application under sections 87 and 87A must be made to VCAT. Secondary consent powers arise under the permit itself.</p> <p>An application or request for consent to change something under the permit must be made to Council or other specified body named in the condition. Changes under a secondary consent provision in a permit condition change the matter or detail regulated by the condition.</p> <p>The permit itself is not changed, unlike an amendment under sections 72, 87 or 87A which amends the permit.</p>
Councillor call in	Councillor call-in of a planning permit refers to a process where Councillors request that a planning application, which would normally be decided by Delegated Officers, be brought before the full Council for determination
Planning Hearing	A closed meeting arranged to allow applicants, objectors and referral authorities to put their case to Councillors and Delegated Officers. Information is presented to inform a later decision and are closed to the public.
Delegated Officer	A member of Council staff that has been delegated a power, duty or function under the relevant Instrument of Delegation (S6, S13, S14, S16)
Eligible objections	<p>An objection to an application that:</p> <ul style="list-style-type: none"> • is submitted as a proforma (content and format) • is the only objection received from an objector at that

Warning – uncontrolled when printed – the current version of the document is kept in Council's Records Management System

Page 11 of 13

STATUTORY PLANNING DELEGATION POLICY

		<ul style="list-style-type: none"> • address (for example, more than one objection received from the same property will be counted as a single objection) • is not unrelated to the permit trigger/s of the particular application • relates to a relevant planning consideration (for example, it does not concern matters that Council cannot consider when determining an application, such as precedent, devaluation of property, construction noise, etc) <p>NOTE: All objections will still receive written notification of Council's decision in accordance with the Act. This definition only relates to the counting of objections for the purposes of assessing the thresholds for the exercise of delegated authority under this Policy.</p>
Instrument of Delegation	of	Refers to the S6 Instrument of Delegation – To Members of Council Staff, as adopted by Council from time to time.

12. Review

This Policy must be reviewed a minimum of once every 4 years.

13. Human Rights Statement

It is considered that this policy does not impact negatively on any rights identified in the Charter of *Human Rights and Responsibilities Act 2006*.

14. Gender Equality Act

Gender equity is applied to this Policy by ensuring that decision-making processes are fair, inclusive, and reflect the diverse needs and experiences of all genders, often through a gender impact assessment. Council will use data to understand how different genders are impacted, promoting diverse representation within delegated roles, implementing inclusive engagement strategies for community input, and ensuring that policies and resource allocation do not reinforce existing gender inequalities.

15. Relevant Legislation and Council Policies

- Auditor General No 62. Land Use and Development in Victoria, The State's Planning System December 1999.
- Municipal Association of Victoria, Planning Delegation Report, 2014
- *Local Government Act 2020*
- *Planning and Environment Act 1987*
- *S6 Instrument of Delegation – Members of Staff*
- S13 Instrument of Delegation of CEO powers, duties and functions
- S14 Instrument of Delegation by CEO for VicSmart Applications and Future Homes Applications under the *Planning and Environment Act 1987*

STATUTORY PLANNING DELEGATION POLICY

- S16 Instrument of Delegation for Bushfire Reconstruction Applications under the Planning and Environment Act 1987
- Councillor and Staff Interactions Policy
- Governance Rules

DRAFT

7.3 D070-24 10 Dundas Street, Maryborough

Author: Statutory Planner

Responsible Officer: General Manager Infrastructure Assets and Planning

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to provide Council with an assessment of planning application D070-24 for alterations and extensions to the existing dwelling at 10 Dundas Street, Maryborough (CA 2, Section 66A, Township of Maryborough).

The planning application has been called in for decision by Cr Geoff Bartlett, requesting the matter be determined by Council rather than under delegated authority by officers.

RECOMMENDATION

That Council resolve to issue a Notice of Refusal to grant a planning permit for the development of alterations and extensions to the existing dwelling at 10 Dundas Street, Maryborough (CA 2, Section 66A, Township of Maryborough) on the following grounds:

1. Inconsistency with Planning Policy Framework
The proposal is inconsistent with the Municipal Planning Strategy and Planning Policy Framework of the Central Goldfields Planning Scheme, including **Clauses 02.03-5 – Built Environment and Heritage and 15.03-1S – Heritage Conservation**. The proposed alterations and additions would be contrary to policy objectives that seek to protect identified heritage places and retain and conserve contributory elements of a heritage place.
2. Contrary to Heritage Overlay Provisions
The proposal is contrary to the purpose and decision guidelines of **Clause 43.01 – Heritage Overlay**, including **Schedule HO206 – Maryborough Area**. The proposed works would result in demolition and building modifications that adversely affect the significance of the heritage place by removing key architectural details and compromising identified heritage features.
3. Conflict with Maryborough Heritage Review 2023
The proposal is inconsistent with the recommendations of the **Maryborough Heritage Review 2023**, which Council has resolved to seek authorisation and exhibition for proposed **Amendment C40**. The subject land is identified as Contributory within the proposed Palmerston Street Heritage Precinct Citation as a Post-War Era (1945–1965) development, and the works would compromise this heritage value.
4. Contrary to Clause 65.01 – Decision Guidelines
The proposal would result in detrimental impacts to the heritage values of the built environment of the site and its surrounding context, failing to achieve orderly planning of the area.

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision: Our Spaces and Places
3. Protection and preservation of heritage.

Initiative: Provide infrastructure to meet community needs

BACKGROUND INFORMATION

Planning application D070-24 seeks approval for alterations and extensions to the existing dwelling at 10 Dundas Street, Maryborough (CA 2, Section 66A, Township of Maryborough). Public notice of the application was given in accordance with the *Planning and Environment Act 1987*, and one objection was received during the notice period.

The application was called in for decision by Cr Bartlett on 8 July, 2025. Calling in an application means that a Councillor has requested the matter be determined by the full Council rather than under delegated authority by officers.

The proposal has been assessed against the Central Goldfields Planning Scheme, including relevant policies, overlays, and decision guidelines. Based on this assessment, the proposed development is considered to not comply with key planning scheme provisions, particularly those relating to heritage conservation and neighbourhood character.

REPORT

Proposal

The development proposed by this application comprises alterations and extensions to the existing dwelling on the land. The alterations and extensions proposed are summarised as follows:

- Alteration to the front portion of the dwelling with the living/meals room to be extended forward with its stepped facade to be modified from triple to double fronted, with roofing above modified to a simpler construction form to match the extended floor area. The extended floor area would comprise 1.7m x 2.95m (5.0m² floor area). Existing timber windows with including sash window sections would be removed and replaced with aluminium framed windows. Existing roof cladding would be replaced with new corrugated metal cladding coloured white whilst existing white painted timber weatherboards on the front and right side would be replaced with white coloured PVC weatherboards.
- The removal of the porch over the front door and replacement with a front verandah running the length of the modified secondary façade frontage. The verandah would extend 9.7m across the façade and would be 1.8m depth. The verandah flooring would be timber along with its support posts whilst roof cladding would be corrugated metal to match the dwelling as noted above.
- The construction of a new covered deck area extending from the rear of the dwelling of 7.0m x 6.0m (42m² floor area) with pitched roofing rising to approx. 5.0m above ground level including corrugated metal roofing and gable end board to match the dwelling cladding other than corner posts and timber deck flooring.
- Demolition works proposed where necessary for the alterations to the front of the building in particular including demolition of walls and roof elements as well as existing windows, and removal of existing wall and roof cladding with new replacement materials described above.

Attachment 1 – Proposed Development Plans.

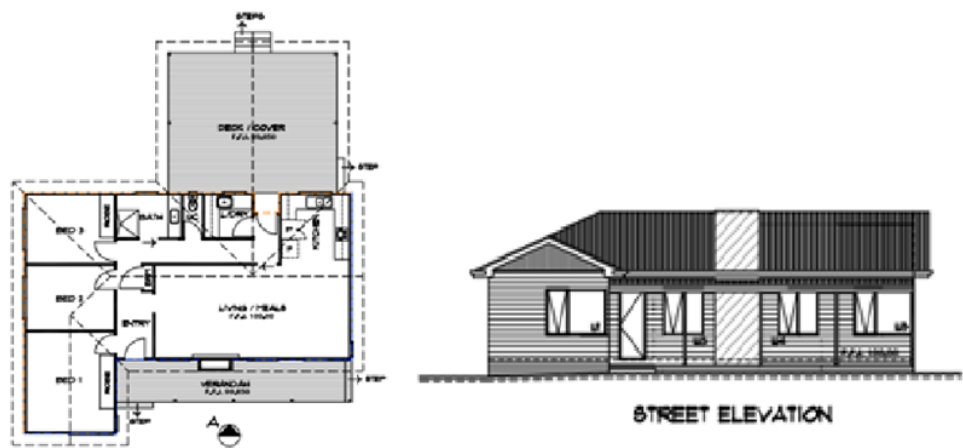


Figure 1: Proposed dwelling floor plan and front elevation.

Amendments to application

Date of Amendment	Amendment Provision	Details of Amendment
23 September 2025	Planning and Environment Act 1987, S50	Minor changes to plans for details of location and number of proposed windows.

Site and Surrounding Area

Subject Site



Figure 2: Subject site (shown bounded with orange coloured margins) and immediately surrounding locality.

The subject site for this application is 10 Dundas Road which is located 30m north-west from the intersection of that road with Barkly Street. The site is rectangular in shape being 40.2m depth and 25.1m width for a total area of 1011.71m². The site contains a dwelling and garage/carport with spacious front and rear garden areas. The land is relatively level other than minor slope.

The dwelling existing on the subject land contains three bedrooms with living/meals/kitchen area along with bathroom, laundry and toilet facilities. The building is a triple fronted home of approximately 1940s construction with weatherboard cladding on front and right side wall elevations and corrugated metal cladding on rear and left side elevations. The front facade includes a centrally positioned feature brick chimney as well as original timber framed windows include sash window sections. The dwelling includes corrugated metal roofing.

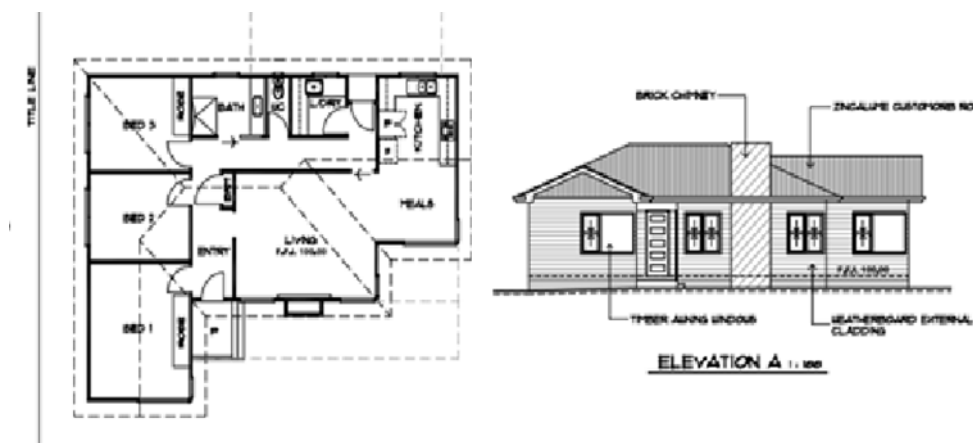


Figure 3: Existing Dwelling Floor Plan and Front Elevation



Figure 4: Photo of existing dwelling and adjacent outbuilding on the subject site.

A garage/carport is constructed to the side of the dwelling accessed by a driveway from the road frontage and was approved by recent planning permit D112-21. This outbuilding is 6m width and 21m length and is clad with corrugated metal.

Surrounding Area

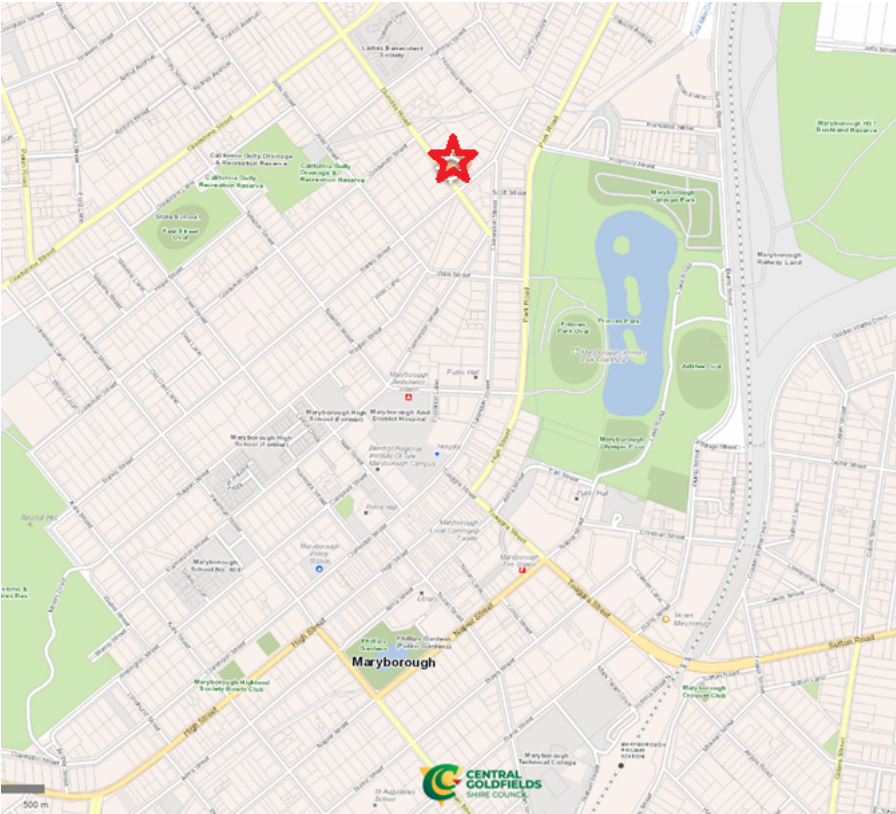


Figure 5: Locality Map (site location shown marked with red star)

The subject site is located approximately 800m north of the Maryborough town centre. The locality surrounding the subject land is predominantly residential in its development with most properties retaining a single dwelling on traditional sized parcels of between 800m2 and 1200m2 in area other than some infill subdivision and multi dwelling development. Many of the dwellings in this area are older housing types ranging from Victorian, Federation, Edwardian, Californian Bungalow, inter-war and post-war homes through to more contemporary dwellings.

The site is located within the Heritage Overlay HO206 – Maryborough areas which is a precinct control that applies to a large area of the Maryborough township inclusive of the commercial and civic areas of the town centre, surrounding residential streets, and other land including the Bristol Hill Reserve and Maryborough Bushland Reserve. The site is located near the northern extent of this precinct overlay area.

Relevant History and Background

A search of Councils electronic database shows the following planning permit history for the site.

Permit Application No.	Proposal	Decision	Date of Decision
D112-21	Development of outbuilding (carport/garage)	Permit granted	26 November 2021

No other planning permit applications are evident for this property.

Registered Restrictions

Under section 61(4) of the *Planning and Environment Act 1987*, the responsible authority must refuse to grant a permit if it would authorise anything that would result in a breach of a registered restrictive covenant. The subject land is not affected by any such registered restriction.

Permit Triggers

The need for a planning permit is triggered by clauses:

Planning Scheme Clause	Matter for which the permit is required
43.01-2 <i>Heritage Overlay</i>	Permit required for buildings and works. Permit required to demolish or remove a building.

Other

A permit is not required under the General Residential Zone (GRZ1) for buildings and works associated with one dwelling on a lot of greater than 300m² in area.

Referral

In accordance with section 55 of the Act and clause 66 of the Central Goldfields Planning Scheme (planning scheme), referral of the application is required as relevant.

Referral Authority	Type of Referral	Response
Goulburn Murray Water (GMW) <i>Determining</i>	S55/Clause 66.02-5	A Memorandum of Understanding between Council and GMW exempts referral for this application subject to the inclusion of standard conditions in an issued permit.

The application was also referred to the following internal departments of the Central Goldfields Shire Council:

Department	Response
Engineering	No objection subject to conditions relating to drainage, asset protection and sediment control.
Heritage Consultant	Recommending refusal due to detrimental impacts to existing dwelling by alterations and extensions proposed that would compromise the heritage architectural values to this property that has been identified as a Contributory site within the Maryborough Heritage Review 2023 that has been adopted by Council. Alternative alterations and additions could be supported but the format of this proposal would result in the dwelling no longer retaining the important elements of its architecture in context of the existing Heritage Overlay HO206 and the proposed future overlay for this locality.

Public Notice

In accordance with section 52(a) of the Act, notice of the application was given by mail to adjoining landholders and occupiers, and a sign placed on site.

One objection has been received with the main grounds of objection summarised below:

- Increased risk of stormwater/flooding across the neighbouring property boundary.
- Loss of privacy from proposed elevated decking height.
- Increased noise impacts from use of proposed decking area.

The objection grounds are addressed in the assessment of this application below.

Exemptions

There are no specified exemptions from public notice and review requirements of the *Planning and Environment Act 1987* under the provisions of Clause 43.01 - Heritage Overlay. All relevant matters in relation to the permit triggers specified by the Heritage Overlay are available for review.

Planning Scheme Considerations

Relevant clauses of the Planning Scheme are outlined below, including the relevant purposes and strategies of those clauses.

Municipal Planning Strategy

02.01 Context

- *The Shire is part of the Goldfields Tourist Region, which celebrates its gold and mining heritage. There are also significant Aboriginal sites and an emerging arts and culture sector in the Shire which present unique cultural tourism experiences. Central Goldfields is well serviced by a road network, with limited public transport options available. Active transport is emerging as an important resource for the sub-regional centre of Maryborough and within the district towns. The Shire features a diverse array of open space and recreation facilities.*

02.02 Vision

Central Goldfields Shire Council seeks to create a shire that:

- *Has a supported, cohesive community, living a full and healthy life.*
- *Has a vibrant local economy which contributes to the municipality's economic prosperity.*
- *Celebrates the rich built and natural heritage and a sustainable environment.*

02.03 Strategic Directions

02.03-1 Settlement

Maryborough is expected to experience small but steady (VIF 2019) population growth over the next ten years. Maryborough performs an important regional function as a centre for retail and commerce, employment and community services. Future development opportunities for the township exist north of Maryborough on Maryborough-Dunolly Rd and several large undeveloped sites within the township. However, further investigation is required, including but not limited to bushfire hazards and utility service provisions. Carisbrook is identified as the area for broad hectare residential development. Rural living and rural residential developments are located around Dunolly, Carisbrook, Alma, Daisy Hill, Havelock, Majorca, Timor and Bealiba. There is an opportunity for low density rural living lots around serviced areas in Maryborough and Carisbrook. Existing rural living areas outside of townships and in areas of high environmental value should be protected under the Rural Conservation Zone.

Council seeks to support its established townships and emerging settlements by:

- *Primarily directing development to Maryborough as a sub-regional centre.*
- *Supporting greater urban consolidation and housing diversity, while also protecting the amenity and character of Maryborough.*

- *Recognising the unique characteristics of each town and place as defined in the Community Plans.*
- *Developing framework planning for future development in Maryborough, Carisbrook and Flagstaff.*

02.03-5 Built Environment and Heritage

Heritage and townscape character are strong built form elements of towns in the Shire.

The Shire's goldfields heritage includes the historic centres of Maryborough, Dunolly and Talbot. Maryborough's nineteenth century civic precinct, Princes Park and the magnificent late Victorian Railway Station are outstanding examples of Maryborough's built heritage. The main streets of Dunolly and Talbot are among the most intact heritage streetscapes in the Goldfields region.

Conservation, protection and maintenance of this heritage are of community, economic and cultural significance to the Shire.

Council seeks to protect heritage assets and promote built form improvements by:

Protecting sites, places, buildings and features of heritage significance.

- *Preserving and enhancing the visual amenity and character of Maryborough and the Shire's townships.*

02.03-6 Housing

Dwelling types in Central Goldfields Shire are similar to those in regional Victoria, with a higher proportion of separate houses and a lower proportion of medium density houses than the corresponding state averages. The Shire will need to cater for diverse housing needs close to services considering the ageing population and changing family structures.

11.01-1S Settlement – Central Goldfields

Objective

To achieve a sustainable urban form for townships and settlements by containing future development within the township boundaries shown on the township maps.

14.02-2L Water quality – Central Goldfields

Objective

Maintain and protect water quality in the Bealiba, Laanecoorie, Tullaroop and Cairn Curran catchments and the Loddon and Avoca Rivers and Bet Bet Creek waterways systems.

15.03-1S Heritage Conservation

Objective

To ensure the conservation of places of heritage significance.

Strategies

Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.

Provide for the protection of natural heritage sites and man-made resources.

Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.

Encourage appropriate development that respects places with identified heritage values. Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

Support adaptive reuse of heritage buildings where their use has become redundant.

Consider whether it is appropriate to require the restoration or reconstruction of a heritage building in a Heritage Overlay that has been unlawfully or unintentionally demolished in order to retain or interpret the cultural heritage significance of the building, streetscape or area.

16.01-1S Housing Supply

Objective

To facilitate well-located, integrated and diverse housing that meets community needs.

32.08 General Residential Zone

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage development that is responsive to the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

43.01 Heritage Overlay

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework. To conserve and enhance heritage places of natural or cultural significance. To conserve and enhance those elements which contribute to the significance of heritage places. To ensure that development does not adversely affect the significance of heritage places. To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

65 Decision Guidelines

65.01 – Approval of an application or plan

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- The matters set out in section 60 of the Act.*
- Any significant effects the environment, including the contamination of land, may have on the use or development.*
- The Municipal Planning Strategy and the Planning Policy Framework.*
- The purpose of the zone, overlay or other provision.*
- Any matter required to be considered in the zone, overlay or other provision.*
- The orderly planning of the area. The effect on the environment, human health and amenity of the area.*

Assessment

This application is primarily concerned with the assessment of the application for alterations and extensions in respect to the Heritage Overlay applying to the land, along with relevant policy framework and other matters required to be considered by the Planning Scheme.

Council must assess whether the proposal aligns with the relevant policy framework, overlay objectives, and applicable decision guidelines.

Site Context

The Maryborough Heritage Review 2023 identifies the proposed Palmerston Street Precinct within which the site is located as a locally significant precinct which includes significant, contributory and non-contributory graded properties, being primarily residential but also including church and school properties.

The characteristics of this precinct include the consistent allotments resulting from nineteenth and twentieth century subdivision of land along with various periods of architecture of dwellings including earlier Victorian and Federation buildings, through inter-war styles such as Californian Bungalows and Spanish Mission homes.

Post-war architecture of which the 1945-1965 period has been identified as being sympathetic to the earlier development with massing, scale, setbacks and materials which are complementary to the earlier housing stock. Hipped roofs, weatherboard, stepped built form, open verandahs and brick chimneys are commonly identified features of these post-war dwellings.

The dwelling on the subject land is consistent with the identified post-war architecture within this precinct as it contains the key details of siting, bulk and architectural features described above. The dwelling on the site is representative of the identified characteristics of the proposed Palmerston Street Precinct.

General Residential Zone

A planning permit is not required for the development of buildings and works associated with a single dwelling on the subject land under the provisions of the General Residential Zone.

Heritage Overlay HO206

The subject land is located within the existing Heritage Overlay HO206 area of Maryborough. As noted above, the extent of this overlay comprises a broad precinct control across much of the Maryborough township, with the subject land being located towards the northern extent of the overlay within a residential area beyond the commercial and civic areas of the town centre.

The purpose of the Heritage Overlay is to:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework. To conserve and enhance heritage places of natural or cultural significance.*
- *To conserve and enhance those elements which contribute to the significance of heritage places.*
- *To ensure that development does not adversely affect the significance of heritage places.*
- *To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.*

A planning permit is required for various activities including the demolition or removal of a building, along with the construction and carrying out of buildings and works.

The decision guidelines specified by the Heritage Overlay are:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.*

- *Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.*
- *Any applicable heritage design guideline specified in the schedule to this overlay.*
- *Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.*
- *Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place. Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.*
- *Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.*
- *Whether the proposed subdivision will adversely affect the significance of the heritage place.*
- *Whether the proposed subdivision may result in development which will adversely affect the significance, character or appearance of the heritage place.*
- *Whether the proposed sign will adversely affect the significance, character or appearance of the heritage place.*
- *Whether the lopping or development will adversely affect the health, appearance or significance of the tree.*
- *Whether the location, style, size, colour and materials of the proposed solar energy system will adversely affect the significance, character or appearance of the heritage place.*

Maryborough Heritage Study 1992

This overlay was implemented into the Central Goldfields Planning Scheme upon the implementation of this new format planning scheme on 22 June 2000 with this overlay based upon the *Maryborough Heritage Study 1992*. The subject site was not individually identified within that study but was included within the broader overlay due to its location amongst other properties that were individually assessed within this earlier heritage study.

Maryborough Heritage Review 2023 and Amendment C40

The Maryborough Heritage Review 2023 has reviewed the extent of the existing overlay area along with previous work completed as part of the earlier *Central Goldfields Heritage Review: Stage 1 (2005)*.

The completed review documentation incorporates statements of significance and includes recommendations for the introduction of nine heritage precincts, two group listings and seven individual places based on current best practice criteria for the reflection and protection of heritage significance of those places.

Specific to the subject land, 10 Dundas Road has been individually identified as a Contributory grading within the Maryborough Heritage Review 2023, as a residential property developed in the Post-war period (1945-1965).

A description of the characteristics of the identified post-war era residential development are included at page 10 of the Palmerston Street Precinct Citation within the Review documents as follows:

Early postwar era residences typically characterised by weatherboard cladding, hipped roofs, stepped form and often with a balcony and narrow rectangular brick chimney block are dotted throughout the precinct. These residences can be observed at 78 Barkly Street, 10 and 21 Dundas Road, 14 and 37 Newton Street, 55 Palmerston Street, 71A Raglan Street and 4 Wills Street."

Amendment C40 is proposed to facilitate amendments to the Central Goldfields Planning Scheme to incorporate the changes to heritage places along with policy and guidance documents for improved reflection of the heritage values of the study area.

At the Council Meeting on 23 July 2025, Councillors resolved to seek Ministerial Authorisation to prepare Amendment C40, to exhibit the amendment, and for Council's CEO to be delegated to any make changes requested by the Minister for Planning or the Department of Energy, Environment and Climate Action.

Attachment 2 – Maryborough Heritage Review 2023 - Volume 1

Attachment 3 – Maryborough Heritage Review 2023 – Palmerston Street Precinct

Consideration

The existing HO206 schedule to the Heritage Overlay is outmoded and is proposed to be superseded by new overlay provisions following the completion of proposed Amendment C40. The completion of that proposed planning scheme amendment would incorporate up to date overlays along with relevant citations within the Maryborough Heritage Review 2023 that provide important current information relevant to assessment of the heritage values of properties identified within the study. Amendment C40 would also incorporate updated policy and reference to the underlying guidance documents.

Council's resolution at its meeting on 23 July 2025 has given the Maryborough Heritage Review 2023 a level of weight in respect to assessment of planning permits triggered under the Heritage Overlay HO206 that it did not have prior to that date. The Palmerston Street Precinct Citation prepared as part of the Review identifies 10 Dundas Street as being Contributory within the precinct area due to its Post-war Era construction which includes characteristics such as stepped building layout, hipped roof form, brick chimneys, and weatherboard cladding that are evident within the construction of this dwelling.

Although more recent in construction than more well-known heritage building types such as Victorian, Edwardian or Californian Bungalow architecture, the passing of time since earlier heritage codification means that Inter-war and Post-war era construction have now become relevant to consideration of heritage values. It is noted that the current planning scheme provisions for Maryborough are the product of assessment work completed in 1992 so that building stock existing at that time is now 33 years older where the Post-war Era (1945-1965) houses identified in the more recent Maryborough Heritage Review 2023 are now 60-80 years old which is a similar timeframe to the "younger" housing stock identified as having heritage value in the earlier 1992 study.

Council's Heritage Consultant has reviewed the proposal (Attachment 4 – Heritage Advice 10 Dundas Road) and provided advice in relation to the alterations and additions sought by this application. Although some elements of the proposal may be acceptable such as a rear roofed deck extension and recladding of weatherboard clad elevations of the dwelling where existing weatherboards are not in condition to be reused, and there may be alternative development forms that could be supported where the design suitably protects and responds to the heritage elements of the existing dwelling, the proposal in its current format is not recommended to be supported.

The integrity of the post-war architectural style would be compromised by the modification that would reduce the stepping of its facade by the infilling of one-stepped section of the dwelling with a forward extension and would simplify the roofing that similarly steps with the facade treatment. The inclusion of a long verandah in place of the existing original porch entry would further diminish the original elements of the streetscape presentation of the dwelling as would the replacement of the existing window proportions and use of aluminium rather than timber window construction. These modifications to the existing dwelling are not in keeping with the key attributes of this era of residential architecture that are clearly illustrated within the Maryborough Heritage Review 2023.

The proposal would modify the existing dwelling such that its identified heritage values would be lost to the extent that its inclusion within the proposed future Palmerston Street Precinct may be compromised, and which would diminish the values of the proposed precinct as well as the subject land itself. The dwelling would no longer maintain the integrity of its post-war architecture by the proposed alterations and extensions.

Consideration of Objections

As outlined above, one objection was received from a neighbouring property owner to the subject land in response to public notice being given for this application. Response to each objection ground is provided as follows:

Objection Ground	Response
Increased risk of stormwater/flooding across the neighbouring property boundary	Stormwater from development would be regulated by conditions of a planning permit in the event of approval being granted as well as by building regulations requiring drainage of buildings to a legal point of discharge. Existing stormwater issues would not be governed by relevant planning and building approvals which would account for any consequential increase in stormwater capacity needing to be managed. The site is not mapped for flood risk in respect to standard 1/100 year flood events.
Loss of privacy from proposed elevated decking height	Overlooking and loss of privacy are not relevant considerations in relation to matters subject to the Heritage Overlay. This planning permit application is not required to assess overlooking. Assessment of the proposal for building approval may require consideration of overlooking.
Increased noise impacts from use of proposed decking area	Noise impacts are not a relevant consideration in relation to matters subject to the Heritage Overlay. This planning permit application is not required to assess noise impacts.

Summary

The proposal is considered to be inappropriate as it would result in the loss of important heritage values that have been identified for the dwelling on the subject land.

The proposal would be contrary to existing policy framework relating to heritage and built form character as well as the Heritage Overlay and its schedule HO206. Furthermore, the proposal would be inconsistent with the heritage architecture values identified for the subject land as being contributory within the proposed Palmerston Street Heritage Precinct Citation forming part of the Maryborough Heritage Review 2023.

Clause 02.03 (Built environment and heritage) identifies heritage and township character being strong built form elements of towns within the Central Goldfields Shire and notes that conservation, protection and maintenance of heritage is significant to the community, economy and culture of the Shire.

Clause 15.03-1S (Heritage conservation) aims to ensure the conservation of places of heritage significance and includes strategies providing for the conservation and enhancement of places of heritage significance including retention of elements that contribute to the importance of heritage places.

Clause 43.01 (Heritage Overlay) similarly seeks conservation and enhancement of heritage places and the elements that contribute to the significance of heritage places, with development sought that does not adversely affect the significance of the heritage place. The decision guidelines of this overlay provision reinforce these purposes.

The Maryborough Heritage Review 2023 includes recommendations for the protection of post-war housing development such as the dwelling on the subject land within the context of earlier housing forms in Maryborough. The proposed development would diminish a site identified with contributory heritage value within the proposed Palmerston Street Heritage Precinct which would be contrary to its recommendations.

The proposal does not demonstrate an appropriate response to the Heritage Overlay and associated policy framework included within the Central Goldfields Planning Scheme and is not consistent with recommendations for reinforced protection of this site and its surrounding heritage context included within the Maryborough Heritage Review 2023.

CONSULTATION/COMMUNICATION

Notice of the application was given in the prescribed form in accordance with section 52 of the Act. Notice was given by placing a sign at the site and sending it by post to the owners and occupiers of adjoining and surrounding land.

One objection was received in response to public notice being given.

The matters raised in the objections have been addressed in the preceding assessment.

Council's decision on the matter will be communicated to all relevant parties following the Council meeting.

Regardless of whether Council decides to grant or refuse a permit, the permit applicant as well as all objectors and submitters will receive a letter advising them of Council's decision and setting out their appeal (or review) rights to VCAT under the Act.

FINANCIAL & RESOURCE IMPLICATIONS

The assessment of this planning permit applications was conducted within the normal operational budget of Council. Heritage advice was received from UDM Pty Ltd.

RISK MANAGEMENT

Governance - Failure to transparently govern and embrace good governance practices.

This report responds to governance risk by ensuring that the assessment process is transparent, impartial, and consistent with Council's governance framework. It clearly outlines the statutory context, planning scheme provisions, and the rationale for the recommendation, providing a documented and auditable decision-making process. By explaining the call-in process and referencing the adopted Statutory Planning Delegations Policy, the report demonstrates Council's commitment to integrity and good governance practices.

Legislative compliance - Failure to manage our compliance with relevant legislative requirements

The report addresses legislative compliance risk by assessing the application against all relevant provisions of the Planning and Environment Act 1987, the Central Goldfields Planning Scheme, and applicable overlays and clauses. Each ground for refusal is linked to specific planning scheme requirements, ensuring the decision is legally sound and defensible. This approach reduces the risk of non-compliance and potential appeals, reinforcing Council's obligation to make decisions that are lawful and in the public interest.

CONCLUSION

The proposal has been assessed against the relevant policies and provisions of the Central Goldfields Planning Scheme and is considered non-compliant. While alternative designs for alterations and extensions could potentially achieve an acceptable outcome that respects the heritage characteristics of the site and its surrounding context, the current proposal does not meet these requirements.

The proposed development is inconsistent with the Planning Policy Framework and the Heritage Overlay provisions, which require new works to protect and respond to the heritage values of the existing building. The alterations and additions would result in the loss of key heritage elements through demolition and modifications that compromise the architectural integrity of the dwelling.

Accordingly, it is recommended that Council resolve to issue a Notice of Refusal for planning permit application D070-24 for alterations and extensions to the existing dwelling at 10 Dundas Street, Maryborough (CA 2, Section 66A, Township of Maryborough) on the following grounds:

1. Inconsistency with Planning Policy Framework
The proposal is inconsistent with the Municipal Planning Strategy and Planning Policy Framework of the Central Goldfields Planning Scheme, including Clauses 02.03-5 – Built Environment and Heritage and 15.03-1S – Heritage Conservation, which seek to protect identified heritage places and retain contributory elements.
2. Contrary to Heritage Overlay Provisions
The proposal is contrary to the purpose and decision guidelines of Clause 43.01 – Heritage Overlay, including Schedule HO206 – Maryborough Area, as the works would result in demolition and alterations that adversely affect the significance of the heritage place by removing key architectural details.
3. Conflict with Maryborough Heritage Review 2023
The proposal is inconsistent with the recommendations of the Maryborough Heritage Review 2023 and proposed Amendment C40, which identify the subject land as Contributory within the Palmerston Street Heritage Precinct as a Post-War Era (1945–1965) development.

Contrary to Clause 65.01 – Decision Guidelines

The proposal would result in detrimental impacts on the heritage values of the site and its surrounding context, failing to achieve orderly planning outcomes.

ATTACHMENTS

1. Attachment 1 - 070-24 - Amended Proposed Development Plans - 10 Dundas Road Maryborough [7.3.1]
2. Attachment 2 - 070-24 - Maryborough Heritage Review 2023 - Volume 1 Findings and Recommendations - 1 [7.3.2]
3. Attachment 3 - 070-24 - Maryborough Heritage Review 2023 Palmerston Street Precinct Citation - 10 Du [7.3.3]
4. Attachment 4 - 070-24 - Heritage advice - 10 Dundas Street Maryborough [7.3.4]

FOR PLANNING PERMIT
AMENDED DRAWINGS
ISSUE DATE
11 SEPTEMBER 2025

PROPOSED EXTENSION & OUTDOOR AREA TO
EXISTING RESIDENCE FOR : 10 DUNDAS
ROAD MARYBOROUGH, VIC, 3465

DRAWING NUMBER	DESCRIPTION
W1217/24/01	COVER SHEET & DRAWING INDEX
W1217/24/02	EXISTING FLOOR PLAN
W1217/24/03	EXISTING ELEVATIONS
W1217/24/04	PROPOSED FLOOR PLAN
W1217/24/05	OVERALL FLOOR PLAN
W1217/24/06	WINDOW DETAILS
W1217/24/07	ELEVATIONS A & C
W1217/24/08	ELEVATIONS B & D
W1217/24/09	OVERALL SITE PLAN
W1217/24/10	SHADOW DETAILS

SITE INFORMATION	
MUNICIPALITY	- CENTRAL GOLDFIELDS SHIRE COUNCIL
PLANNING DETAILS	
ZONING	GRZ (GENERAL RESIDENTIAL ZONE)
OVERLAYS	HERITAGE (H0) ABORIGINAL CULTURAL HERITAGE SENSITIVITY (PART OF)
TITLE INFORMATION	- LOT 2, TP 844119D TOWNSHIP OF MARYBOROUGH PARISH OF MARYBOROUGH VOLUME 80271, FOLIO 167 LAND AREA 1012m
WIND CLASSIFICATION	- N2
CLIMATE ZONE	- 6
BAL LEVEL	- BAL "LOW"



PROPOSED EXTENSION & OUTDOOR
AREA TO EXISTING RESIDENCE FOR :
10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

COVER SHEET / INDEX

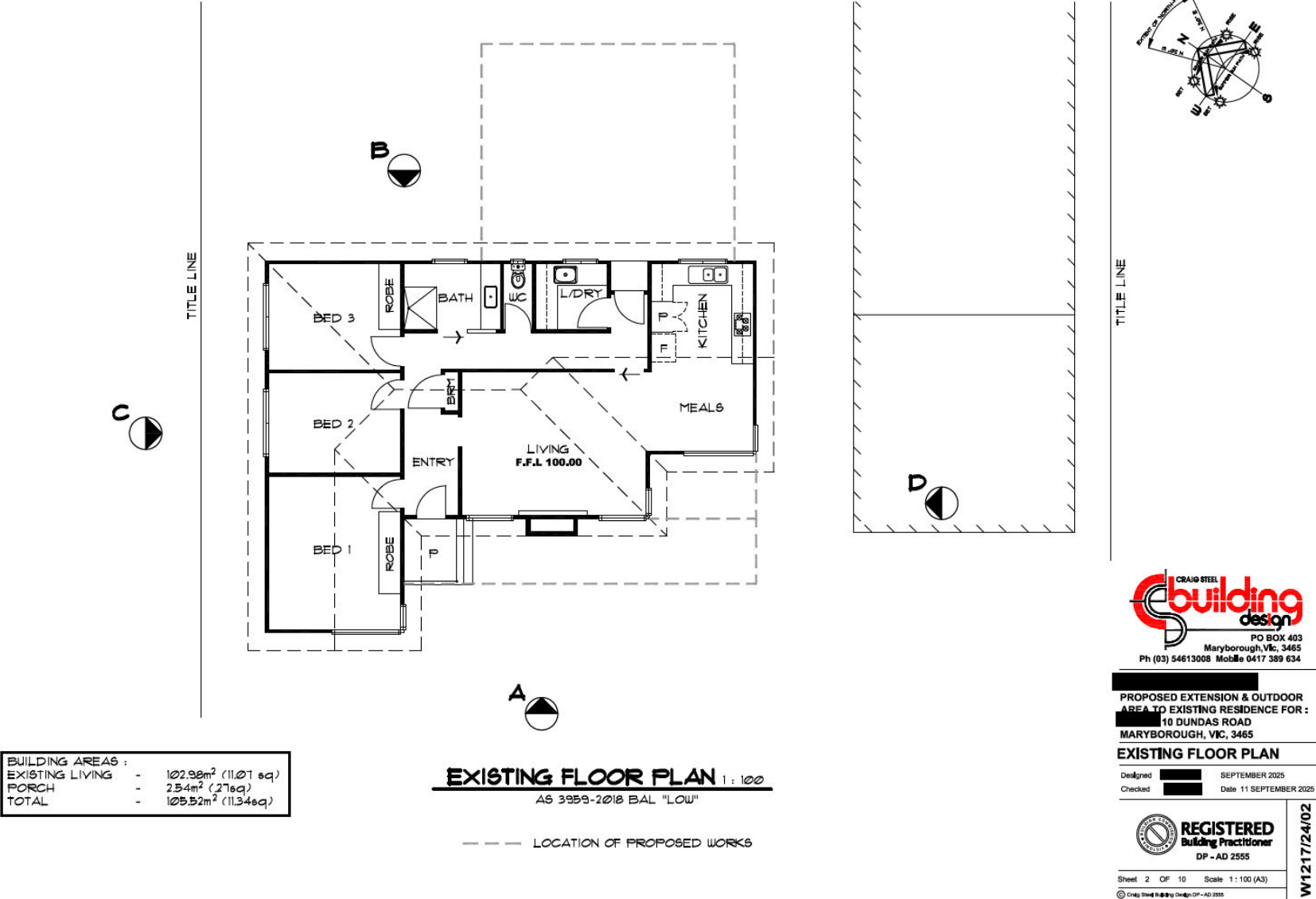
Designed SEPTEMBER 2025
Checked Date 11 SEPTEMBER 2025



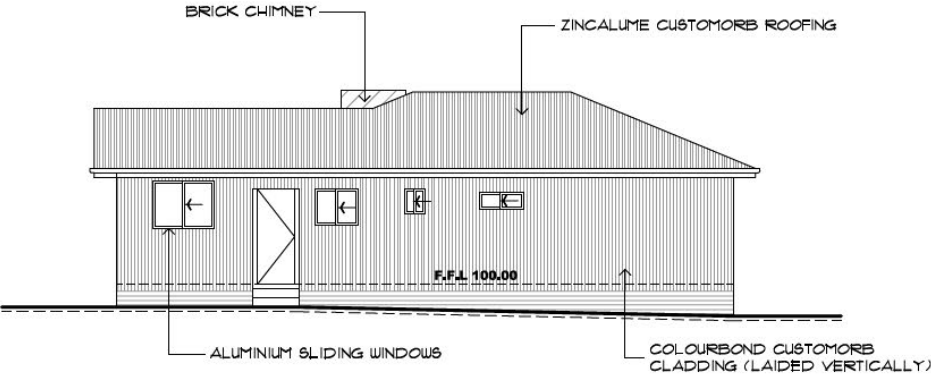
Sheet 1 OF 10 Scale NTS (A3)
© Craig Steel Building Design DP - AD 2555

W1217/24/01

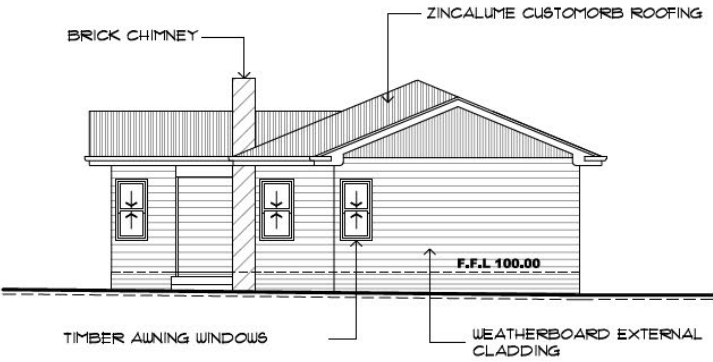
FOR PLANNING PERMIT
AMENDED DRAWINGS
ISSUE DATE
11 SEPTEMBER 2025



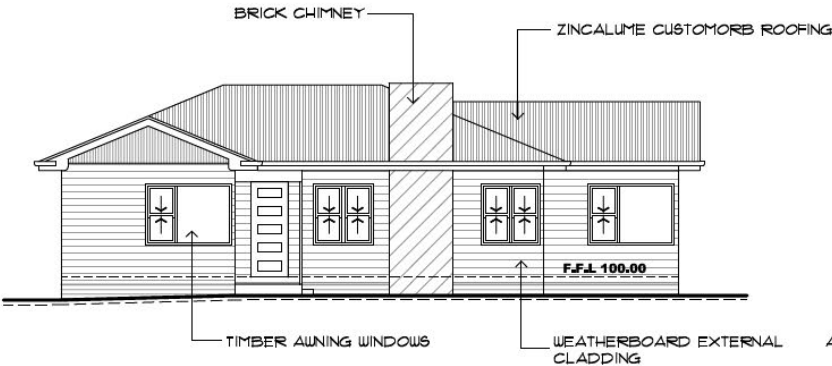
FOR PLANNING PERMIT
AMENDED DRAWINGS
ISSUE DATE
11 SEPTEMBER 2025



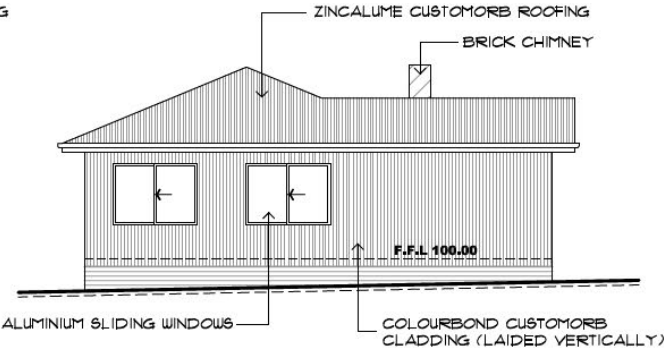
ELEVATION B 1 : 100



ELEVATION D 1 : 100



ELEVATION A 1 : 100



ELEVATION C 1 : 100

CRAIG STEEL
building design
PO BOX 403
Maryborough, Vic, 3465
Ph (03) 54613008 Mobile 0417 389 634

PROPOSED EXTENSION & OUTDOOR
AREA TO EXISTING RESIDENCE FOR :
10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

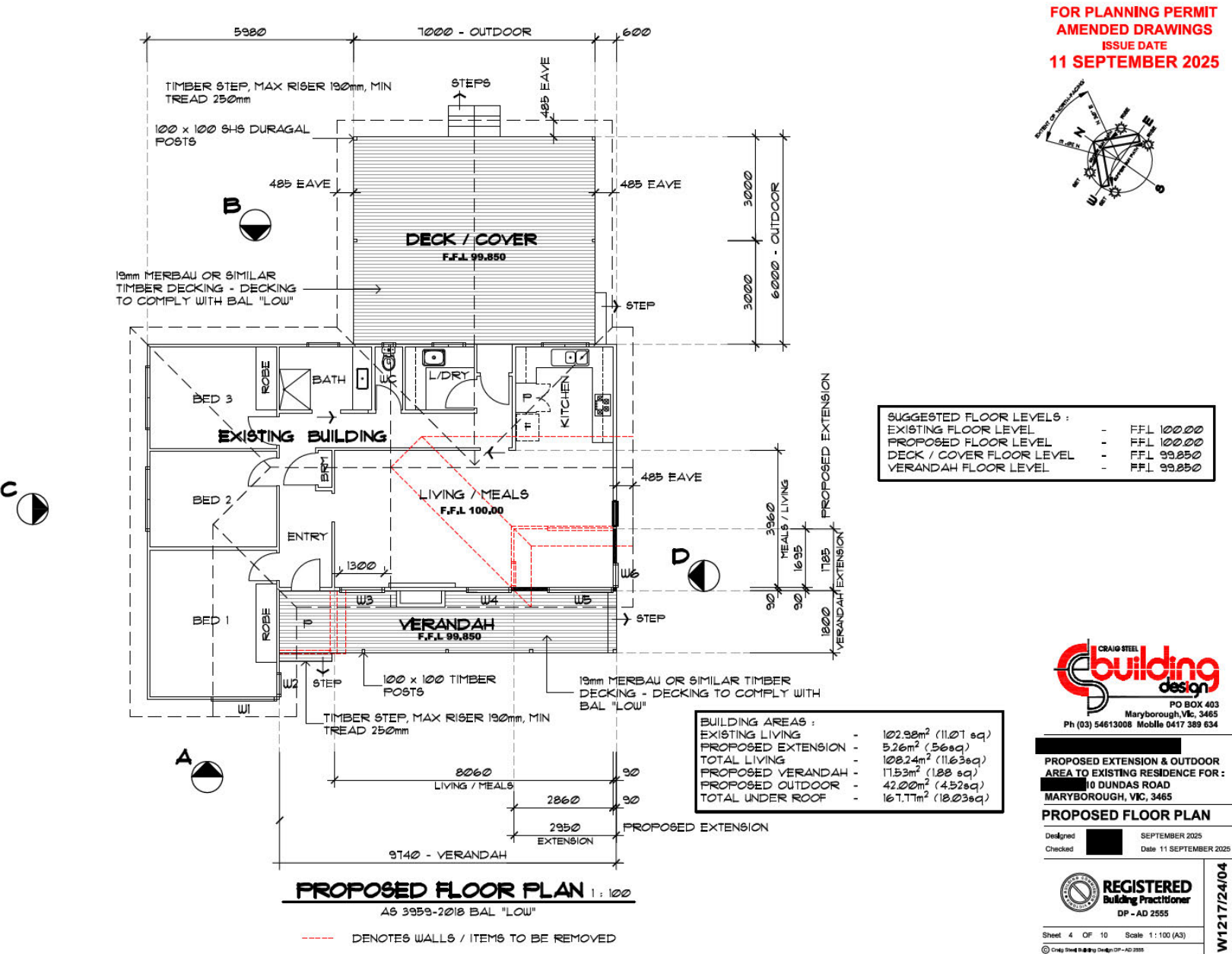
EXISTING ELEVATIONS

Designed SEPTEMBER 2025
Checked Date 11 SEPTEMBER 2025

REGISTERED
Building Practitioner
DP - AD 2555

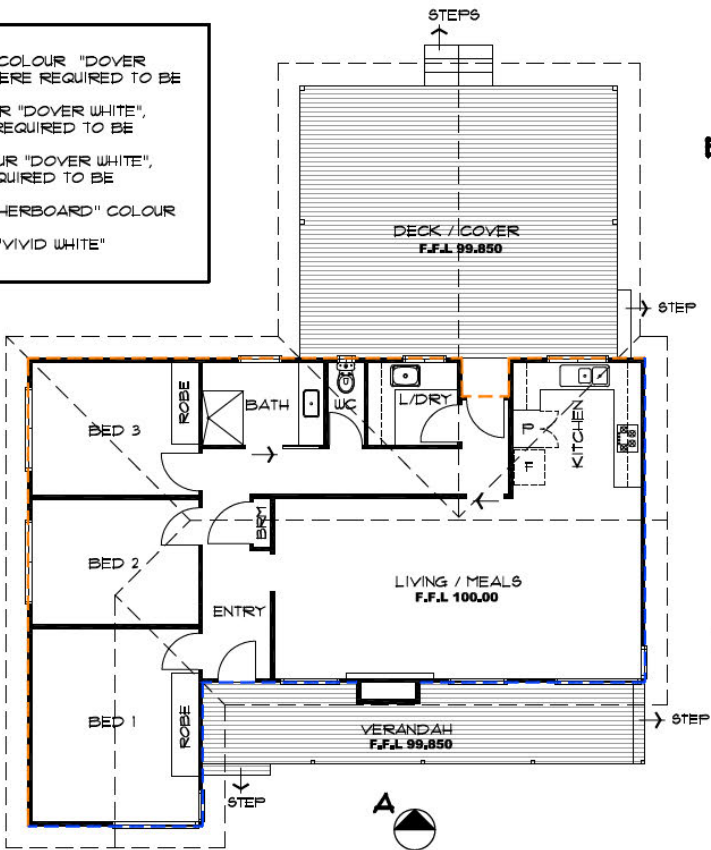
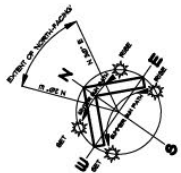
Sheet 3 OF 10 Scale 1 : 100 (A3)
© Craig Steel Building Design DP - AD 2555

W1217/24/03



COLOUR THEME : ROOFING	- COLOURBOND CUSTOMORB COLOUR "DOVER WHITE, EXISTING ROOFING WHERE REQUIRED TO BE REMOVED AND REPLACED.
SPOUTING	- COLOURBOND QUAD COLOUR "DOVER WHITE", EXISTING SPOUTING WHERE REQUIRED TO BE REMOVED AND REPLACED
FASCIA	- COLOURBOND METAL COLOUR "DOVER WHITE", EXISTING FASCIA WHERE REQUIRED TO BE REMOVED AND REPLACED
EXTERNAL CLADDING	- JAMES HARDIE "LINEA WEATHERBOARD" COLOUR "TERRACE WHITE"
WINDOWS	- ALUMINIUM AWNING COLOUR "VIVID WHITE"
EXTERNAL TIMBER WORK	- COLOUR "TERRACE WHITE"

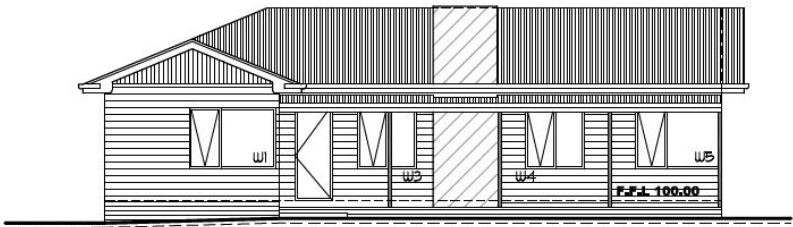
FOR PLANNING PERMIT
AMENDED DRAWINGS
ISSUE DATE
11 SEPTEMBER 2025



- EXISTING COLOURBOND CUSTOMORB CLADDING TO REMAIN
- EXISTING PINE WEATHERBOARDS TO BE REMOVED, NEW JAMES HARDIE "LINEA WEATHERBOARDS" INSTALLED

OVERALL FLOOR PLAN 1 : 100
AS 3959-2018 BAL "LOW"

BUILDING AREAS :	
EXISTING LIVING	- 102.98m ² (11.07 sq)
PROPOSED EXTENSION	- 5.26m ² (.56sq)
TOTAL LIVING	- 108.24m ² (11.63sq)
PROPOSED VERANDAH	- 17.53m ² (1.88 sq)
PROPOSED OUTDOOR	- 42.00m ² (4.52sq)
TOTAL UNDER ROOF	- 167.77m ² (18.03sq)



STREET ELEVATION



PROPOSED EXTENSION & OUTDOOR
AREA TO EXISTING RESIDENCE FOR :
10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

OVERALL FLOOR PLAN

Designed SEPTEMBER 2025
Checked Date 11 SEPTEMBER 2025




Sheet 5 OF 10 Scale 1 : 100 (A3)
© Craig Steel Building Design DP - AD 2555

W1217/24/05

FOR PLANNING PERMIT
AMENDED DRAWINGS
ISSUE DATE
11 SEPTEMBER 2025

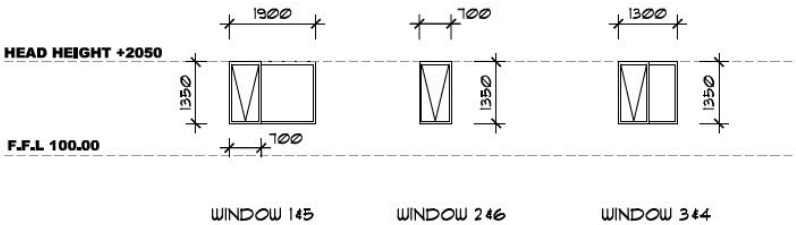
WINDOW SCHEDULE (BAL "LOW")					
WINDOW No	LOCATION	WINDOW SIZE (d x w)	WINDOW TYPE	QTY	TIMBER LINTEL SIZE
W1	BED 1	1350 x 1900	ALUMINIUM AWNING WINDOW - SINGLE GLAZED (SIZE TO MATCH EXISTING)	1	
W2	BED 1	1350 x 700	ALUMINIUM AWNING WINDOW - SINGLE GLAZED (SIZE TO MATCH EXISTING)	1	
W3	LIVING / MEALS	1350 x 1300	ALUMINIUM AWNING WINDOW - SINGLE GLAZED (SIZE TO MATCH EXISTING)	1	
W4	LIVING / MEALS	1350 x 1300	ALUMINIUM AWNING WINDOW - SINGLE GLAZED (SIZE TO MATCH EXISTING)	1	
W5	LIVING / MEALS	1350 x 1900	ALUMINIUM AWNING WINDOW - SINGLE GLAZED (SIZE TO MATCH EXISTING)	1	
W6	LIVING / MEALS	1350 x 700	ALUMINIUM AWNING WINDOW - SINGLE GLAZED (SIZE TO MATCH EXISTING)	1	

ALL ALUMINIUM WINDOWS AND DOOR FRAMES TO BE ALUMINIUM IMPROVED.
ALL OPENABLE PORTIONS OF WINDOWS TO BE PROVIDED WITH SCREENS. ALL
SCREENS TO BE MAXIMUM APERTURE OF 2mm, MADE FROM CORROSION RESISTANT
STEEL BRONZE OR ALUMINIUM

SD  - DENOTES SMOKE DETECTORS, MUST COMPLY WITH AS 3786 AND BE
CONNECTED TO MAINS POWER, WHERE THERE IS MORE THAN 1 ALARM,
SMOKE DETECTORS TO BE INTERCONNECTED, PROVIDE BATTERY
BACKUP
REFER NCC 2022 - 9.5

ALL WINDOW FRAMES AND GLAZING TO COMPLY WITH BAL "LOW" (AS 3959)

GLAZING NOTES :
GLAZING, INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE
AND THICKNESS TO COMPLY WITH THE NCC VOLUME 2 SECTION 3.6 FOR CLASS
1 AND 10 BUILDINGS WITH A DESIGN WIND SPEED OF NOT LESS THAN N3.



ROOFING / BARKING DETAILS
- ALL ROOFING TO BE COLOURBOND CUSTOMORB (NO COMBUSTIBLE)
- ROOF BARKING TO BE LOCATED UNDER THE ROOFING BATTENS, ALL GAPS
AND CRACKS TO COMPLY WITH AS 3959
ALTERNATE ROOF BARKING DETAILS
ROOF BARKING MAY BE PLACED OVER THE ROOFING BATTENS WHEN USING 300mm
WIDE FOIL BACKED INSULATION TO ALL GUTTER LINES, INCLUDING RIDGE, VALLEYS
ETC TO PREVENT GAPS GREATER THAN 3mm



PROPOSED EXTENSION & OUTDOOR
AREA TO EXISTING RESIDENCE FOR :
10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

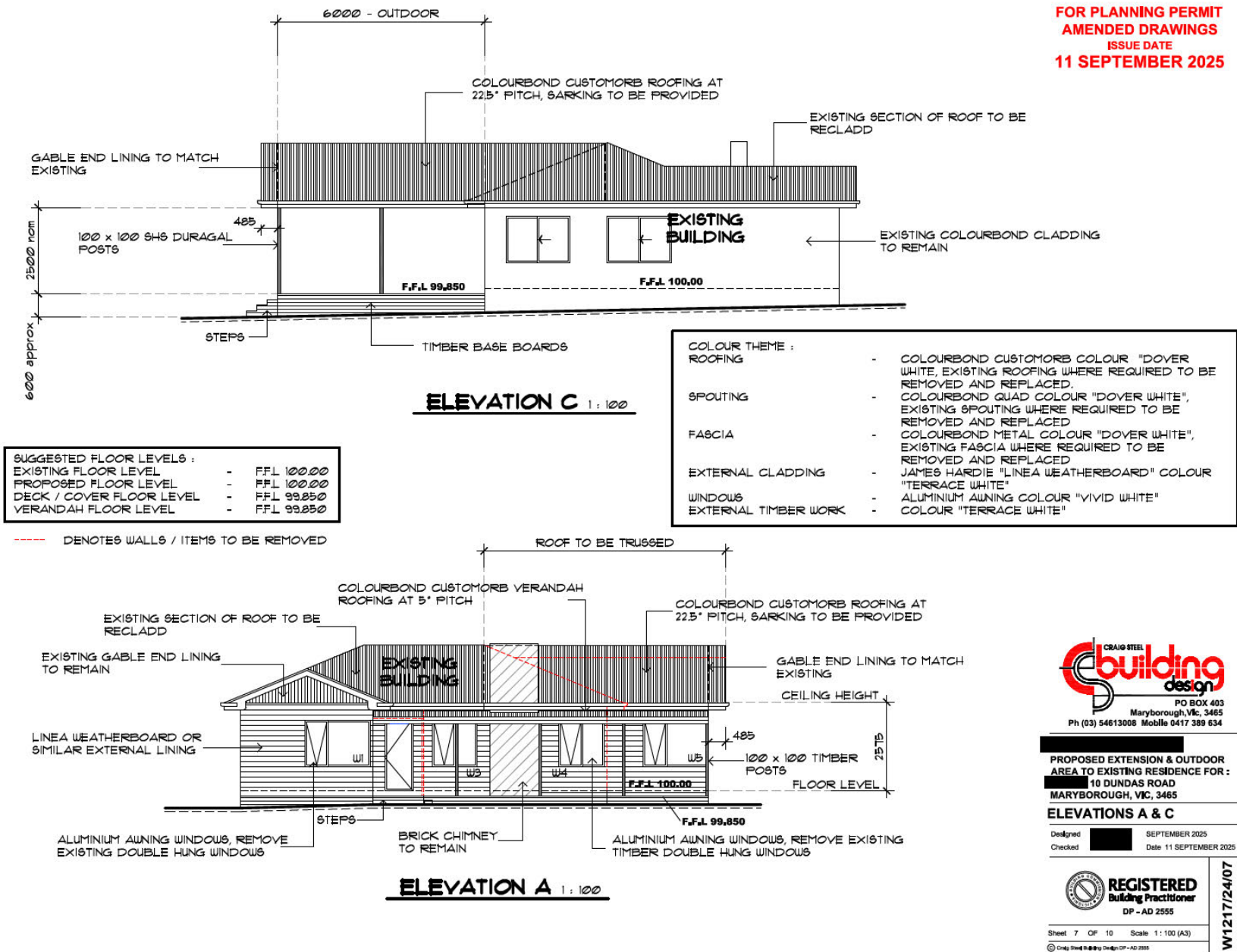
WINDOW DETAILS

Designed SEPTEMBER 2025
Checked Date 11 SEPTEMBER 2025

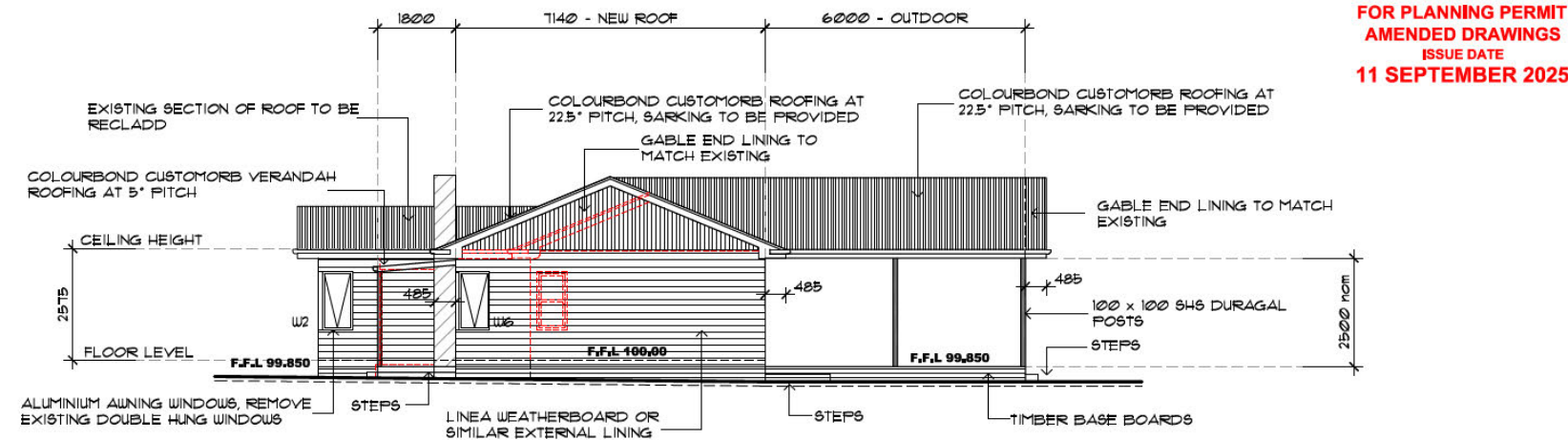


Sheet 6 OF 10 Scale 1 : 100 (A3)
© Craig Steel Building Design DP - AD 2555

W1217/24/06



FOR PLANNING PERMIT
AMENDED DRAWINGS
ISSUE DATE
11 SEPTEMBER 2025

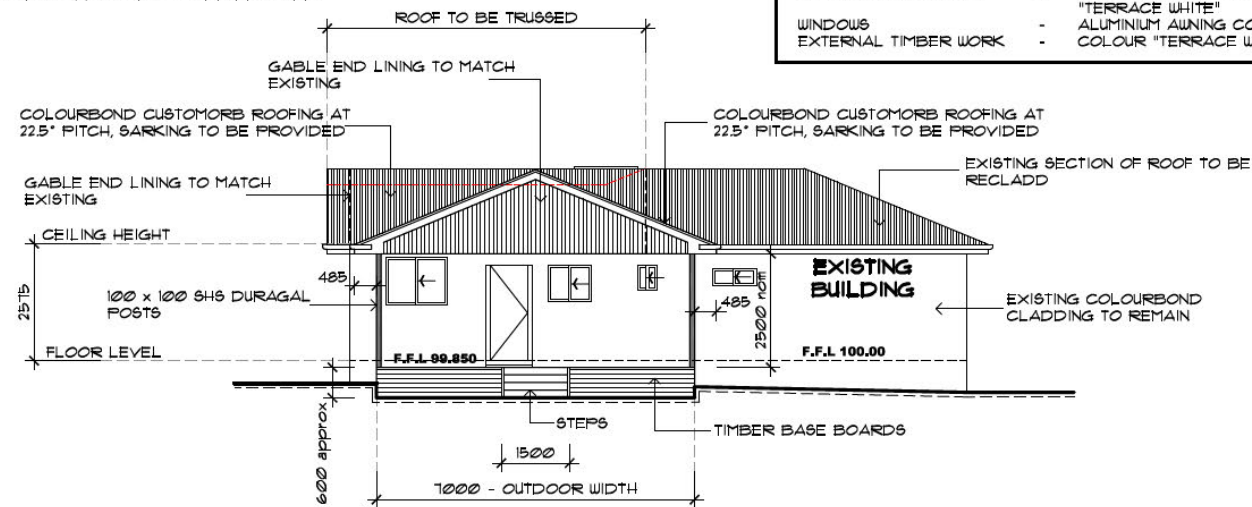


ELEVATION D 1 : 100

SUGGESTED FLOOR LEVELS :	
EXISTING FLOOR LEVEL	- FFL 100.00
PROPOSED FLOOR LEVEL	- FFL 100.00
DECK / COVER FLOOR LEVEL	- FFL 99.850
VERANDAH FLOOR LEVEL	- FFL 99.850

--- DENOTES WALLS / ITEMS TO BE REMOVED

COLOUR THEME :	
ROOFING	- COLOURBOND CUSTOMORB COLOUR "DOVER WHITE", EXISTING ROOFING WHERE REQUIRED TO BE REMOVED AND REPLACED.
SPOUTING	- COLOURBOND QUAD COLOUR "DOVER WHITE", EXISTING SPOUTING WHERE REQUIRED TO BE REMOVED AND REPLACED
FASCIA	- COLOURBOND METAL COLOUR "DOVER WHITE", EXISTING FASCIA WHERE REQUIRED TO BE REMOVED AND REPLACED
EXTERNAL CLADDING	- JAMES HARDIE "LINEA WEATHERBOARD" COLOUR "TERRACE WHITE"
WINDOWS	- ALUMINIUM AWNING COLOUR "VIVID WHITE"
EXTERNAL TIMBER WORK	- COLOUR "TERRACE WHITE"



ELEVATION B 1 : 100

CRAIG STEEL
building design
PO BOX 403
Maryborough, VIC, 3465
Ph (03) 54613008 Mobile 0417 389 634

PROPOSED EXTENSION & OUTDOOR
AREA TO EXISTING RESIDENCE FOR :
10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

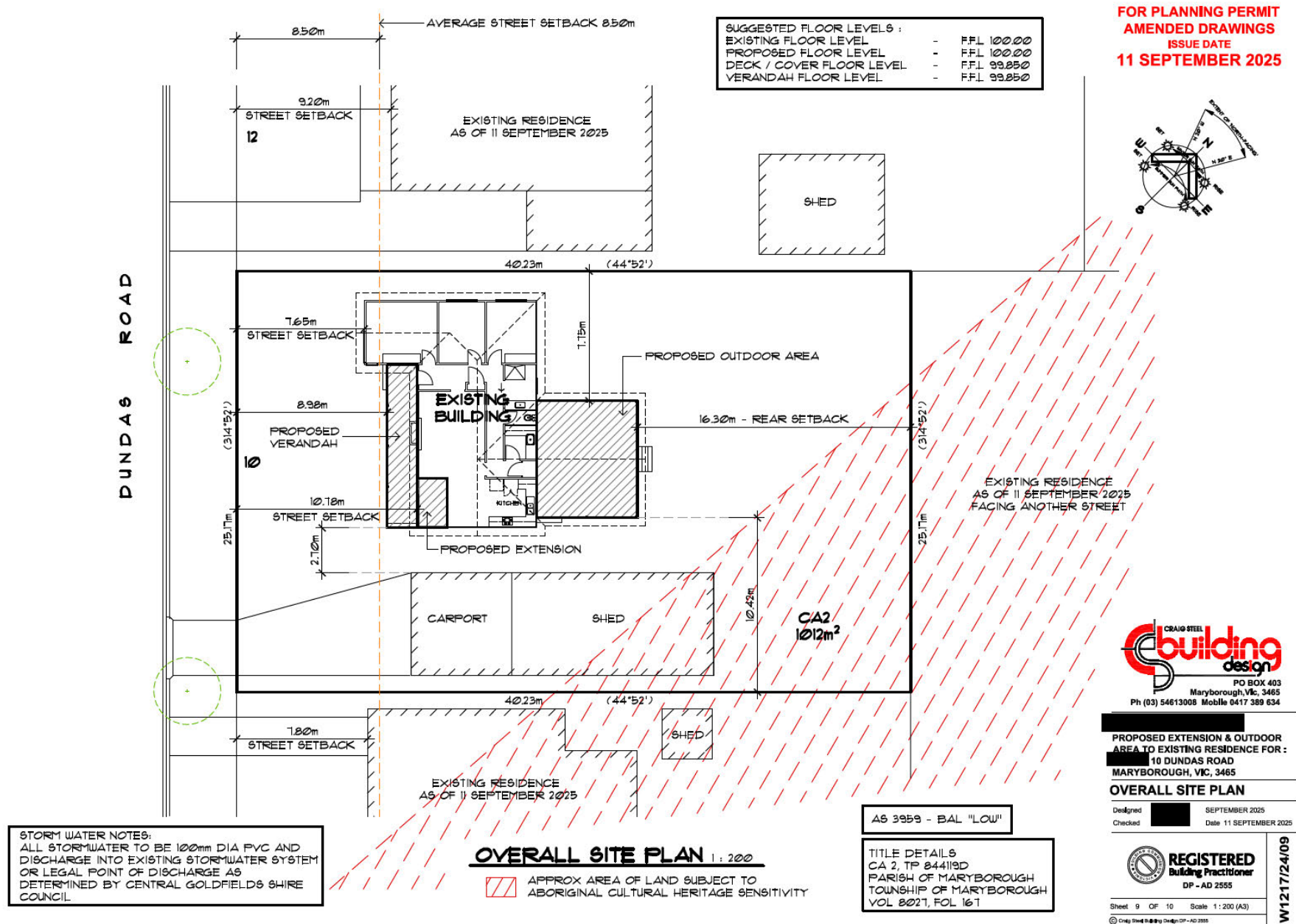
ELEVATIONS B & D

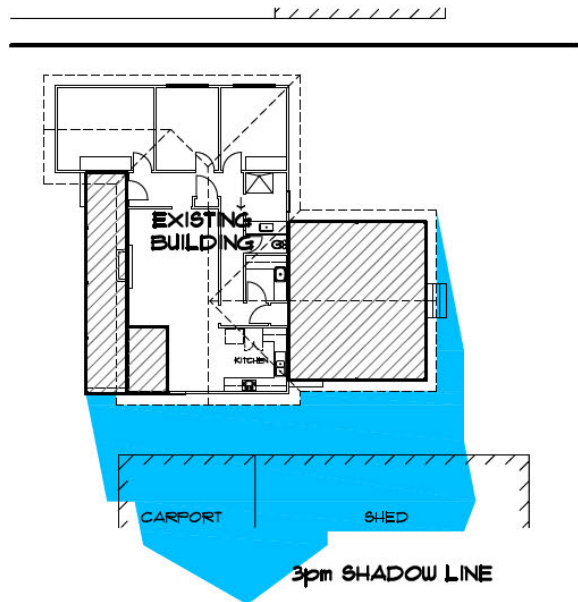
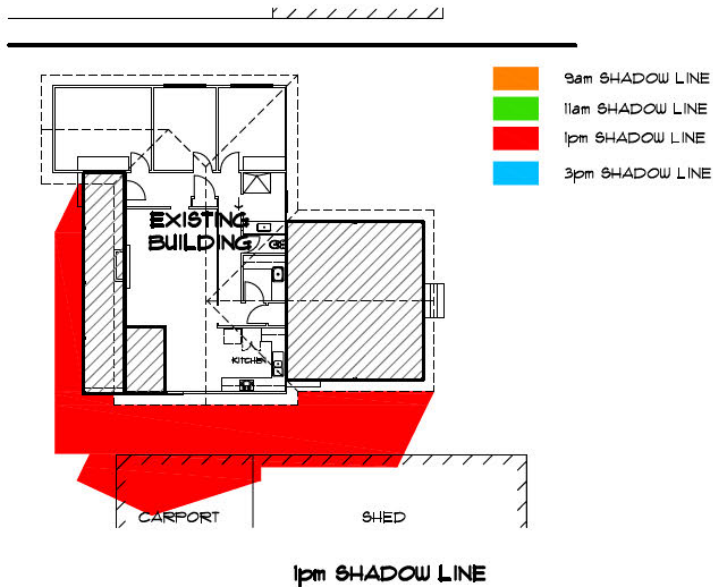
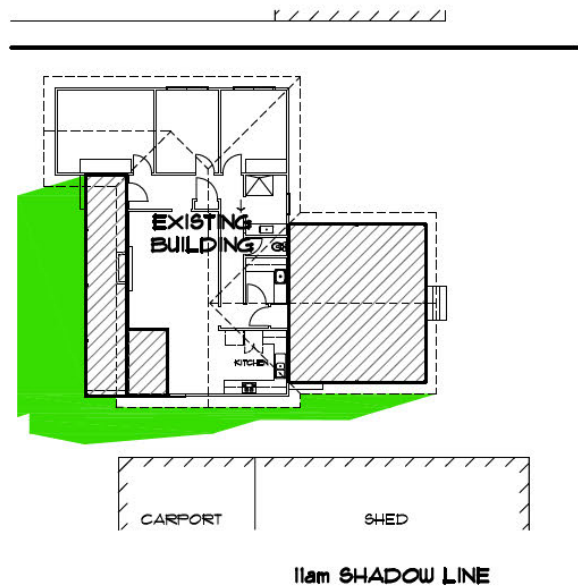
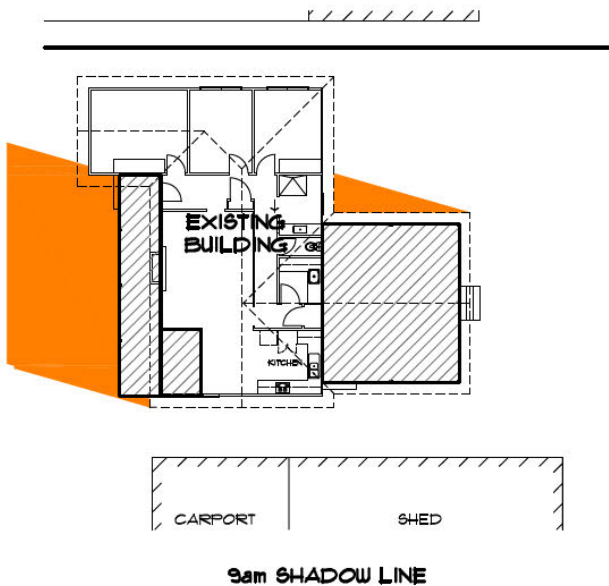
Designed SEPTEMBER 2025
Checked Date 11 SEPTEMBER 2025

REGISTERED
Building Practitioner
DP - AD 2555

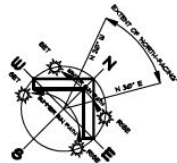
Sheet 8 OF 10 Scale 1 : 100 (A3)
© Craig Steel Building Design DP - AD 2555

W1217/24/08





FOR PLANNING PERMIT
AMENDED DRAWINGS
ISSUE DATE
11 SEPTEMBER 2025



CRAIG STEEL
building
design
PO BOX 403
Maryborough, Vic, 3465
Ph (03) 54613008 Mobile 0417 389 634

PROPOSED EXTENSION & OUTDOOR
AREA TO EXISTING RESIDENCE FOR :
10 DUNDAS ROAD
MARYBOROUGH, VIC, 3465

SHADOW DETAILS

Designed SEPTEMBER 2025
Checked Date 11 SEPTEMBER 2025

REGISTERED
Building Practitioner
DP - AD 2555

Sheet 10 OF 10 Scale 1:200 (A3)
© Craig Steel Building Design DP - AD 2555

W1217/24/10

EXTENT



MARYBOROUGH HERITAGE REVIEW

VOLUME 1: FINDINGS AND RECOMMENDATIONS

Prepared for Central Goldfields Shire Council

November 2023



SYDNEY
MELBOURNE
BRISBANE
HOBART



Document information

Extent Heritage project no.:	0322174
Client:	Central Goldfields Shire and Department of Transport and Planning
Project:	Maryborough Heritage Review
Author(s):	Michelle Bashta, Corinne Softley, Leo Martin, Vivian Lu, Benjamin Petkov, Larika Desai, Isobel Hartley, Reuel Balmadres

Document Control

Version	Internal reviewer	Date	Review type
Draft 01	Corinne Softley	19.10.2023	QA
Final Draft 01	Michelle Bashta	1.11.2023	QA

EXTENT HERITAGE PTY LTD
ABN 24 608 666 306
ACN 608 666 306
accounts@extent.com.au
extent.com.au

SYDNEY
Level 3/73 Union Street
Pyrmont NSW 2009
T 02 9555 4000

MELBOURNE
Level 1, 52 Holmes Street
Brunswick East VIC 3057
T 03 9388 0622

BRISBANE
Level 2, 109 Edward Street
Brisbane QLD 4000
T 07 3051 0171

HOBART
Level 3, 85 Macquarie Street
Hobart TAS 7000
T 03 6144 5880

Copyright and moral right

Historical sources and reference materials used in the preparation of this report are acknowledged and referenced in figure captions or in text citations.

Unless otherwise specified in the contract terms for this project Extent Heritage Pty Ltd

- Vests copyright of all material produced by EXTENT HERITAGE PTY LTD (but excluding pre-existing material and material in which copyright is held by a third party) in the client for this project (and the client's successors in title);
- Retains the use of all material produced by Extent Heritage Pty Ltd for this project for professional presentations, academic papers or publications.

Table of Contents

Executive Summary 1

1. Introduction 3

 1.1. Project brief 3

 1.2. Study area 5

 1.3. Project objectives 1

 1.4. Limitations 1

 1.5. Authorship 1

 1.6. Terminology 2

 1.7. Abbreviations 4

2. Methodology 6

 2.1. Best practice resources 6

 2.2. Stage 1: Review and recommendations 6

 2.3. Stage 2: Citation preparation 9

 2.4. Stage 2: Guidelines 15

3. Brief History of Maryborough 16

4. Recommendations 20

 4.1. Retain in HO (with revised citations/boundaries) 21

 4.2. Remove from the HO 29

 4.3. Further investigations and next steps 35

5. References 41

Appendix A – Stage 1 Review and Recommendations Report 43

EXECUTIVE SUMMARY

Project Overview

Extent Heritage Pty Ltd ('Extent Heritage') was commissioned by the Department of Environment, Land, Water and Planning ('DELWP') (now Department of Transport and Planning, 'DTP') to prepare a Heritage Review of the HO206 Maryborough Heritage Area ('Heritage Review') on behalf of the Central Goldfields Shire ('the Council'). The Heritage Review is split into two parts; a review of all places within HO206, with a particular focus on the eight new precincts recommended in a 2005 Review previously prepared by Rowe and Jacobs, and the preparation of new statements of significance, citations and supporting documentation for heritage places identified within HO206.

The first component of the Heritage Review involved the preparation of a Stage 1 Review and Recommendations Report outlining proposed heritage places within the HO206 study area. The second component of the Heritage Review involved the preparation of new statements of significance and citations for proposed heritage places within the HO206 study area, as well as the preparation of heritage design guidelines and permit exemptions to inform decision making by Council's statutory team.

Volume 1 of this report provides an explanation of the key findings and recommendations of the Heritage Review, as well as the approach and methodology used in its preparation. Volume 2 of this report provides a copy of all the citations prepared for this study. Volume 3 includes the design guidelines and permit exemptions.

Key Findings and recommendations

Stage 1 – Review of HO206 Maryborough Heritage Area and 2005 findings

The following key changes have been recommended to the HO206 study area:

- The findings of the 2005 Review are generally supported, and the division of HO206 into eight (8) smaller precincts for inclusion in the Heritage Overlay will improve the management of Maryborough's heritage.
- Places that do not fit neatly within the eight (8) recommended precincts but warrant heritage protection should be captured under the Heritage Overlay as additional precincts, individual places or group listings.

Maryborough Stage 2 – Citations and supporting documentation

Citations were prepared for the following number of heritage places that are proposed for inclusion on the Heritage Overlay:

- Nine (9) precincts;
- Two (2) group/serial listings; and

- Seven (7) individual places.

The following supporting documentation was prepared:

- Central Goldfields: Heritage Design Guidelines
- Maryborough Heritage Overlay Exemptions

1. INTRODUCTION

1.1. Project brief

Extent Heritage Pty Ltd ('Extent Heritage') was commissioned by the Department of Environment, Land, Water and Planning ('DELWP') (now Department of Transport and Planning, 'DTP') to prepare a Heritage Review of the HO206 Maryborough Heritage Area ('Heritage Review') on behalf of the Central Goldfields Shire ('the Council').

The current extent of the HO206 Maryborough Heritage Area ('the study area') is the result of the amalgam of eleven (11) precinct areas identified and documented in the 1992 Maryborough Heritage Study (Bick, Kellaway, Milner & Patrick, 1992). HO206 was incorporated into the new format planning scheme in 1999 and has not been updated since its inclusion. A 2005 review of heritage provisions in the shire, Central Goldfields Heritage Review: Stage 1 (Rowe & Jacobs, 2005) ('the 2005 Review') examined the extent of HO206 and noted that not all properties located within the precinct may warrant heritage protection or meet the HERCON significance criteria. This 2005 Review recommended that Council undertake a detailed assessment of HO206 to determine how the Heritage Overlay (HO) should be refined (or removed) and recommended the introduction of eight (8) new precincts to better reflect and protect the heritage significance of these distinct character areas.

The 2005 recommendations were not taken forward by Council and Extent Heritage were engaged to undertake a review of both HO206 and the recommendations contained within the 2005 Review to ensure that appropriate heritage controls are applied through the planning scheme.

1.1.1. Stage 1

The first stage of the Heritage Review involved a comprehensive review of all places within HO206, with a particular focus on the eight new precincts recommended in the 2005 Review. The primary goal of this review process was to determine whether the methodology and recommendations of the 2005 Review are consistent with best practice and with guidance.

This stage was split into several parts:

- Review of existing citation content, curtilage and site gradings for the HO206 Maryborough Heritage Area and the findings detailed in the 2005 Review;
- Physical inspection of all properties within the HO206 Maryborough Heritage Area, with a focus on the eight (8) new precincts recommended in the 2005 Review, and whether alternative and/or additional precinct and individual place boundaries were warranted.
- Community consultation with key stakeholders, including the Maryborough Midlands Historical Society and Central Goldfields Shire Heritage Reference Group.
- Preparation of a Stage 1 Review and Recommendations Report outlining proposed precincts and individual places within the study area, as well as recommendations for the provision of

heritage design guidelines to inform decision making by Council's statutory team. Proposed precincts and individual places within the study area included minor refinements to the eight (8) precincts recommended in the 2005 Review, as well as an additional nine (9) heritage places (either individual sites, precincts or group listings) that could effectively capture places that do not fit neatly within the eight (8) recommended precincts.

1.1.2. Stage 2

The second stage of the Heritage Review involved the preparation of statements of significance and citations for nine (9) precincts, two (2) group listings and seven (7) individual places. This included refined versions of the eight (8) precincts recommended in the 2005 Review, as well as an additional ten (10) heritage places (either individual sites, precincts or group listings). As per the table below, not all of the nine (9) additional places detailed in the Stage 1 Report were taken to the statements of significance and citation stage either as a result of community feedback, research findings and/or scope limitations. Two (2) additional places not detailed in the Stage 1 Review and Recommendations Report were also considered following community feedback.

Table 1. Summary of Stage 2 outcomes,

Place identified in Stage 1 report	Stage 2 outcome
Industrial Precinct	Citation prepared (now Industrial Serial Listing)
Phelan Homes	Further research determined that Phelan Homes were not well represented within HO206. No citation prepared.
Main Drain	Citation prepared
Worsley Cottage	Citation prepared
Loco Shed, load out and water area	Citation prepared, in associated with other relevant railway sites (Railway Precinct)
Railway Precinct	Citation prepared (now Eastern Residential Precinct)
Soldiers Memorial Plot	Removed from Project Scope following feedback from community regarding lack of relevance of this site and its more recent origin.
Residence and Warehouse (St Carlo House / Ellas Crameri and Sons)	Citation prepared
Inkerman Street Precinct	Split into the following citations: <ul style="list-style-type: none"> Former Maryborough Primary School Bristol Hill Corner Store Methodist and Church of Christ churches
Tiverton (Sir Edmund Herring House)*	Citation prepared
Isabella Wharton Homes*	Outside extent of HO206. No citation prepared

*not included in the Stage 1 Report, but considered for Stage 2 after community feedback.

To provide Council with guidance on the scope and character of development that can be supported within the proposed heritage places, Stage 2 also involved the preparation of the following supporting documents:

- Central Goldfields: Heritage Design Guidelines – this document outlines principles around demolition, additions/ alterations and the construction of new built form in relation to sites that are identified as non-significant, contributory and significant.
- Maryborough Heritage Overlay Exemptions – this document established permit exemptions for the proposed heritage places to be included in Central Goldfield's Shire Schedule to the Heritage Overlay, under the provisions of Clause 43.01 Heritage Overlay.

1.2. Study area

HO206 is situated in Central Maryborough and is roughly bound by Gladstone Street to the north-west, Gillies Street to the east and south-east, Clarke Street to the south-west and Lamb Street to the west (Figure 1).

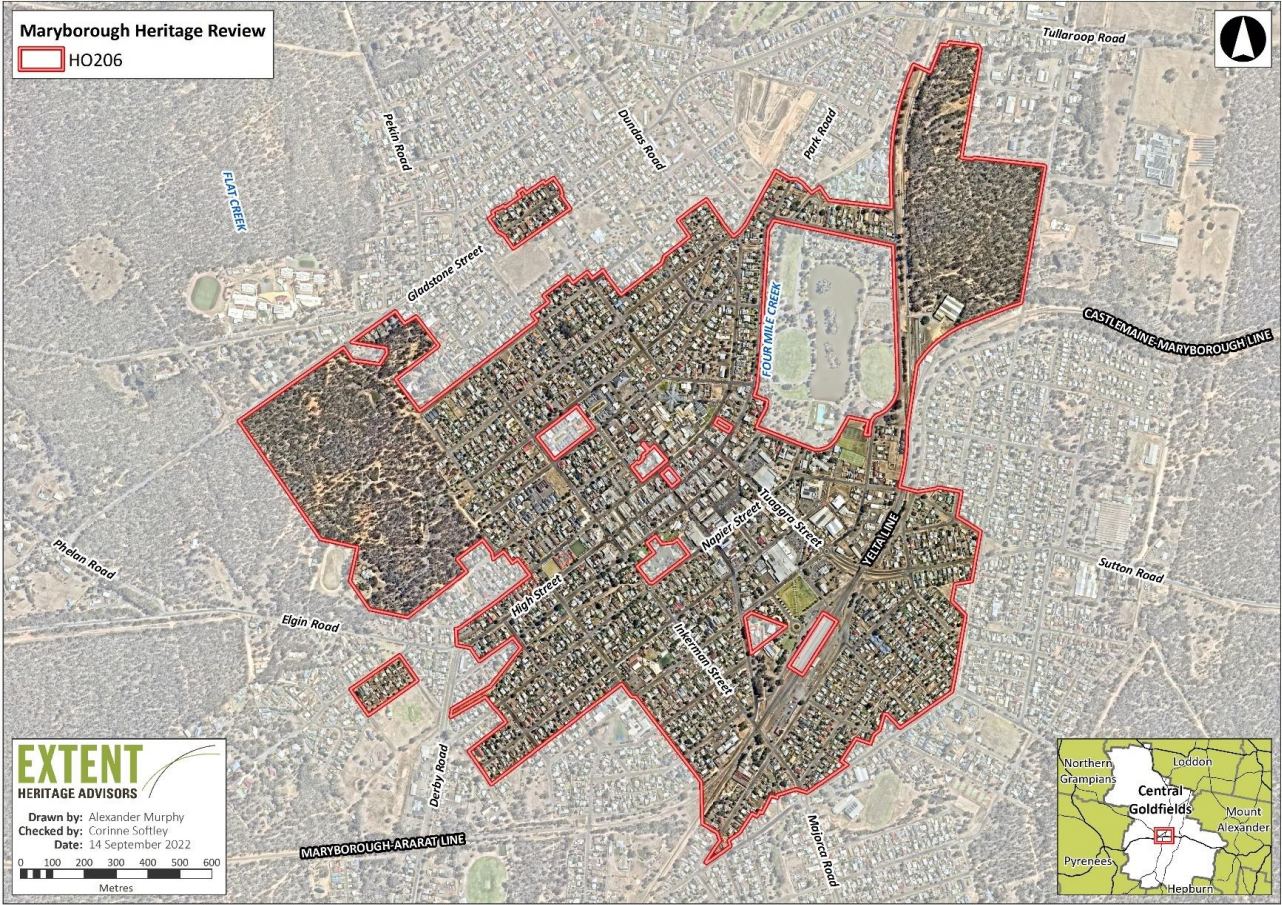


Figure 1: Study area for the Heritage Review of the HO206 Maryborough Heritage Area.

1.3. Project objectives

As per the tender brief the objectives of the project were as follows:

The Maryborough Heritage Review project aims to assess the heritage significance of local heritage places in the study area and prepare a suite of policy and guidance documents to identify and protect the heritage values of central Maryborough and guide appropriate future development in Maryborough's heritage areas.

The Service Provider will prepare up-to-date supporting documentation and heritage planning provisions to guide best-practice heritage conservation and development. The Service Provider will:

- *Examine the significance and extent of Heritage Overlay 206: Maryborough Heritage Area,*
- *Review existing heritage controls,*
- *Prepare heritage citation documentation, heritage design guidelines, local planning policy and ordinance*, to enhance the heritage protection framework for Maryborough in the Central Goldfields Planning Scheme.*

The Maryborough Heritage Review study (the study) is to be carried out in two stages.

*not included in Extent Heritage commissioned scope.

1.4. Limitations

The study was subject to the following limitations:

- Extent Heritage has not been engaged to assess HO places outside of the HO206 study area;
- Extent Heritage has not been engaged to assess historical archaeology or Aboriginal cultural heritage places and values;
- Access to all heritage places was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study;
- Condition and site modification assessment for each place was limited to a visual inspection undertaken from the public domain;
- The historical information provided in the citations are provided only to the extent necessary to enable assessment and should not be considered an exhaustive history of each place.

1.5. Authorship

The consultants at Extent Heritage involved in the preparation of the heritage review and their respective roles are outlined below.

Staff	Role
Dr Leo Martin, Associate Director	Quality assurance review, fieldwork and drafting Stage 1 report
Corinne Softley, Senior Associate	Project management, quality assurance review, drafting design guidelines and permit exemptions
Michelle Bashta, Associate	Project lead Project management, quality assurance review, drafting permit exemptions and design guidelines, fieldwork, heritage assessment, drafting heritage review report
Vivian Lu, Heritage Advisor	Research, fieldwork, heritage assessment, drafting design guidelines, drafting heritage review report
Benjamin Petkov, Heritage Advisor	Research, fieldwork and heritage assessment
Larika Desai, Research Assistant	Research, fieldwork and heritage assessment
Isobel Hartley, Research Assistant	Research support
Reuel Balmadres, Graduate Architect	Physical analysis
Alexander Murphy, GIS Specialist	Mapping
Sarah Gyngell, GIS Specialist	Mapping

1.6. Terminology

The terminology in this report follows definitions presented in the *Burra Charter* (Australia ICOMOS 2013). Article 1 provides the following definitions:

Place means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the *place* itself, its *fabric*, setting, *use*, *associations*, *meanings*, records, *related places* and *related objects*. Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including elements, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of a *place* and its *setting*. Maintenance is to be distinguished from repair which involves *restoration* or *reconstruction*.

Preservation means maintaining a *place* in its existing state and retarding deterioration.

Restoration means returning a *place* to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.

Reconstruction means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material.

Adaptation means changing a *place* to suit the existing *use* or a proposed use.

Use means the functions of a *place*, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.

Compatible use means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the immediate and extended environment of a *place* that is part of or contributes to its *cultural significance* and distinctive character.

Related place means a *place* that contributes to the *cultural significance* of another place.

The terminology in this study also follows the definitions below, adopted from Heritage Victoria's reference materials and other guidance documents:

- DELWP (Department of Environment, Land, Water and Planning). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP.

Contributory Element: Contributory Elements are those that contribute to the significance of the Heritage Place. These should be identified in the Statement of Significance or other heritage assessment document, such as a heritage study. Note that some Heritage Places covered by an Individual HO surrounded by an Area HO may be Contributory Elements, while others might not.

Group, Thematic and Serial Listings: Places that share a common history and/or significance but which do not adjoin each other or form a geographical grouping may be considered for treatment as a single heritage place. Each place that forms part of the group might share a common statement of significance; a single entry in the Heritage Overlay Schedule and a single Heritage Overlay number.

- Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment.

Heritage Overlay: A Heritage Overlay is applied to a Heritage Place to conserve its cultural heritage values.

Heritage Place: Under the Victoria Planning Provisions, a Heritage Place can be a: building (e.g. house, shop, factory etc.), structure (e.g. memorial, bridge or tram poles), features (e.g. mine shafts and mullock heaps, street gutters and paving), private garden or public park, single tree or group of trees such as an avenue, group of buildings or sites, landscape, geological formation, fossil site, or habitat or other place of natural or Cultural Heritage Significance and its associated land.

Heritage Study: A Heritage Study is a research and survey based document prepared by a suitably qualified professional that identifies Heritage Places of Cultural Heritage Significance based on a defined range of criteria.

Individual HO: An Individual HO is a single Heritage Place that has Cultural Heritage Significance independent of its context. Some places covered by an Individual HO also make a contribution to the significance of an Area HO. There should be a Statement of Significance for every Individual HO.

Non-contributory Element: Elements that do not make a contribution to the significance of the Heritage Place covered by an HO.

Statement of Significance: A guide to understanding the Cultural Heritage Significance of a place. These are often divided into three parts: what, how and why.

- DELWP (Department of Environment, Land, Water and Planning). August 2017. Review of Heritage Provisions in Planning Schemes. Advisory Committee Report. The Way Forward for Heritage. Melbourne: DELWP.

Threshold: The level of cultural significance that a place must have before it can be recommended for inclusion in the planning scheme. The question to be answered is 'Is the place of sufficient import that its cultural values should be recognised in the planning scheme and taken into account in decision-making?' Thresholds are necessary to enable a smaller group of places with special architectural values, for example, to be selected out for listing from a group of perhaps hundreds of places with similar architectural values.

1.7. Abbreviations

A number of abbreviations have been used for the Heritage Review. These are outlined below.

Table 2. Summary of abbreviations.

Abbreviation	Full term
C	Contributory

Abbreviation	Full term
HERCON	National Heritage Convention
HO	Heritage Overlay
NC	Non-contributory
S	Significant
VHD	Victorian Heritage Database
VHI	Victorian Heritage Inventory
VHR	Victorian Heritage Register

2. METHODOLOGY

2.1. Best practice resources

This heritage review was prepared by consulting with best practice documentary resources, including the following:

- Australia ICOMOS. 2013. The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance. Burwood, Vic.: Australia ICOMOS.
- Department of Environment, Land, Water and Planning (DELWP). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP.
- Heritage Victoria. 2010. Heritage Victoria Model Consultants Brief for Heritage Studies. Melbourne: DELWP.
- Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment
- Planning Panels Victoria. 2018. *Heritage Issues Summary of Panels Reports*. Melbourne: Department of Transport and Planning.

2.2. Stage 1: Review and recommendations

The following tasks were undertaken to support stage 1.

2.2.1. Review of existing documentation

The following documentation pertaining to HO206 was reviewed during the preliminary phase:

- Bick, C., Kellaway, C., Milner, P., and Patrick, J. 1992. Maryborough Heritage Study 1992. Maryborough: Central Goldfields Shire.
- Rowe, David and Jacobs, Wendy. 2005. Central Goldfields Shire Heritage Review Stage 1. Maryborough: Central Goldfields Shire.
- Jean, Amanda. 2014. Heritage Strategy 2014-2018. Maryborough: Central Goldfields Shire.

Particular attention was paid to the content in Rowe, David and Jacobs' Central Goldfields Shire Heritage Review Stage 1 (2005), which reviewed the existing HO206 extent and recommended the introduction of eight (8) new precincts to better reflect and protect the heritage significance of properties within HO206. The proposed areas were as follows:

- Barkly Street Heritage Area
- Civic Square Heritage Area
- Maryborough Commercial Heritage Area
- Princes Park Heritage Area
- Phillips Gardens Heritage Area

- Palmerston Street Heritage Area
- Raglan Street Heritage Area
- Bristol Hill Heritage Area

2.2.2. Preliminary research

Following a review of existing documentation, preliminary research was undertaken to clarify both the overarching history and context of the HO206 area, as well as the site-specific history of each of the eight precincts proposed in the 2005 Review. This research was critical for understanding the threshold for inclusion on the Heritage Overlay in the Central Goldfields Shire, and also provided high-level indicators for potential recommended changes to the 2005 Review. More targeted research was also undertaken following the fieldwork phase (see Part 2.2.3) to clarify any observations made during physical inspections.

Primary and secondary sources were reviewed from organisations such as the State Library of Victoria, Public Records Office Victoria, Landata, the National Trust of Australia (Victoria), and the Maryborough Midlands Historical Society. Two local history books, *Against the Odds: Maryborough 1905-1961* (Osborn 2005) and *Maryborough: A Social History 1854-1905* (Osborn and DuBourg 2011) were also extensively consulted. Information that was unearthed from these resources included early maps, photographs, subdivision plans, architectural plans, newspaper articles, and rate books.

2.2.3. Fieldwork

Following a review of relevant documentation and preliminary research, Extent Heritage physically inspected all properties within the HO206 Maryborough Heritage Area from the 7 November 2022 – 11 November 2022, and from 27 January – 3 February 2023. All inspections were undertaken from the public domain on foot.

This component of the project provided Extent Heritage with an opportunity to ground truth the findings of the 2005 report, and identify whether alternative and/or additional precinct and individual place boundaries are warranted. Specific attention was paid to the proposed eight (8) precincts, as well as places of potential heritage value that do not fall within any of the proposed precinct areas. During fieldwork, every property within the HO206 boundary was recorded digitally on 'Fulcrum', a field data collection application. Fulcrum includes a series of customised dropdown menus and an open field text, as well as GIS mapping.

2.2.4. Community consultation

To ensure that the views and local knowledge of the Maryborough community were considered throughout the duration of the Heritage Review, a Stakeholder Engagement Plan was prepared at the commencement of the project. This plan identified key community stakeholders, methods of engagement and the proposed consultation materials. As per the accepted Stakeholder Engagement Plan, community consultation during Stage 1 involved the following tasks:

- In-person attendance and participation in one (1) Public Information Session on the 10 October 2023. This session provided community members to ask questions, give initial feedback and raise any concerns about the Heritage Review and the eight precincts proposed in the 2005 report.
- Attendance and participation in one (1) consultation session with the Maryborough Midlands Historical Society.
- Online attendance and participation in one (1) Central Goldfields Shire Heritage Reference Group meeting convened by Council on 15 December 2022. This meeting provided members of the Heritage Reference Group the opportunity to give feedback and ask questions on the preliminary Stage 1 Findings proposed by Extent Heritage.
- In-person attendance and participation in one (1) in person Central Goldfields Shire Heritage Reference Group meeting convened by Council on 1 February 2023. This meeting provided members of the Heritage Reference Group the opportunity to give feedback and ask questions on revised Stage 1 Findings proposed by Extent Heritage.

Detailed notes were taken at each meeting, and any provided feedback was subsequently reviewed and considered for integration into the Stage 1 report.

2.2.5. Stage 1 findings

Following the desktop review, fieldwork components and community consultation, Extent Heritage prepared the Stage 1 findings as a Review and Recommendations Report. This report was presented to Council officers and Central Goldfields Shire Heritage Reference Group meeting for feedback before being finalised.

The summary findings of the review of the existing HO206 area were as follows:

Extent Heritage has reviewed the extent of HO206 focussing, in particular, on the recommendations contained in the 2005 Review. While our conclusions differ in some respects, overall, we consider that the methodology adopted in the 2005 Review is consistent with best practice and with guidance that has been developed by Planning Panels Victoria (PPV), particularly their Heritage Issues Summaries.

Extent Heritage conducted fieldwork from 7 November 2022 – 11 November 2022 and again from 27 January 2023 – 3 February 2023 and can confirm that we are also generally supportive of the 2005 Review's conclusions and, in particular, the recommendation to break HO206 into smaller discrete precincts. The smaller precincts will allow for the preparation of more relevant and refined citations and encourage the better management of significant fabric. We also note that each precinct identified generally demonstrates "a consistency of built form" and is "able to be described in a statement of significance", the test applied by PPV in Yarra C173. Each precinct proposed in the 2005 Review is also considered to represent "a distinguishable, cohesive unit..." again in accordance with the test outlined in the PPV report for Yarra C177.

The above notwithstanding, Extent's has proposed some changes to the precincts identified in the 2005 Review. The changes reflect:

- ♦ The loss or alteration of some fabric.

- ◆ A re-appraisal of the significance of other areas of HO206 excluded from the 2005 recommended precincts;
- ◆ A greater focus on ensuring a consistency of function within each respective precinct; and
- ◆ Improvements in mapping accuracy

This Review and Recommendations Report detailed the following key recommendations:

- Conclusions in relation to each of the eight (8) precincts identified in the 2005 Review, including GIS mapping.
- In line with discussions with Council and DELWP and the provision of additional funding, the identification of an additional ten (10) places (either individual sites, precincts or group listings) for heritage protection that do not fall within the proposed either (8) precincts and would otherwise be removed from the Heritage Overlay.
- Recommendations for Stage 2 identification, assessment and documentation.
 - Barkly Street Heritage Area (now Former Gaol Precinct)
 - Civic Square Heritage Area (now Civic Square Precinct)
 - Maryborough Commercial Heritage Area (now Commercial Precinct)
 - Princes Park Heritage Area (now Park Road Precinct)
 - Phillips Garden Heritage Area (now Western Residential Precinct)¹
 - Palmerston Street Heritage Area (now Palmerston Street Precinct)
 - Raglan Street Heritage Area (now Raglan Street Precinct)
 - Bristol Hill Heritage Area (now Bristol Hill (individual place))

2.3. Stage 2: Citation preparation

The tasks involved in the Stage 2 assessments were as follows:

2.3.1. Research

Detailed research was undertaken to clarify the history and context of each of the proposed heritage places. This research was critical for updating and elaborating on the information already provided in the 1992 and 2005 reports, and formed the basis for the preparation of the citations.

As with the Stage 1 preliminary research phase, primary and secondary sources were reviewed from organisations such as the State Library of Victoria, Public Records Office Victoria, Landata, the National Trust of Australia (Victoria), and the Maryborough Midlands Historical Society. Two local history books, *Against the Odds: Maryborough 1905-1961* (Osborn 2005) and *Maryborough: A Social History 1854-1905* (Osborn and DuBourg 2011) were also extensively consulted. Information that

¹ Note Phillips Garden to be retained as an individual HO (HO170).

was unearthed from these resources included early maps, photographs, subdivision plans, architectural plans, newspaper articles, and rate books.

In addition to this, the HERMES Orion database and existing heritage review reports in comparable Victorian goldfields townships were also utilised for sourcing comparative examples. To assist with the description and identification of architectural styles and materials, generalist architectural resources available online and in the Extent Heritage office library were also utilised as needed to inform the physical and comparative analyses.

2.3.2. Comparative analysis

Comparative analysis is an important part of the heritage assessment process, allowing one to properly benchmark the place against similar examples to establish its relative significance.

The key resources utilised for the comparative analysis included:

- Heritage Victoria database, HERMES Orion;
- Central Goldfields Shire Planning Scheme – Schedule to the Heritage Overlay;
- Previous heritage studies prepared for the Central Goldfields Shire, Mount Alexander Shire, Rural City of Ararat and the City of Ballarat;
- Victorian Heritage Database (VHD); and
- Generalist architectural resources available online and in the Extent Heritage office library, in particular *A Pictorial Guide to Identifying Australian Architecture: Styles and Terms from 1788 to the Present* (Apperly, Irving and Reynolds 1989)

The comparative analysis considered four broad categories for assessment, as follows:

- Comparison by type (HERCON criteria A, B, and D): This compares places based on their specific class or typology and the importance of that factor in their historical, rarity or representative value.
- Comparison by style/design (HERCON criteria B, E, and F): This compares places based on architectural style and detailing, including consideration of the integrity.
- Comparison by architect/designer (HERCON criteria B and H): This compares places to other places of the same type (ideally) of place by the same architect.
- Comparison by historical narrative (HERCON criteria A): This compares places to other places with the same thematic context.

2.3.3. Assessment of each place against the HERCON criteria

Each existing place and precinct was assessed for its potential to meet one or more of the HERCON criteria. The Heritage Victoria standard brief for heritage studies states that 'It is expected that a heritage study will include a holistic assessment in terms of place types, periods and heritage values. Where a place is identified, a coherent and coordinated assessment against the HERCON criteria is expected' (DELWP 2010, 2). The National Heritage Convention (HERCON) criteria are defined as follows:

Criterion A: Importance to the course or pattern of our cultural or natural history (*historical significance*).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (*rarity*).

Criterion C: Potential to yield information that will contribute to understanding our cultural or natural history (*research potential*).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (*representativeness*).

Criterion E: Importance in exhibiting particular aesthetic characteristics (*aesthetic significance*).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (*technical significance*).

Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (*social significance*).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (*associative significance*). (DELWP 2018, 1–2)

It should be noted that meeting more than one criterion does not make a place more significant, it simply means that the place is significant for a variety of reasons.

Where a criterion was met, the reasons for this were provided as relevant to the specific criterion being addressed. The results of the tabulated assessment were used to formulate the full Statement of Significance and to confirm the level of significance.

2.3.4. Revised statements of significance

Following an assessment of each place against the HERCON criteria, an updated Statement of Significance was developed following guidelines of Planning Practice Note 1 which states:

What is significant?

This section should be brief, usually no more than one paragraph or a series of dot points. There should be no doubt about the elements of the place that are under discussion. The paragraph should identify features or elements that are significant about the place, for example, house, outbuildings, garden, plantings, ruins, archaeological sites, interiors as a guide to future decision makers. Clarification could also be made of elements that are not

significant. This may guide or provide the basis for an incorporated plan which identifies works that may be exempt from the need for a planning permit.

How is it significant?

Using the heritage criteria above, a sentence should be included to the effect that the place is important. This could be because of its historical significance, its rarity, its research potential, its representativeness, its aesthetic significance, its technical significance and/or its associative significance. The sentence should indicate the threshold for which the place is considered important.

Why is it significant?

The importance of the place needs to be justified against the heritage criteria listed above. A separate point or paragraph should be used for each criterion satisfied. The relevant criterion reference should be inserted in brackets after each point or paragraph, for example '(Criterion G)'. (DELWP 2018, 2)

2.3.5. Assessment of Schedule to the Heritage Overlay controls

Outbuildings or fences not exempt under Clause 43.01-4 (Fence/outbuilding controls)

In some cases, fences, garages or other outbuildings on heritage sites were deemed to be significant in relation to the wider site through archival research and physical analysis. In this scenario, the fence or outbuilding was usually identified as contemporary with the original building and of high integrity. Where these controls were applied, the statement of significance clearly identified the particular structure under "What is significant?" and why it is important under "Why is it significant?" (DELWP 2018, 4). It is important to note that demolition or construction of most fencing and outbuildings triggers the need for a planning permit in the HO, though the planning application is usually exempt from public notice requirements or appeal rights. 'Turning on' or triggering fence or outbuilding controls removes the exemption from notice and appeal rights, giving neighbours the right to object and appeal a planning application of this type. Within this heritage review, fence/outbuilding controls were applied to Park Road Precinct, Palmerston Street Precinct, Worsley Cottage, Eastern Residential Precinct, Residence and Warehouse (St Carlo House / Ellas Crameri and Sons) and Tiverton.

Tree controls

Where tree controls were applied to a heritage place, an individual tree, collection of trees or a garden was deemed to be significant in relation to the wider site through archival research and physical analysis. The plantings were generally contemporary with the structures on site, pre-dated the structures and were representative of an earlier phase of development, or contributed to the heritage setting of the place. Where tree controls were applied, the statement of significance clearly identified the particular tree or trees under "What is significant?" and why they are important under "Why is it significant?" (DELWP 2018, 4). Within this heritage review, tree controls have only been

applied in a limited way to Bristol Hill, Raglan Street Precinct, Park Road Precinct, Palmerston Street Precinct, Eastern Residential Precinct and Tiverton (Sir Edmund Herring House).

Internal controls

Internal controls are required to be applied sparingly and on a selective basis to special interiors of high interest. In terms of this heritage review, no places were selected for internal controls.

Paint controls

Paint controls were applied in instances where an original colour scheme was identified as extant through archival research. Where paint controls were applied, the statement of significance clearly identified the relevant element – either the colour scheme or material to be protected – under “What is significant?” and why it is important under “Why is it significant?” (DELWP 2018, 4). In terms of this heritage review, paint controls were applied to the Civic Precinct and Residence and Warehouse (St Carlo House / Ellas Crameri and Sons).

Prohibited uses may be permitted

It is possible to make a prohibited use permitted at a specific place under Clause 43.01. This can aid in encouraging adaptive reuse of heritage structures. The Planning Practice Note requires that this provision is applied to individual places only and not large areas (precincts). In terms of this heritage review, this provision was applied to the Former Primary School and Industrial Serial Listing.

Solar energy system controls

Solar energy system controls are a relatively recent introduction to the Schedule to Clause 43.01 and at the time of the review the Planning Practice Note had not been updated to provide direction on the application of these controls. Where solar energy controls are turned on a permit is required for a visible solar energy system unless specified as exempt. In the case of the heritage review, solar energy system controls were applied to all precincts and individual places where visible roof forms contribute to the significance of the place.

2.3.6. Curtilage assessment

Heritage curtilages are generally formed by the property boundary for individual places. For more complex sites that are surrounded by non-contributory fabric such as the Maryborough Knitting Mills Tower, the curtilage does not include the whole site but instead is limited to include the key elements of significance at the place.

Where precincts intersected directly with existing VHR places these were generally included in the precinct curtilage as Significant places as these places were also considered to contribute to the heritage significance of the overall precinct (in particular the Civic Square Precinct, Commercial Precinct and Maryborough Railway Complex). The exception to this approach was the Park Road Precinct which excluded Princes Park (VHR H1880) as the residential character of the precinct was distinct from the park itself.

2.3.7. Revised precinct designations

The designation of properties within precincts formed part of the citation preparation process. In accordance with per best practice detailed in PPN01, properties were identified as either significant, contributory or non-contributory to the precinct. The following definitions were adopted:

Significant: The place is individually important at the local level, and a heritage place in its own right. It is of historical, aesthetic, scientific, social or spiritual significance to the municipality. Significant places are typically externally intact, and/or has notable features associated with the place type, use, period, method of construction, siting or setting. When located in a heritage precinct a significant heritage place can make an important contribution to the precinct.

Contributory: The place is important for its contribution to a heritage precinct. It is of historical, aesthetic, scientific, social and/or spiritual significance to the heritage precinct. Contributory places are typically externally intact but may have visible changes which do not detract from the contribution to the heritage precinct.

Non-Contributory: The place does not make a contribution to the cultural significance or historic character of the heritage precinct.

2.3.8. Group/serial listings

In some instances, a series of thematically related heritage places that did not fall within the same physical location were proposed for inclusion on the Heritage Overlay as a group. As per PPN01, places that share a common history and/or significance, but which do not adjoin each other or form a geographical grouping may be considered for treatment as a single heritage place. In these cases, it is appropriate that each place that forms part of the group might share a common statement of significance; a single entry in the Heritage Overlay schedule and a single Heritage Overlay number. This approach was applied to the following places:

- Industrial Serial Listing – an industrial area with a shared history on either side of the railway line;
- Methodist and Church of Christ Churches – a group of religious buildings within the original township boundary that illustrate the early settlement of the Maryborough township following the onset of the Gold Rush, and the initial growth of various Christian denominations.

2.3.9. Mapping

Revised curtilage maps were prepared using ArcGIS mapping software. This included precinct designation maps.

2.4. Stage 2: Guidelines

To provide Council with practical guidance on the scope and character of development that can be supported within the proposed heritage places, two supporting documents were prepared as part of Stage 2. The tasks included design guidelines and permit exemptions which are described in the sections below.

2.4.1. Design guidelines

In order to provide Council with guidance on the scope and character of development that can be supported within heritage areas, a series of heritage design guidelines were prepared to help inform decision making by Council's statutory planning team. The guidelines consist of a short and accessible document that outlines principles around demolition, additions/ alterations and the construction of new built form in relation to sites that are identified as non-significant, contributory and significant. In formulating this, Extent Heritage drew from existing Heritage Design Guidelines prepared by other municipalities (both urban and regional), and adapted them to suit the Central Goldfields Shire context. It is intended that this document also be used to guide decision making as it applies to heritage in the wider municipality.

2.4.2. Permit Exemptions

To provide an effective and time efficient way of managing the proposed heritage places, a document establishing permit exemptions for the proposed heritage places to be included in Central Goldfield's Shire Schedule to the Heritage Overlay, under the provisions of Clause 43.01 Heritage Overlay, was prepared. This document outlines general exemptions in relation to repairs and maintenance, new roofing, painting, minor modifications and alterations, as well as specific exemptions relating to the Main Drain, Bristol Hill and the Maryborough Railway Complex.

3. BRIEF HISTORY OF MARYBOROUGH

The Review also included primary and secondary research into the developmental history of Maryborough. Initially, this was carried out by Extent Heritage to assess whether the 2005 recommendations adequately captured the cultural history of the township and/or if there were any gaps. This research was collated into a generic history and is included below. This history is also reproduced in the citations for each heritage place identified in the Review.

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn 2011, 15–16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bully Gully rock wells and in the Carisbrook stone arrangements (Osborn 2011, 15–16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Jeffrey 1934; Osborn 2011, 2).

The area's sparse pastoral character was transformed once more following the colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Geelong Advertiser and Intelligencer 10 October 1855, 2; Osborn 2011, 30). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery and recreation reserve by 1856 (Gilks 1856). Meanwhile, the miners themselves resided in designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street (Gilks 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens- however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Maryborough and Dunolly Advertiser 15 Sep 1862, 2; Osborn 2011, 67).

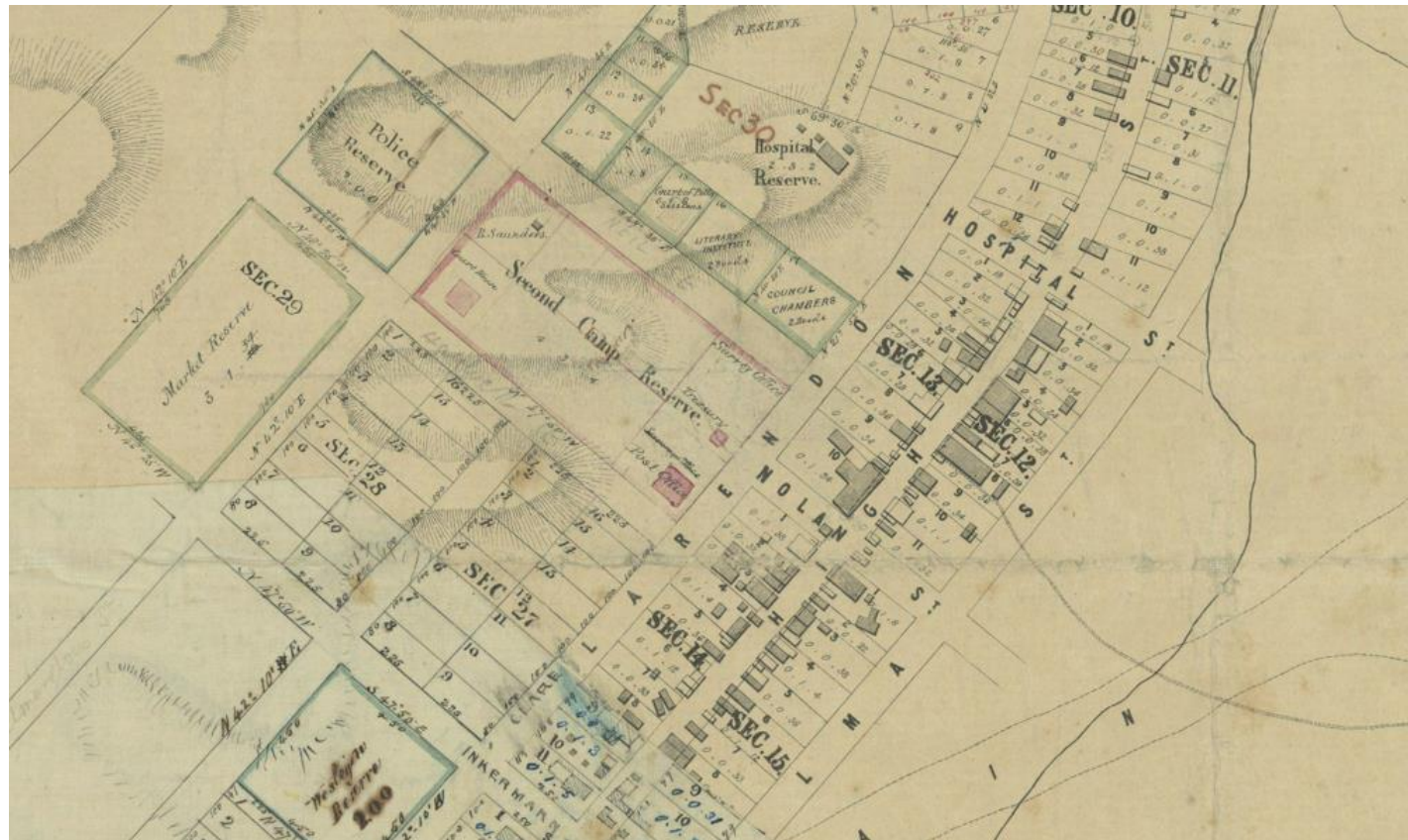


Figure 2. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FEB86214ED5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146/VHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174/VHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134/VHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (Gordon & Gotch 1903; Osborn 1995, 126).

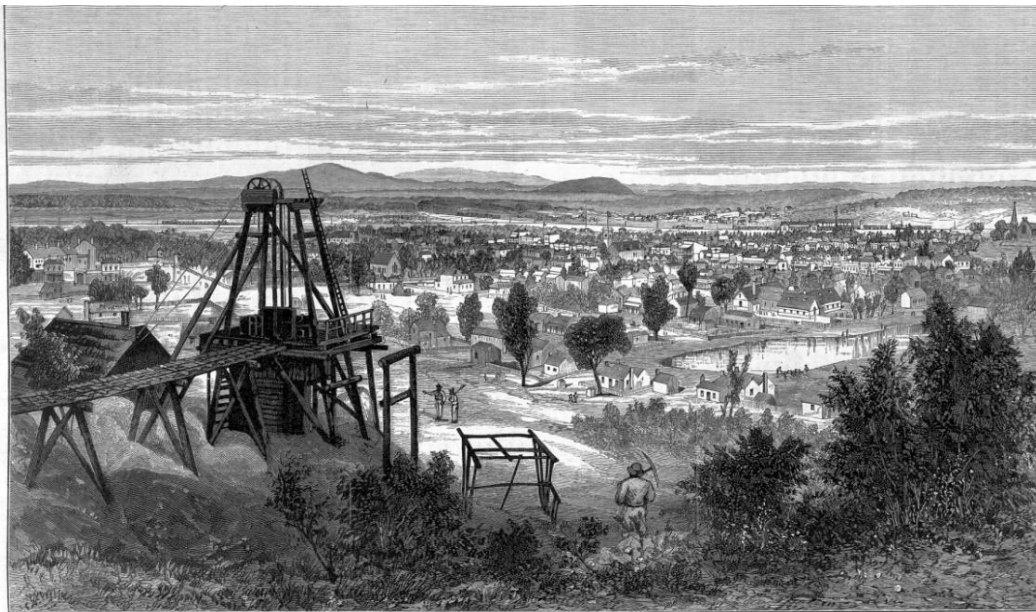


Figure 3. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196–198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Pty Ltd (The Argus 6 Sep 1944, 3; Construction 5 March 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the

Midlands' by 1950 (The Herald 2 Jun 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

4. RECOMMENDATIONS

As depicted in Figure 4 below, the majority of places currently included within the HO206 Heritage area will remain protected either under existing individual HOs, refined versions of the eight (8) precinct areas recommended in the 2005 Review, or under the additional three (3) group listings and seven (7) individual places proposed in this Review. The Heritage Overlay will be removed from several areas currently included within the HO206, which were determined to be of no or limited heritage value, of low integrity and/or physically isolated from the proposed precinct areas. A list of the individual properties proposed to be removed from the HO is provided at section 4.2.

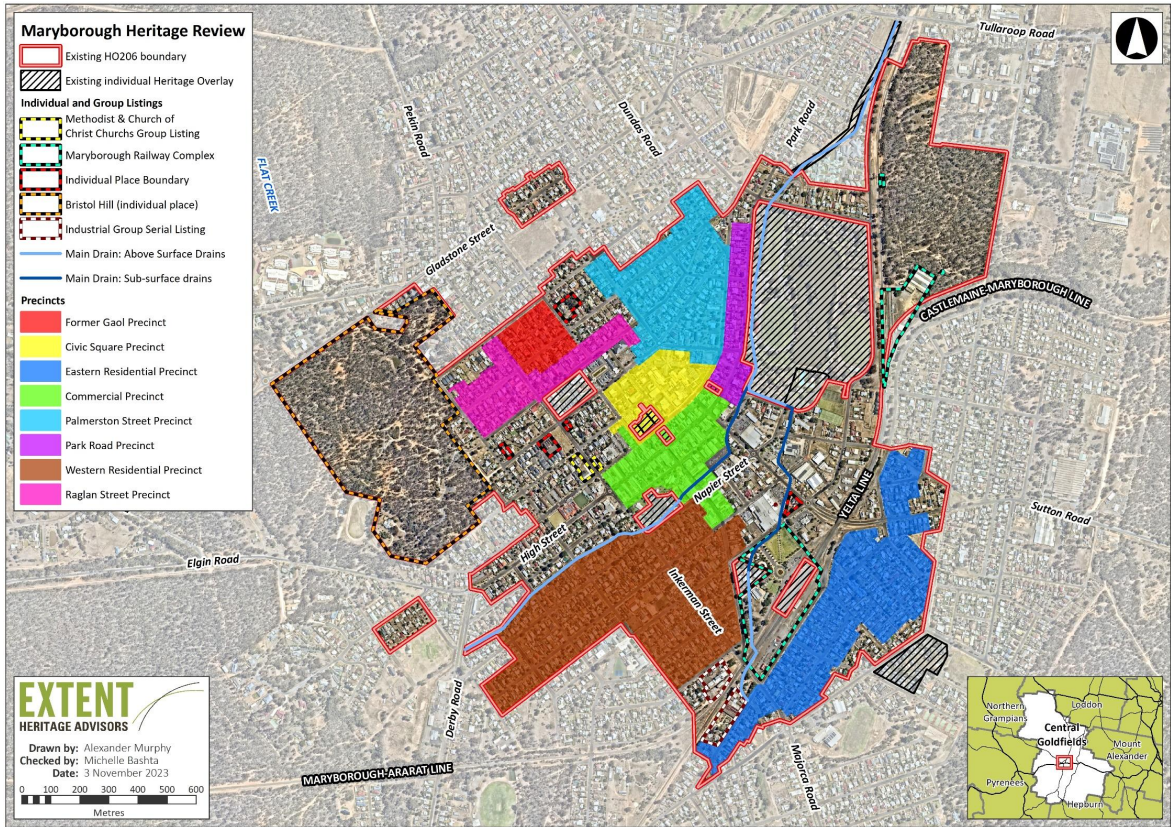






Figure 4. Map showing existing HO206 area, existing individual HO places, and precinct areas, group listings and individual places proposed in this Review.



4.1. Retain in HO (with revised citations/boundaries)


4.1.1. Precincts

Name	Address(es)	Recommendation	Image
Former Gaol Precinct	18-30 Goldsmith Street, 5-17 Peel Street, 21-35 & 24-36 Barkly Street, 92-102 Inkerman Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> 21 Barkly Street; 23 Barkly Street; 25 Barkly Street; 31 Barkly Street; 17 Peel Street; and 26 Barkly Street. Apply solar energy system controls. 	 <p>Figure 5. Former Gaol Building.</p>
Eastern Residential Precinct	4-42 & 5-37 Argyle Road, 1-5 & 8 Carrick Street, 2-12 & 3 Casey Street, 1-25 & 12-30 Fraser Street, 4-12 Golden Wattle Drive, 3-23 & 4 Higham Street, 1-31 & 4-38 Logan Street, 2-4 & 5-7 Lowenstein Street, 1-13 & 2-8 Majorca Road, 2-18 & 3-15 McKean Street, 146-220 & 153-159 Railway Street, 2-28 & 11-29 Sutton Road, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply tree controls to: <ul style="list-style-type: none"> Flowering gum (<i>Eucalyptus ficifolia</i>), flame tree (<i>Brachychiton populneus</i>), peppercorn (<i>Schinus areira</i>) and Chinese windmill palm (<i>Trachycarpus futurei</i>) at 4 Argyle Road; Mature eucalypt at 7 Lowenstein Street; Chinese windmill palm (<i>Trachycarpus futurei</i>) at 17 Fraser Street; 	 <p>Figure 6. Houses along Railway Street.</p>


Name	Address(es)	Recommendation	Image
		<ul style="list-style-type: none"> • Peppercorn (<i>Schinus areira</i>) at 18 Fraser Street; • Two peppercorn (<i>Schinus areira</i>); and • Five pomegranate (<i>Punicea granatum</i>) trees at 159 Railway Street <ul style="list-style-type: none"> ▪ Designate the following outbuildings as not exempt under Clause 43.01: <ul style="list-style-type: none"> • 7 Lowenstein Street; and • 10 Lowenstein Street. ▪ Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> • 4 Argyle Road. ▪ Apply solar energy system controls. 	
Raglan Street Precinct	2-4 & 3 Peel Street, 11-57 & 54-58 Raglan Street, 82-88 Kars Street, 1-19 & 2-20 Barkly Street, 83-101 & 86-90 Inkerman Street, Maryborough	<ul style="list-style-type: none"> ▪ Include on the Heritage Overlay as a Precinct. ▪ Apply tree controls to: <ul style="list-style-type: none"> • The five mature English Oaks (<i>Quercus Robur</i>) along Raglan Street reserve. • The Moreton Bay Fig (<i>Ficus macrophylla</i>) at 35 Raglan Street]. ▪ Apply solar energy system controls. 	 <p>Figure 7. View along Raglan Street.</p>


Name	Address(es)	Recommendation	Image
Civic Square Precinct	Palmerston Street, 9 Nightingale Street, Florence Lane, 67-71 Clarendon Street, 1-9 & 2-10 Neill Street, Havelock Street, 1/14, 14-20 Campbell Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply external paint controls. Apply solar energy system controls. 	 <p>Figure 8. Maryborough Civic Square.</p>
Commercial Precinct	1-3 Havelock Street, Clarendon Street, 57-177A & 70-212 High Street, 54-86 Alma Street, Napier Street, 39 -45 Tuaggra Street, 35-95 & 38-108 Nolan Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply solar energy system controls. 	 <p>Figure 9. Intersection of High Street and Nolan Street.</p>
Park Road Precinct	1-2 Nightingale Street, 1-55 Park Road, 183-195 & 232-244 High Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply tree controls to: <ul style="list-style-type: none"> Palms (<i>Phoenix canariensis</i>) at 15, 37 and 39 Park Road Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> 7 Park Road Apply solar energy system controls. 	 <p>Figure 10. View along Park Road.</p>

Name	Address(es)	Recommendation	Image
Palmerston Street Precinct	1-21 & 6-18 Dundas Road, 91-109 Clarendon Street, 1-7 & 6-10 Nightingale Street, 1-37 & 6-28 Newton Street, 1-15 & 2-10 Wills Street, 53-75 & 52-78 Barkly Street, 61-71A & 60-62 Raglan Street, 37-69 & 40-62 Palmerston Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply tree controls to: <ul style="list-style-type: none"> Canary Island Palms (<i>Phoenix canariensis</i>) at 97 Clarendon Street, 37 and 41 Palmerston Street, and 3 and 11 Dundas Road; and Mexican Hawthorn tree (<i>Crataegus stipulacea</i>) at 42 Palmerston Street Designate the following fences as not exempt under Clause 43.01: <ul style="list-style-type: none"> 44 Palmerston Street; and 61 Raglan Street Apply solar energy system controls. 	 <p>Figure 11. View along Nightingale Street.</p>
Western Residential Precinct	13-29 Albert Street, 12, 16-24, 15-31 & 32B Brougham Street, 11-85 & 12-86 Burke Street, 18-44 & 23-45 Burns Street, 16 Clarke Street, 24 Hilton Street, 2-44 & 3-49 Inkerman Street, 8-32 & 27-43 Kars Street, 15-65 & 16-86 Napier Street, 3-33 & 24-36 Nolan Street, 12-36 & 19-43 Victoria Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Apply solar energy system controls. 	 <p>Figure 12. Houses along Victoria Street.</p>


Name	Address(es)	Recommendation	Image
Maryborough Railway Complex	27 Station Street, 110A Burns Street and ramp at the corner of Burns Street and Harkness Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Precinct. Permit prohibited uses. 	 <p>Figure 13. Looking towards Maryborough Railway Station.</p>



4.1.2. Group/serial listings



Name	Address(es)	Recommendation	Image
Industrial Serial Listing	36-38 Albert Street, 159, 165 and 167 Railway Street and 96 Burke Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Group Listing. Permit prohibited uses. 	 <p>Figure 14. Patience and Nicholson Ltd Factory.</p>


Name	Address(es)	Recommendation	Image
Methodist and Church of Christ Churches	63-65 Inkerman Street and 49 Clarendon Street, Maryborough.	<ul style="list-style-type: none"> Include on the Heritage Overlay as a Group Listing. Apply solar energy system controls. 	 <p>Figure 15. 63 and 65 Inkerman Street.</p>

4.1.3. Individual places

Name	Address	Recommendation	Image
Bristol Hill	Area bounded by Gladstone Street, Inkerman Lane, Kars Street, Weller Street, Wellington Street, Clarendon Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply tree controls to: <ul style="list-style-type: none"> Eucalyptus trees. Review whether a VHI listing related to the cemetery is warranted. 	 <p>Figure 16. Mine tailings on Bristol Hill.</p>

Name	Address	Recommendation	Image
Main Drain	Central Maryborough	<ul style="list-style-type: none"> Include on the Heritage as an Individual Place, including incorporating the HO158 extension to the north of the HO206 curtilage. No additional controls required. 	 <p>Figure 17. Main Drain within Phillips Gardens.</p>
Worsley Cottage	3 Palmerston Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply tree controls to: <ul style="list-style-type: none"> Mature grapevine and pomegranate tree Designate timber and brick buildings to the rear of the property as not exempt under Clause 41.03-4. Apply solar energy system controls. 	 <p>Figure 18. Worsley Cottage façade and original grapevine.</p>

Name	Address	Recommendation	Image
Residence and Warehouse (St Carlo House / Elias Cramieri and Sons),	9-13 Tuaggra Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Designate front fence as not exempt under Clause 41.03-4. Apply solar energy system controls. 	 <p>Figure 19. St Carlo House / Elias Cramieri and Sons.</p>
Former Primary School	18 Palmerston Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply solar energy system controls. 	 <p>Figure 20. Former Maryborough Primary School 404.</p>
Tiverton (Sir Edmund Herring House)	16 Peel Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply tree controls to: <ul style="list-style-type: none"> Mature ironbark tree (<i>Eucalyptus sideroxylon</i>) Designate outbuildings (detached kitchen building and weatherboard stable) as not exempt under Clause 41.03-4. 	 <p>Figure 21. Tiverton.</p>

Name	Address	Recommendation	Image
		<ul style="list-style-type: none"> Apply solar energy system controls. 	
Briston Hill Corner Store	20 Palmerston Street, Maryborough	<ul style="list-style-type: none"> Include on the Heritage Overlay as an Individual Place. Apply solar energy system controls. 	 <p>Figure 22. Briston Hill Corner Store.</p>

4.2. Remove from the H0

<ul style="list-style-type: none"> 8 Alma Street Maryborough 3465 15 - 17 Alma Street Maryborough 3465 24 Albert Street Maryborough 3465 26 Albert Street Maryborough 3465 28 Albert Street Maryborough 3465 30 Albert Street Maryborough 3465 21 Alma Street Maryborough 3465 26 Alma Street Maryborough 3465 28 Alma Street Maryborough 3465 29 - 36 Alma Street Maryborough 3465 38 - 40 Alma Street Maryborough 3465 42-44 Alma Street Maryborough 3465 45 Alma Street Maryborough 3465 46 Alma Street Maryborough 3465 	<ul style="list-style-type: none"> 58 High Street Maryborough 3465 60 - 64 High Street Maryborough 3465 212 High Street Maryborough 3465 216 High Street Maryborough 3465 6 Higham Street Maryborough 3465 8 -10 Higham Street Maryborough 3465 12 Higham Street Maryborough 3465 14 Higham Street Maryborough 3465 16 Higham Street Maryborough 3465 18 Higham Street Maryborough 3465 25 Higham Street Maryborough 3465 27 Higham Street Maryborough 3465 29 Higham Street Maryborough 3465 2 Holyrood Street Maryborough 3465 4 Holyrood Street Maryborough 3465
---	--

<ul style="list-style-type: none"> ▪ 48 Alma Street Maryborough 3465 ▪ 49 Alma Street Maryborough 3465 ▪ 50 Alma Street Maryborough 3465 ▪ 52 Alma Street Maryborough 3465 ▪ 92 Alma Street Maryborough 3465 ▪ 94 Alma Street Maryborough 3465 ▪ 96 Alma Street Maryborough 3465 ▪ 39 Argyle Road Maryborough 3465 ▪ 44 Argyle Road Maryborough 3465 ▪ 46 Argyle Road Maryborough 3465 ▪ 48 Argyle Road Maryborough 3465 ▪ 145 Avoca Crescent Maryborough 3465 ▪ 40 - 50 Barkly Street Maryborough 3465 ▪ 77 Barkly Street Maryborough 3465 ▪ 33 - 35 Brougham Street Maryborough 3465 ▪ 88-91 Burke Street Maryborough 3465 ▪ 93 Burke Street Maryborough 3465 ▪ 96 Burke Street Maryborough 3465 ▪ 97 Burke Street Maryborough 3465 ▪ 99 Burke Street Maryborough 3465 ▪ 101 Burke Street Maryborough 3465 ▪ 103 Burke Street Maryborough 3465 ▪ 110 Burke Street Maryborough 3465 ▪ 111 Burke Street Maryborough 3465 ▪ 49 Burns Street Maryborough 3465 ▪ 51 Burns Street Maryborough 3465 ▪ 53 Burns Street Maryborough 3465 ▪ 66 Burns Street Maryborough 3465 ▪ 68 Burns Street Maryborough 3465 ▪ 70 Burns Street Maryborough 3465 ▪ 72-84 Burns Street Maryborough 3465 ▪ 88 - 92 Burns Street Maryborough 3465 ▪ 94 Burns Street Maryborough 3465 	<ul style="list-style-type: none"> ▪ 6 Holyrood Street Maryborough 3465 ▪ 8 Holyrood Street Maryborough 3465 ▪ 10 Holyrood Street Maryborough 3465 ▪ 12 Holyrood Street Maryborough 3465 ▪ 14 Holyrood Street Maryborough 3465 ▪ 16 Holyrood Street Maryborough 3465 ▪ 18 Holyrood Street Maryborough 3465 ▪ 20 Holyrood Street Maryborough 3465 ▪ 22 Holyrood Street Maryborough 3465 ▪ 24 Holyrood Street Maryborough 3465 ▪ 26 Holyrood Street Maryborough 3465 ▪ 28 - 30 Holyrood Street Maryborough 3465 ▪ 32 Holyrood Street Maryborough 3465 ▪ 1 Inkerman Street Maryborough 3465 ▪ 51 Inkerman Street Maryborough 3465 ▪ 53 Inkerman Street Maryborough 3465 ▪ 55 Inkerman Street Maryborough 3465 ▪ 57 Inkerman Street Maryborough 3465 ▪ 70 Inkerman Street Maryborough 3465 ▪ 71 Inkerman Street Maryborough 3465 ▪ 73 Inkerman Street Maryborough 3465 ▪ 75 Inkerman Street Maryborough 3465 ▪ 79 Inkerman Street Maryborough 3465 ▪ 2 Kars Street Maryborough 3465 ▪ 34 Kars Street Maryborough 3465 ▪ 36 Kars Street Maryborough 3465 ▪ 45 Kars Street Maryborough 3465 ▪ 47 Kars Street Maryborough 3465 ▪ 49 Kars Street Maryborough 3465 ▪ 56 Kars Street Maryborough 3465 ▪ 57 Kars Street Maryborough 3465 ▪ 59 Kars Street Maryborough 3465 ▪ 61 Kars Street Maryborough 3465
--	--

<ul style="list-style-type: none"> ▪ 98 Burns Street Maryborough 3465 ▪ 100 Burns Street Maryborough 3465 ▪ 102 Burns Street Maryborough 3465 ▪ 104 Burns Street Maryborough 3465 ▪ 106 Burns Street Maryborough 3465 ▪ 1 - 15 Campbell Street Maryborough 3465 ▪ 7 Carrick Street Maryborough 3465 ▪ 9 Carrick Street Maryborough 3465 ▪ 10 Carrick Street Maryborough 3465 ▪ 12 Carrick Street Maryborough 3465 ▪ 14 Carrick Street Maryborough 3465 ▪ 16 Casey Street Maryborough 3465 ▪ 3 Christian Street Maryborough 3465 ▪ 4 Christian Street Maryborough 3465 ▪ 8 - 12 Christian Street Maryborough 3465 ▪ 14 Christian Street Maryborough 3465 ▪ 16 Christian Street Maryborough 3465 ▪ 16 Clarendon Street Maryborough 3465 ▪ 26 Clarendon Street Maryborough 3465 ▪ 29 Clarendon Street Maryborough 3465 ▪ 31 Clarendon Street Maryborough 3465 ▪ 33 Clarendon Street Maryborough 3465 ▪ 39 Clarendon Street Maryborough 3465 ▪ 41 Clarendon Street Maryborough 3465 ▪ 43 Clarendon Street Maryborough 3465 ▪ 45 Clarendon Street Maryborough 3465 ▪ 47 Clarendon Street Maryborough 3465 ▪ 51 Clarendon Street Maryborough 3465 ▪ 53 Clarendon Street Maryborough 3465 ▪ 55 - 61 Clarendon Street Maryborough 3465 ▪ 63 Clarendon Street Maryborough 3465 ▪ 113 Clarendon Street Maryborough 3465 ▪ 115 Clarendon Street Maryborough 3465 	<ul style="list-style-type: none"> ▪ 63 Kars Street Maryborough 3465 ▪ 65 Kars Street Maryborough 3465 ▪ 67 Kars Street Maryborough 3465 ▪ 69 Kars Street Maryborough 3465 ▪ 71 Kars Street Maryborough 3465 ▪ 73 Kars Street Maryborough 3465 ▪ 75 - 77 Kars Street Maryborough 3465 ▪ 81 Kars Street Maryborough 3465 ▪ 83 Kars Street Maryborough 3465 ▪ 85 Kars Street Maryborough 3465 ▪ 87 Kars Street Maryborough 3465 ▪ 89 Kars Street Maryborough 3465 ▪ 90 Kars Street Maryborough 3465 ▪ 94 Kars Street Maryborough 3465 ▪ 6 Lake Road Maryborough 3465 ▪ 8 Lake Road Maryborough 3465 ▪ 1 Linton Drive Maryborough 3465 ▪ 3 Linton Drive Maryborough 3465 ▪ 5 Linton Drive Maryborough 3465 ▪ 7 Linton Drive Maryborough 3465 ▪ 2 Logan Street Maryborough 3465 ▪ 3 Lowenstein Street Maryborough 3465 ▪ 8 Lowenstein Street Maryborough 3465 ▪ 10 Lowenstein Street Maryborough 3465 ▪ 10 -12 Majorca Road Maryborough 3465 ▪ 9 Mark Twain Drive Maryborough 3465 ▪ 60 McClure Street Maryborough 3465 ▪ 17 Mckean Street Maryborough 3465 ▪ 85 Napier Street Maryborough 3465 ▪ 87 - 94 Napier Street Maryborough 3465 ▪ 98 Napier Street Maryborough 3465 ▪ 103 Napier Street Maryborough 3465 ▪ 105 Napier Street Maryborough 3465
--	---

<ul style="list-style-type: none"> ▪ 51 Clarke Street Maryborough 3465 ▪ 53 Clarke Street Maryborough 3465 ▪ 55 Clarke Street Maryborough 3465 ▪ 57 Clarke Street Maryborough 3465 ▪ 21 Crimea Street Maryborough 3465 ▪ 23 Crimea Street Maryborough 3465 ▪ 1 Cross Street Maryborough 3465 ▪ 3 Cross Street Maryborough 3465 ▪ 4 Cross Street Maryborough 3465 ▪ 5 Cross Street Maryborough 3465 ▪ 2 Cuttle Close Maryborough 3465 ▪ 4 Cuttle Close Maryborough 3465 ▪ 2 Doble Court Maryborough 3465 ▪ 4 - 9 Doble Court Maryborough 3465 ▪ 11 - 14 Doble Court Maryborough 3465 ▪ 2 Dodds Street Maryborough 3465 ▪ 4 Dodds Street Maryborough 3465 ▪ 6 Dodds Street Maryborough 3465 ▪ 8 Dodds Street Maryborough 3465 ▪ 10 Dodds Street Maryborough 3465 ▪ 12 Dodds Street Maryborough 3465 ▪ 14 Dodds Street Maryborough 3465 ▪ 2 Dundas Road Maryborough 3465 ▪ 4 Dundas Road Maryborough 3465 ▪ 1 Earl Street Maryborough 3465 ▪ 3 Earl Street Maryborough 3465 ▪ 5 Earl Street Maryborough 3465 ▪ 7 Earl Street Maryborough 3465 ▪ 4 Elgin Road Maryborough 3465 ▪ 2 Fraser Street Maryborough 3465 ▪ 1 Frost Avenue Maryborough 3465 ▪ 3 Frost Avenue Maryborough 3465 ▪ 5 Frost Avenue Maryborough 3465 	<ul style="list-style-type: none"> ▪ 11 Neill Street Maryborough 3465 ▪ 13 Neill Street Maryborough 3465 ▪ 15 Neill Street Maryborough 3465 ▪ 17 Neill Street Maryborough 3465 ▪ 19 Neill Street Maryborough 3465 ▪ 21 Neill Street Maryborough 3465 ▪ 23 Neill Street Maryborough 3465 ▪ 25 Neill Street Maryborough 3465 ▪ 13 Newton Street Maryborough 3465 ▪ 15 Newton Street Maryborough 3465 ▪ 17 Newton Street Maryborough 3465 ▪ 19 Newton Street Maryborough 3465 ▪ 21 Newton Street Maryborough 3465 ▪ 44 Newton Street Maryborough 3465 ▪ 51 Newton Street Maryborough 3465 ▪ 53 Newton Street Maryborough 3465 ▪ 1 Palmerston Street Maryborough 3465 ▪ 2 Palmerston Street Maryborough 3465 ▪ 4 -12 Palmerston Street Maryborough 3465 ▪ 14 - 17 Palmerston Street Maryborough 3465 ▪ 19 - 35 Palmerston Street Maryborough 3465 ▪ 40 Palmerston Street Maryborough 3465 ▪ 41 Park Road Maryborough 3465 ▪ 43 Park Road Maryborough 3465 ▪ 45 Park Road Maryborough 3465 ▪ 47 Park Road Maryborough 3465 ▪ 49 Park Road Maryborough 3465 ▪ 50 Park Road Maryborough 3465 ▪ 51 Park Road Maryborough 3465 ▪ 53 - 56 Park Road Maryborough 3465 ▪ 58 Park Road Maryborough 3465 ▪ 59 Park Road Maryborough 3465 ▪ 6 Peel Street Maryborough 3465
--	--

<ul style="list-style-type: none"> ▪ 7 Frost Avenue Maryborough 3465 ▪ 9 Frost Avenue Maryborough 3465 ▪ 11 Frost Avenue Maryborough 3465 ▪ 13 Frost Avenue Maryborough 3465 ▪ 25 Gillies Street Maryborough 3465 ▪ 67 Gillies Street Maryborough 3465 ▪ 69 Gillies Street Maryborough 3465 ▪ 71 Gillies Street Maryborough 3465 ▪ 73 Gillies Street Maryborough 3465 ▪ 75 Gillies Street Maryborough 3465 ▪ 99 Gillies Street Maryborough 3465 ▪ 182 Gladstone Street Maryborough 3465 ▪ 184 Gladstone Street Maryborough 3465 ▪ 186 Gladstone Street Maryborough 3465 ▪ 188 Gladstone Street Maryborough 3465 ▪ 192 Gladstone Street Maryborough 3465 ▪ 194 Gladstone Street Maryborough 3465 ▪ 225 - 228 Gladstone Street Maryborough 3465 ▪ 230 - 239 Gladstone Street Maryborough 3465 ▪ 240 Gladstone Street Maryborough 3465 ▪ 241 Gladstone Street Maryborough 3465 ▪ 243 - 245 Gladstone Street Maryborough 3465 ▪ 247 Gladstone Street Maryborough 3465 ▪ 249 Gladstone Street Maryborough 3465 ▪ 2 Golden Wattle Drive Maryborough 3465 ▪ 2 Goldsmith Street Maryborough 3465 ▪ 4 Goldsmith Street Maryborough 3465 ▪ 6 Goldsmith Street Maryborough 3465 ▪ 8 Goldsmith Street Maryborough 3465 ▪ 10 Goldsmith Street Maryborough 3465 ▪ 12 Goldsmith Street Maryborough 3465 ▪ 14 Goldsmith Street Maryborough 3465 ▪ 35 Goldsmith Street Maryborough 3465 	<ul style="list-style-type: none"> ▪ 8 Peel Street Maryborough 3465 ▪ 10 Peel Street Maryborough 3465 ▪ 20 Peel Street Maryborough 3465 ▪ 22 Peel Street Maryborough 3465 ▪ 8 Raglan Street Maryborough 3465 ▪ 10 Raglan Street Maryborough 3465 ▪ 12 Raglan Street Maryborough 3465 ▪ 14 Raglan Street Maryborough 3465 ▪ 16 Raglan Street Maryborough 3465 ▪ 18 Raglan Street Maryborough 3465 ▪ 20 Raglan Street Maryborough 3465 ▪ 22 Raglan Street Maryborough 3465 ▪ 24 Raglan Street Maryborough 3465 ▪ 26 Raglan Street Maryborough 3465 ▪ 144 Railway Street Maryborough 3465 ▪ 169 Railway Street Maryborough 3465 ▪ 3-5 Sutton Road Maryborough 3465 ▪ 7 Sutton Road Maryborough 3465 ▪ 9 Sutton Road Maryborough 3465 ▪ 12 Sutton Road Maryborough 3465 ▪ 19 Sutton Road Maryborough 3465 ▪ 21 Sutton Road Maryborough 3465 ▪ 23 Sutton Road Maryborough 3465 ▪ 25 Sutton Road Maryborough 3465 ▪ 27 Sutton Road Maryborough 3465 ▪ 29 Sutton Road Maryborough 3465 ▪ 30 Sutton Road Maryborough 3465 ▪ 32 Sutton Road Maryborough 3465 ▪ 34 Sutton Road Maryborough 3465 ▪ 5-7 Tuaggra Street Maryborough 3465 ▪ 12 Tuaggra Street Maryborough 3465 ▪ 14 Tuaggra Street Maryborough 3465 ▪ 16 Tuaggra Street Maryborough 3465
---	---

<ul style="list-style-type: none">▪ 38 - 41 Goldsmith Street Maryborough 3465▪ 43 - 49 Goldsmith Street Maryborough 3465▪ 51 Goldsmith Street Maryborough 3465▪ 53 Goldsmith Street Maryborough 3465▪ 1 - 29 Grace Street Maryborough 3465▪ 1 Harkness Street Maryborough 3465▪ 4 Harkness Street Maryborough 3465▪ 6 Harkness Street Maryborough 3465▪ 20 Harkness Street Maryborough 3465▪ 22 Harkness Street Maryborough 3465▪ 3 Havelock Street Maryborough 3465▪ 7 Havelock Street Maryborough 3465▪ 9 Havelock Street Maryborough 3465▪ 11 Havelock Street Maryborough 3465▪ 13 Havelock Street Maryborough 3465▪ 6 - 55 High Street Maryborough 3456	<ul style="list-style-type: none">▪ 17 Tuaggra Street Maryborough 3465▪ 19 - 21 Tuaggra Street Maryborough 3465▪ 23 - 30 Tuaggra Street Maryborough 3465▪ 33 - 37 Tuaggra Street Maryborough 3465▪ 48 Tuaggra Street Maryborough 3465▪ 50 Tuaggra Street Maryborough 3465▪ 7 Victoria Street Maryborough 3465▪ 2 Weller Street Maryborough 3465▪ 14 Wellington Street Maryborough 3465▪ 27 - 36 Wellington Street Maryborough 3465▪ 38 Wellington Street Maryborough 3465▪ 40 - 47 Wellington Street Maryborough 3465▪ 49 Wellington Street Maryborough 3465▪ 14 Wills Street Maryborough 3465
--	---

4.3. Further investigations and next steps

4.3.1. Phelan Homes

4.3.1.1. Introduction

During the course of the Review, Extent Heritage also investigated the provenance of Phelan Homes and their potential heritage values to Maryborough and the Central Goldfields Shire. The importance of the homes and the associated factory to the local community was communicated during the course of consultation with the Heritage Reference Group.

Extent Heritage considers that there is a strong basis to include known Phelan Homes in the Heritage Overlay for their historical associations and representative designs of post-war pre-fabricated housing. Unfortunately, the research undertaken as part of the scope for the Maryborough Heritage Review has established that the areas that are likely to best reflect the heritage values of these homes lie outside the extent of HO206. The potential examples of Phelan Homes within HO206 represent individual examples of residences potentially purchased by private buyers rather than representing the precincts of these homes constructed by Phelan for the State Government. The identification of these properties as potential Phelan Homes is also based on physical characteristics only and has not been substantiated with documentary archival evidence.

The consideration of Phelan Homes beyond the existing boundaries of HO206 falls outside the scope of this project engagement. Accordingly, it is Extent Heritage's recommendation that protection of the potential Phelan Homes within the existing HO206 curtilage is not pursued and that further work is undertaken on the known areas of Phelan Homes in the east of Maryborough with a view to potentially pursuing new heritage controls for these areas.

The following findings are provided to substantiate this recommendation.

4.3.1.2. History

As with the remainder of Victoria, Maryborough was faced with a housing crisis in the post-war period. Catalysed by the lack of residential development during the downturn of the 1930s Depression followed by World War II, as well as the township's growing population stemming from the continued prosperity of industrial revival, there was an acute demand for housing in Maryborough by the 1940s (Osborn 1995, 321; The Argus 1944, 3).

The shortage soon came to the attention of the Housing Commission of Victoria, which was initially established in 1938 to improve housing conditions and provide housing for persons of limited means in Melbourne (Howe 1988; The Argus 1945, 5). By the post-war period however, the Housing Commission was also overseeing housing developments in both the suburban fringes and in regional Victoria. Against this backdrop, Maryborough was ultimately included in the Housing Commission's 1945 Country Housing Programme, which saw an initial twenty-five houses constructed on land bounded by Clarke, Dodds and Crimea Streets in 1946 and 1948, and an

additional fifteen houses constructed on Park Road in 1948, the latter of which were constructed by the firm William Phelan & Sons (The Argus 1945, 5; The Argus 1945, 3; Osborn 1995, 322).

As a result of the successful completion of the Park Road dwellings under Phelan & Sons, the Housing Commissions provided Phelan & Sons with a factory on the former Royal Australian Air Force stores in Carisbrook for the purpose of providing prefabricated transportable houses to the western half of Victoria (Osborn 1995, 322). The first prefabricated houses were produced by 1950 and delivered to Macaulay Street, Maryborough, and another twenty-five were supplied in 1952 to the Housing Commission Estate that was bounded by Railway Crescent, Spring Street, Kennedy Street and Primrose Street in East Maryborough (Osborn 1995, 322). A further fifteen homes were also built on the newly subdivided Railway Housing Estate adjacent to the Housing Commission era east of Primrose Street and Roscholler Park in December 1954 (Osborn 1995, 323). Erected on railway land, these homes were developed specifically for Maryborough Railway employees. By this period, Phelan had assumed full control and ownership of the Carisbrook factory buildings, having purchased them from the Housing Commission earlier in January 1954 (Osborn 1995, 323).

Reflecting Maryborough's post-war expansion, these prefabricated houses were predominantly located in greenfield areas east of the railway line and towards the outer areas away from the original central township area. They consisted of weatherboard dwellings with hipped and/or gabled roof forms of corrugated iron, grouped timber framed sash windows and brick chimneys (see Figure 23 and Figure 24). By 1954, the Phelan & Sons factory was producing one house per day, which were either shipped to Housing Commission Estates in Victoria and New South Wales, or made available for purchase by private buyers (The Argus 1954, 19).



Figure 23. 1961 photograph of a Phelan home being transported from the Carisbrook factory. *Source:* Unknown. 1961. Photograph. A 'Phelan' ready built home loaded for transport, Maryborough, 1961. In collection: John Young Collection. Natural Resources Conservation League of Victoria.



Figure 24. 1950 photograph of the first Phelan prefabricated home leaving the factory at Carisbrook. Source: Osborn, B 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough: Central Goldfields Shire Council.

4.3.1.3. Fieldwork

Given the lack of historical information relating to the potential Phelan Homes within HO206, fieldwork was undertaken to identify potential examples. Features that were identified as potentially being related to Phelan Home design and construction included:

- Low pitched hipped roof forms;
- Weatherboard and brick materials;
- Expressed brick chimney;
- Single hung timber sash windows with central horizontal mullion, often grouped;
- Weatherboard construction;
- Corrugated iron roofs supported by exposed rafter tails.

It is noted that many of these features are not unique to Phelan Homes only and are also found in other modest post-war housing within Maryborough. This makes it difficult to be certain that a building is a Phelan design in the absence of archival evidence.

Potential Phelan Homes within the existing boundaries of HO206 that were identified during fieldwork include:

- 220 Railway Street;
- 51 Inkerman Street;
- 33 Victorian Street;
- 35 Victorian Street; and
- 240 Gladstone Street.

4.3.1.4. Potential Phelan homes outside H0206

Historical research indicates that there were Phelan homes concentrated in East Maryborough along Macaulay Street, the Former Housing Commission Estate bounded by Railway Crescent, Spring Street, Kennedy Street and Primrose Street, and on the former Railway Housing Estate east of Primrose Street and Roscholler Park. An initial site visit, coupled with contemporary aerial photographs and 2008 Google Streetview imagery, confirmed that there is a large concentration of houses with features related to Phelan Home design and construction. These include:

Macaulay Street

- 5 Macaulay Street.

Former Railway Housing Estate

- 86-98 Golden Wattle Drive;
- 48-64 Golden Wattle Drive;
- 19-25 Spring Street;
- 1-7 Porter Avenue; and
- 2-8 Porter Avenue.

Railway Housing Estate

- 102-116 Golden Wattle Drive;
- 2-8 Michael Street;
- 9-11 Michael Street;
- 27-39 Spring Street; and
- 23 and 26 Porter Avenue.

4.3.1.5. Findings and recommendations

As a result of the research and inspections undertaken during the course of the Maryborough Heritage Review, it is clear that the proposed Phelan Homes Serial Listing to capture potential Phelan Homes within H0206 would not be well founded from a methodological perspective and, as a result, would not appropriately capture the significance of these places. The potential examples of Phelan Homes within the precinct are unable to be fully authenticated in the absence of archival material and are isolated infill examples rather than reflective of post-war housing development in Maryborough and the important role Phelan played in the provision of housing in this era. It is also noted that sympathetic post-war development, of the type typified by Phelan homes, has been identified as being of contributory value to several of the revised heritage precincts included in the Maryborough Heritage Review, including the Western Residential Precinct, the Eastern residential Precinct and the Palmerston Street Precinct. Accordingly, infill examples of post-war development in Central Maryborough, whether Phelan Homes or other examples would be appropriately protected even without the Serial Listing.

The following recommendations are provided in relation to Phelan Homes:

- Do not proceed with the proposed Phelan Homes Serial Listing for properties within HO206, noting that sympathetic post-war development is identified as contributory in relevant precincts; and
- Undertake a review of the known areas of Phelan development in East Maryborough with a view to progressing heritage listing for these areas.

4.3.2. Places within HO206 for further investigation

While the Heritage Review aimed to provide as comprehensive review as possible of the HO206 area, there were some sites that were not able to be fully investigated due to scope constraints. On balance these were places that were well-represented elsewhere in the proposed heritage places identified within the study area or were on a *prima facie* basis considered less likely to meet the threshold for inclusion in the HO.

In the event that further investigation of the Maryborough area was to occur, it is recommended that the following places are investigated:

- 8 Campbell Street for the association with prominent local business man (*Criterion H*);
- Campbell Street as a discrete residential precinct characterised by a relatively cohesive streetscape of intact and representative freestanding Victorian, Federation and interwar era residences (*Criterion A and Criterion D*); and
- Maryborough Highland Society for potential social significance (*Criterion A and Criterion G*).

4.3.3. Places outside HO206 for further investigation

During the course of consultation undertaken as part of the Heritage Review a number of places were identified that were outside the HO206 boundary and therefore outside the scope of the study, however on a *prima facie* basis appear to warrant a review to determine whether their inclusion in the HO would be warranted. These include:

- Phelan Homes (refer 4.3.1);
- Isabell Wharton Homes , Dundas Street;
- Simson Brother Memorial Lookout; and
- Roscholler Park.

It is noted that this is not a comprehensive list as the Heritage Review did not undertake fieldwork or historical review of the areas outside HO206.

4.3.4. Other recommendations

It is recommended that the following investigations and assessments occur that were outside the scope of the Heritage Review:

- Investigate the archaeological potential of the former Chinese Camp area (area roughly bounded by Napier Street, Burns Street/the railway, Chirstian Street and Tuaggra Street), with a view to potential inclusion in the VHI, if warranted; and
- Consider the preparation and adoption of a local heritage policy.

5. REFERENCES

Australia ICOMOS. 2013a. *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*, 2013. Burwood, Vic.: Australia ICOMOS. <https://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>

Construction (Sydney).

DELWP (Department of Environment, Land, Water and Planning). 2017. Review of Heritage Provisions in Planning Schemes. Advisory Committee Report. The way forward for heritage. Melbourne: DELWP. DELWP. 2018. Practice Note 1: Applying the Heritage Overlay. Melbourne: DELWP.

DELWP. 2018. Practice Note 1: Applying the Heritage Overlay. Melbourne: DELWP.

Department of Environment Land Water and Planning (DELWP), Naturekit. Online resource.

Department of Environment Land Water and Planning (DELWP), Naturekit. Online resource.

Flett, J. 1975. *Maryborough, Victoria: Goldfields History*. Glan Waverley: Poppet Head Press.

Geelong Advertiser and Intelligencer (Geelong).

Gordon & Gotch. 1903. *The Australian Handbook and Shippers' and Importers' Directory*. London: Gordon and Gotch.

Heritage Council of Victoria. 2010. *Conservation Management Plans: Managing Heritage Places. A guide*. Melbourne, Vic: Heritage Council of Victoria.

Heritage Council Victoria. 2019. *Assessing the Cultural Heritage Significance of Places and Objects for Possible State Heritage Listing: The Victorian Heritage Register Criteria and Threshold Guidelines*. Melbourne: Heritage Council Victoria.

Heritage Council Victoria. 2019. *The Victorian Heritage Register Criteria and Threshold Guidelines*. Melbourne: Heritage Council of Victoria.

Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment.

Jeffrey, R, ed. 1934. *Victorian Personalities Past and Present: An Historical Review*. Melbourne: Pioneer Publishing Co.

Planning Panels Victoria. 2018. *Heritage Issues Summary of Panels Reports*. Melbourne: Department of Transport and Planning.

Maryborough and Dunolly Advertiser (Maryborough).

Osborn, B and DuBourg, T. 2011. *Maryborough: A Social History 1854-1904*. Maryborough: Central Goldfields Shire Council.

Osborn, B. 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough, Vic.: Central Goldfields Shire Council.

The Argus (Melbourne).

The Herald (Melbourne).

APPENDIX A – STAGE 1 REVIEW AND RECOMMENDATIONS REPORT



Maryborough Central Area (HO206) Heritage Review and Recommendations Report Stage 1 Report



Prepared for Central Goldfields Shire Council

March 2023 — Final

Sydney
Melbourne
Brisbane
Perth
Hobart

EXTENT HERITAGE PTY LTD
ABN 24 608 666 306
ACN 608 666 306
info@extent.com.au
extent.com.au

SYDNEY
Level 3/73 Union St
Pyrmont NSW 2009
P 02 9555 4000
F 02 9555 7005

MELBOURNE
13/240 Sydney Rd
Coburg Vic 3058
P 03 9388 0622

BRISBANE
Level 12/344 Queen St
Brisbane Qld 4000
P 07 3051 0171

PERTH
24 & 25/108 St Georges Tce
Perth WA 6000
P 08 9381 5206

HOBART
54A Main Road
Moonah Tas 7009
P 03 6134 8124

Document information

Extent Heritage project no.:	0322174
Client:	Department of Environment, Land, Water and Planning
Project:	Central Maryborough Heritage Review
Site location:	Central Maryborough
Author(s):	Leo Martin, Michelle Bashta, Benjamin Petkov, Larika Desai

Document control

Version	Internal reviewer	Date	Review type
1	Leo Martin	23.12.22	QA
2	Leo Martin	16.01.23	QA
3	Vivian Lu	07.03.23	Updates
4	Leo Martin	08.03.23	QA

Copyright and moral rights

Historical sources and reference materials used in the preparation of this report are acknowledged and referenced in figure captions or in text citations. Reasonable effort has been made to identify, contact, acknowledge and obtain permission to use material from the relevant copyright owners.

Unless otherwise specified in the contract terms for this project Extent Heritage Pty Ltd

- vests copyright of all material produced by Extent Heritage Pty Ltd (but excluding pre-existing material and material in which copyright is held by a third party) in the client for this project (and the client's successors in title);
- retains the use of all material produced by Extent Heritage Pty Ltd for this project, for its ongoing business, and for professional presentations, academic papers or publications.



Contents

1.	Introduction.....	4
1.1	Project overview.....	4
1.2	Stage 1 – Review.....	5
1.3	Stage 2 – Citations and Guidance Material	6
1.4	Methodology	7
1.5	Limitations.....	12
1.6	Authorship.....	13
1.7	Terminology	13
2.	Findings.....	16
2.1	Summary	16
2.2	Detailed citation review	16
2.3	The remaining areas of HO206	37
2.4	Additional places.....	39
3.	Recommendations.....	41
3.1	Recommendations for Stage 2 identification, assessment, and documentation	41
3.2	Recommendation for scope, content and format of supporting material	41
4.	Conclusion.....	43
5.	References	44



1. Introduction

1.1 Project overview

Extent Heritage Pty Ltd ('Extent Heritage') was commissioned by the Department of Environment, Land, Water and Planning (DELWP) (now DTP) to prepare a review of HO206 *Maryborough Heritage Area* on behalf of Central Goldfields Shire.

The current HO206 extent is the result of the amalgam of eleven (11) precinct areas identified and documented in the 1992 *Maryborough Heritage Study* (Bick, Kellaway, Milner & Patrick, 1992). HO206 was incorporated into the new format planning scheme in 1999 and has not been updated since its inclusion.

A 2005 review of heritage provisions in the shire, *Central Goldfields Heritage Review: Stage 1* (Rowe & Jacobs, 2005) (the 2005 Review) examined the extent of HO206 and noted that not all properties located within the precinct may warrant heritage protection or meet the HERCON significance criteria.

The report recommended that Council undertake a detailed assessment of HO206 to determine how the HO should be refined (or removed) and proposed the introduction of eight (8) new precincts to better reflect and protect the heritage significance of these distinct character areas. The proposed areas were as follows:

- Barkly Street Heritage Area
- Civic Square Heritage Area
- Maryborough Commercial Heritage Area
- Princes Park Heritage Area
- Phillips Gardens Heritage Area
- Palmerston Street Heritage Area
- Raglan Street Heritage Area
- Bristol Hill Heritage Area

The 2005 recommendations were not taken forward by Council and Extent Heritage has been asked to undertake a review of both HO206 and the recommendations contained within the 2005 Review.

In accordance with the methodology outlined in our proposal of 26 July 2022, Extent Heritage has broken the required work into two Stages – Stage 1: Review; and Stage 2: Citations and Guidance Material. The Stage 1 fieldwork was undertaken by Benjamin Petkov, Larika Desai



and Leo Martin from 7 November 2022 – 11 November 2022, and by Michelle Bashta, Vivian Lu and Leo Martin from 27 January 2023 – 3 February 2023

The deliverables for each Stage are outlined below.

1.2 Stage 1 – Review

Meetings

- Inception meeting with the Project Control Group (PCG)
- 3 x progress meetings with the PCG
- Attendance and participation in one Councillor Briefing sessions

Project Work Plan and Stakeholder Engagement Plan

A Project Work Plan will be prepared at the commencement of the project. The Plan will include the timetable of works and related milestones, project methodology, billing milestones, safety measures for the project (including a Safe Work Method Statement), and planned meeting dates.

A Stakeholder Engagement Plan will be prepared at the commencement of the project. It will identify key stakeholders, methods of engagement and proposed consultation material.

Consultation

Consultation will be undertaken with identified key stakeholders, in accordance with the accepted Stakeholder Engagement Plan. It will include:

- One (1) formal consultation session with the Maryborough Midlands Historical Society, either virtually or in person during the fieldwork program. In addition, we are likely to liaise with them regularly regarding archival resources
- Review of submissions provided through the Council digital platform 'Join the conversation', to be managed by Council
- Attendance at one (1) Central Goldfields Shire Heritage Reference Group meeting, to be convened by Council (virtual)
- An additional time allowance for other stakeholder consultation that may be required (including in person sessions), up to a capped number of hours

Review of Heritage Overlay 206

Extent Heritage will undertake a review of the extent of HO206 *Maryborough Heritage Area*. Key tasks will include:

- Review of existing citation content, curtilage and site gradings for HO206



- Review of other background information, including but not limited to the findings of the *Central Goldfields Heritage Review: Stage 1* (Rowe & Jacobs, 2005)
- Undertake fieldwork to inspect the precinct and commence the process of identifying potential new precinct areas and individual places
- Archival research, as required

Stage 1 Maryborough Heritage Review and Recommendations Report

Following the above activities, Extent Heritage will prepare the Stage 1 *Maryborough Heritage Review and Recommendations Report*. The report will include:

- Summary of HO206 review findings
- Recommendations for Stage 2 identification, assessment and documentation to produce heritage citation reports for proposed new precincts and individual places (as required), including mapping
- Recommendations for proposed changes to Central Goldfields Planning Scheme (i.e., heritage controls, local heritage policy and ordinance, consideration of other controls to guide character area protection for areas that may not warrant HO protection)
- Recommendations for scope, content and format of supporting material to guide conservation of heritage places and direct appropriate infill development in Maryborough (such as Maryborough Heritage Design Guidelines, Heritage Overlay Exemptions Guidelines documents, as required)

1.3 Stage 2 – Citations and Guidance Material

Meetings

As part of Stage 2, Extent Heritage has allowed for the following project meetings:

- Inception meeting with the Project Control Group (PCG) (virtual)
- 3 x progress meetings with the PCG (virtual)
- Attendance and participation in two Councillor Briefing sessions (virtual)

Preparation of citations

Extent Heritage allowed for the preparation of a citation for HO206 alongside the preparation of eight (8) new precinct citations (following the 2005 Review findings).

Key tasks will include:

- Further consultation with the relevant stakeholders
- Fieldwork to further inspect the precinct and individual places



- Archival research on the history of the relevant sites. This will utilise Heritage Victoria's new 'HERMES Orion' database for records of previous assessments for the sites and comparative places, heritage studies, consultant reports, and other primary and secondary sources from organisations such as the local municipal library, Council's building plans department, State Library of Victoria, Public Records Office Victoria, National Trust of Australia (Victoria), and local historical societies. This information may come in the form of previous assessments and research, histories, early maps, plans and other documentary evidence

All citations prepared will meet the requirements of *Planning Practice Note 1: Applying the Heritage Overlay* and will establish the level of significance of the place – either 'State Significance', 'Local Significance' or 'Below Threshold'.

1.4 Methodology

Best practice resources

In accordance with Extent's proposed methodology, this review has been prepared by consulting with best practice documentary resources, including:

- Australia ICOMOS. 2013. *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*. Burwood, Vic.: Australia ICOMOS
- Department of Environment, Land, Water and Planning (DELWP). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP
- Heritage Victoria. 2010. *Heritage Victoria Model Consultants Brief for Heritage Studies*. Melbourne: DELWP
- Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment
- Planning Panels Victoria Heritage Issues Summaries 2015 and 2018

Establishing an understanding of significance

The Heritage Victoria standard brief for heritage studies states that 'It is expected that a heritage study will include a holistic assessment in terms of place types, periods and heritage values. Where a place is identified, a coherent and coordinated assessment against the HERCON criteria is expected' (DELWP 2010, 2). The HERCON criteria are defined as follows:

Criterion A: Importance to the course or pattern of our cultural or natural history (*historical significance*).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (*rarity*).

Criterion C: Potential to yield information that will contribute to understanding our cultural or natural history (*research potential*).



Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (*representativeness*).

Criterion E: Importance in exhibiting particular aesthetic characteristics (*aesthetic significance*).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (*technical significance*).

Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (*social significance*).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (*associative significance*). (DELWP 2018, 1–2)

For this review, each precinct identified in the 2005 Review was assessed against the HERCON criteria. The places needed to strongly meet at least one criterion to meet the threshold for local significance to the Central Goldfields Shire. It should be noted that meeting more than one criterion does not make a place more significant, it simply means that the place is significant for a variety of reasons.

Places that do not meet all of the criterion are generally of limited:

- cultural or natural historic value;
- rarity value;
- research or archaeological value;
- integrity, such that it does not represent a class of place or retain aesthetic value;
- technical value for a particular period of time;
- social, cultural or spiritual value to a community or group; and/or
- special association with a person or groups of persons of importance.

Historical context

This review also included primary and secondary research into the developmental history of Maryborough. This was carried out by Extent Heritage to assess whether the 2005 recommendations adequately captured the cultural history of the township and/or if there were any gaps. This research was collated into a generic history and is included below.

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Warrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murrnong), possums and kangaroos. Meanwhile, the Dja Dja Warrung also drew upon their knowledges of the land to



establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Warrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bully Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Warrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A. Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens- however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 1. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments.. *Source:* Public Record Office of Victoria.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146/VHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174/VHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134/VHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

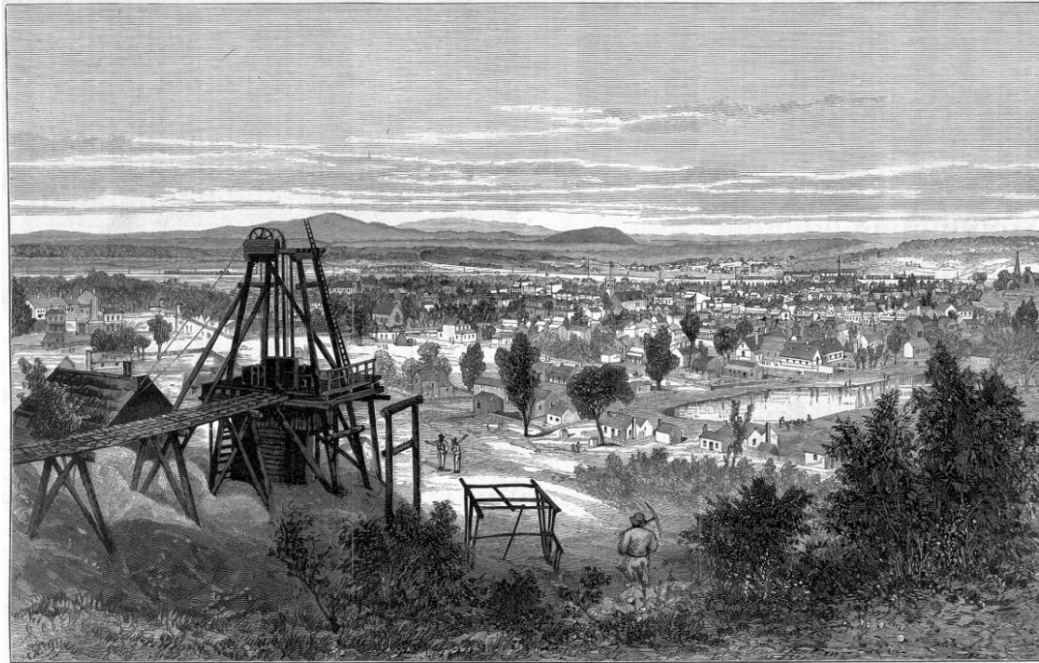


Figure 2. 1881 sketch of Maryborough township, looking south-west. *Source:* State Library of Victoria.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Pty Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.



1.5 Limitations

The review has the following limitations:

- The project does not include an assessment of places for their state heritage value and therefore potential inclusion the Victorian Heritage Register (VHR)
- The study area is limited to HO206 – we have not investigated any places beyond the boundary of this precinct



1.6 Authorship

The following staff members at Extent Heritage have prepared this review:

- Leo Martin, Associate Director
- Michelle Bashta, Senior Heritage Advisor;
- Vivian Lu, Heritage Advisor;
- Benjamin Petkov, Heritage Advisor; and
- Larika Desai, Research Assistant

1.7 Terminology

The terminology in this study follows the definitions presented in *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* (Australia ICOMOS 2013) (the *Burra Charter*). Article 1 provides the following definitions:

Place means a geographically defined area. It may include elements, objects, spaces and views. Place may have tangible and intangible dimensions.

Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

Cultural significance is embodied in the *place* itself, its *fabric*, *setting*, *use*, *associations*, *meanings*, records, *related places* and *related objects*.

Places may have a range of values for different individuals or groups.

Fabric means all the physical material of the place including elements, fixtures, contents, and objects.

Conservation means all the processes of looking after a *place* so as to retain its *cultural significance*.

Maintenance means the continuous protective care of a *place* and its *setting*.

Maintenance is to be distinguished from repair which involves *restoration* or *reconstruction*.

Preservation means maintaining a *place* in its existing state and retarding deterioration.

Restoration means returning a *place* to a known earlier state by removing accretions or by reassembling existing elements without the introduction of new material.

Reconstruction means returning a *place* to a known earlier state and is distinguished from *restoration* by the introduction of new material.

Adaptation means changing a *place* to suit the existing *use* or a proposed use.



Use means the functions of a *place*, including the activities and traditional and customary practices that may occur at the place or are dependent on the place.

Compatible use means a *use* which respects the *cultural significance* of a *place*. Such a use involves no, or minimal, impact on cultural significance.

Setting means the immediate and extended environment of a *place* that is part of or contributes to its *cultural significance* and distinctive character.

Related place means a *place* that contributes to the *cultural significance* of another place. (ICOMOS 2013, 2-9)

The terminology in this study also follows the definitions below, adopted from Heritage Victoria's reference materials and other guidance documents:

- DELWP (Department of Environment, Land, Water and Planning). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP.

Contributory Element: Contributory Elements are those that contribute to the significance of the Heritage Place. These should be identified in the Statement of Significance or other heritage assessment document, such as a heritage study. Note that some Heritage Places covered by an Individual HO surrounded by an Area HO may be Contributory Elements, while others might not.

- Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment.

Heritage Overlay: A Heritage Overlay is applied to a Heritage Place to conserve its cultural heritage values.

Heritage Place: Under the Victoria Planning Provisions, a Heritage Place can be a: building (e.g. house, shop, factory etc.), structure (e.g. memorial, bridge or tram poles), features (e.g. mine shafts and mullock heaps, street gutters and paving), private garden or public park, single tree or group of trees such as an avenue, group of buildings or sites, landscape, geological formation, fossil site, or habitat or other place of natural or Cultural Heritage Significance and its associated land.

Heritage Study: A Heritage Study is a research and survey based document prepared by a suitably qualified professional that identifies Heritage Places of Cultural Heritage Significance based on a defined range of criteria.

Individual HO: An Individual HO is a single Heritage Place that has Cultural Heritage Significance independent of its context. Some places covered by an Individual HO also make a contribution to the significance of an Area HO. There should be a Statement of Significance for every Individual HO.

Non-contributory Element: Elements that do not make a contribution to the significance of the Heritage Place covered by an HO.

Statement of Significance: A guide to understanding the Cultural Heritage Significance of a place. These are often divided into three parts: what, how and why.



- DELWP (Department of Environment, Land, Water and Planning). August 2017. Review of Heritage Provisions in Planning Schemes. Advisory Committee Report. The Way Forward for Heritage. Melbourne: DELWP.

Threshold: The level of cultural significance that a place must have before it can be recommended for inclusion in the planning scheme. The question to be answered is 'Is the place of sufficient import that its cultural values should be recognised in the planning scheme and taken into account in decision-making?'. Thresholds are necessary to enable a smaller group of places with special architectural values, for example, to be selected out for listing from a group of perhaps hundreds of places with similar architectural values.



2. Findings

2.1 Summary

Extent Heritage has reviewed the extent of HO206 focussing, in particular, on the recommendations contained in the 2005 Review. While our conclusions differ in some respects, overall, we consider that the methodology adopted in the 2005 Review is consistent with best practice and with guidance that has been developed by Planning Panels Victoria (PPV), particularly their Heritage Issues Summaries.

Extent Heritage conducted fieldwork from 7 November 2022 – 11 November 2022 and again from 27 January 2023 – 3 February 2023 and can confirm that we are also generally supportive of the 2005 Review's conclusions and, in particular, the recommendation to break HO206 into smaller discrete precincts. The smaller precincts will allow for the preparation of more relevant and refined citations and encourage the better management of significant fabric. We also note that each precinct identified generally demonstrates "a consistency of built form" and is "able to be described in a statement of significance", the test applied by PPV in Yarra C173. Each precinct proposed in the 2005 Review is also considered to represent "a distinguishable, cohesive unit..." again in accordance with the test outlined in the PPV report for Yarra C177.

The above notwithstanding, Extent's has proposed some changes to the precincts identified in the 2005 Review. The changes reflect:

- The loss or alteration of some fabric.
- A re-appraisal of the significance of other areas of HO206 excluded from the 2005 recommended precincts;
- A greater focus on ensuring a consistency of function within each respective precinct; and
- Improvements in mapping accuracy

2.2 Detailed citation review

The following section sets out our conclusions in relation to each of the eight (8) precincts identified in the 2005 Review. Additionally, it also sets out conclusions in relation to one (1) additional precinct proposed by Extent Heritage but not identified in the 2005 Review – the 'Western Precinct'.

2.2.1 Barkly Street Heritage Area

The Barkly Street Heritage Area is identified in the 2005 Review as being basically the "same area identified in the Maryborough Heritage Study (1992)". The area includes

the site of the former Maryborough Gaol that opened in 1861 and the subsequent residential development that occurred after its closure in 1914. Most of the building stock in the area is significant at either a local or contributory level.



The Maryborough Heritage Study describes the area as follows

In 1861 the Maryborough Gaol was opened and it occupied much of the block bounded by Barkly, Inkerman, Goldsmith and Peel Streets for over fifty years. In 1914 it was closed and all but the two front offices and quarters buildings were progressively demolished.

Building materials from the gaol were used in the construction of several buildings in Maryborough. The early 1930s saw the construction of a row of residences facing Barkly Street on the site of the gaol. This group of residences were all built within a few years of each other and comprise the City's only line of 1930s dwellings. The 1920s and 1930s saw a period of economic growth in Maryborough as the transition from a gold mining to secondary industry based community took place.

The 1930s residences contrast with the 19th century and 1900s dwellings that otherwise comprise this area. Some were lived in by gaolers and they illustrate a range of housing from that period. One dwelling in Inkerman Street is built of earth.

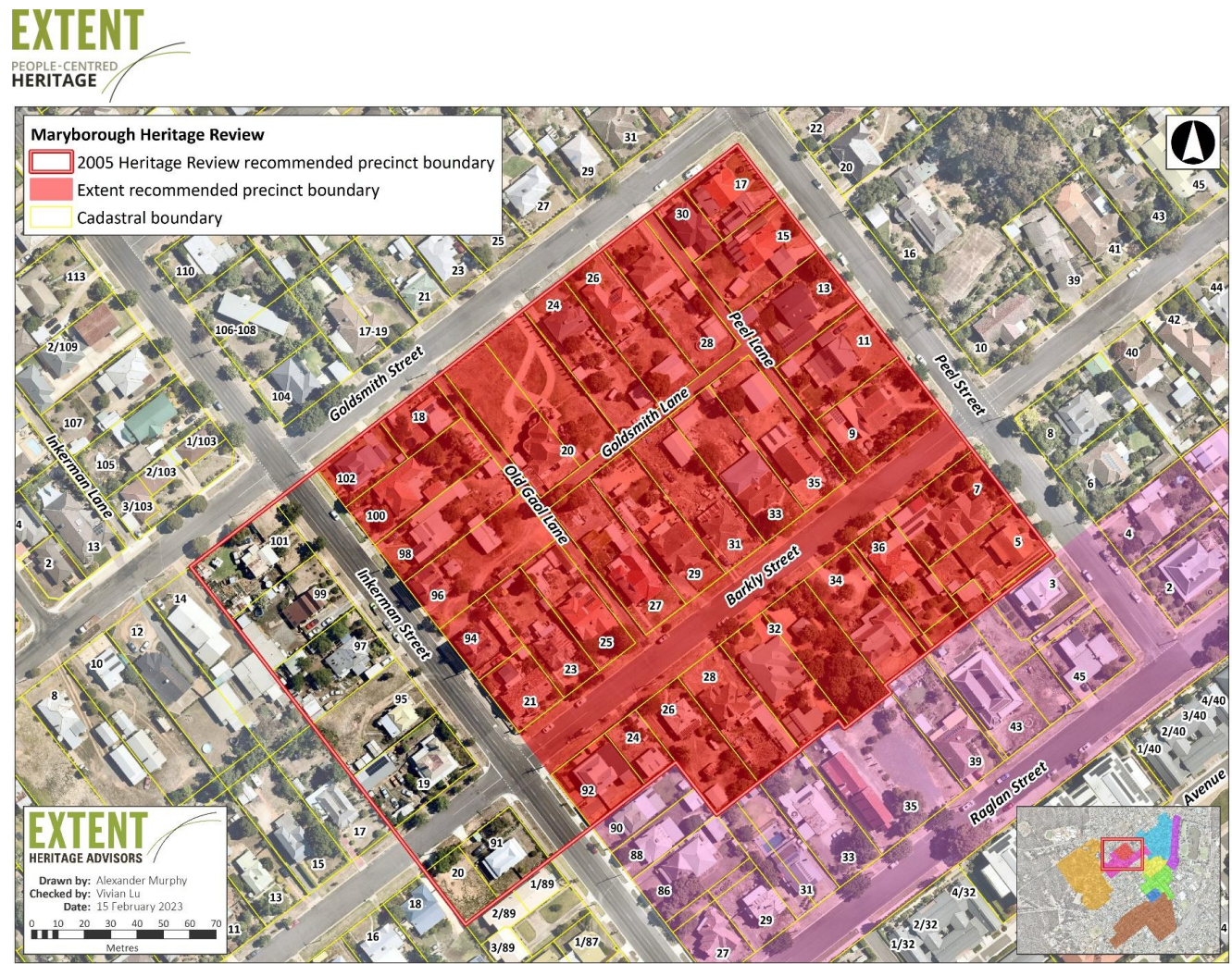
The boundaries of the Barkly Street Heritage Area are Goldsmith Street, Inkerman Street, rear boundaries of the properties on the south side of Barkly Street and Peel Street.

Our physical inspection of the area illustrates that the proposed precinct remains substantially intact. While the justifications set out in the 2005 Review generally remain relevant, we note that Victorian era building stock concentrated on the west side of Inkerman Road is inconsistent with the interwar character of the precinct, nor is it associated with the Gaol's nineteenth century operations. As a result, it has been removed from the precinct and proposed for inclusion in the Raglan Street Heritage Area (see Section Raglan Street Heritage Area 2.2.7).

Despite this, the underlying justification for the identification and inclusion of the proposed precinct remains the same and the changes proposed by Extent Heritage will strengthen the identity of the precinct as a site that:

- Recognises the history of the site and its connection to the former gaol, as well as the use of material from the former gaol in several of the structures within the precinct
- Acknowledges the consistency of development in the area – being generally either associated with the nineteenth century gaol's operations or the c1930s development;
- Acknowledges that residential properties along the western portion of Inkerman Street are different in character and more appropriately managed under the Raglan Street Heritage Area.

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.





2.2.2 Civic Square Heritage Area

The 2005 Review notes that: “this area is basically the Civic Square Heritage Area identified in the Maryborough Heritage Study, although it has been expanded to include the adjacent Maryborough Hospital site”.

The Maryborough Heritage Study describes the area as follows:

Civic Square is a rare if not unique example in Victoria of a town square with the civic buildings, Post Office, Town Hall and Court House, arranged around it. Whilst most of the square is used as a car park, the basic form remains. Although largely or completely invisible from the Square, the fire tower and original fire station, along with the Police Station cell block, are also in this block, adding to its historic and cultural significance. Maryborough’s oldest building, the 1858 Court of Mines (now Scout Building) [sic.] is on the opposite side of Neill Street from the fire tower. The Post Office clock tower is sited at the western end of Nolan Street, providing a formal axis and approach to the Civic Square. The landmark Railway Station is at the other end of Nolan Street and was until recent times directly connected to it, forming the eastern end of this major axis of the City.

The boundaries of the Civic Square Heritage Area are Palmerston Street, Nightingale Street (following the boundary of the Maryborough Hospital site), Clarendon Street and the rear boundaries of the properties on the east side of Havelock Street.

The 2005 Review goes on to generally support the findings of the 1992 Study as follows:

While the hospital has been altered and is proposed for further much-needed refurbishment, the inclusion of the site is considered important because it would otherwise remain isolated and surrounded by other heritage areas. The area includes the City’s town square and civic buildings, notably the Post Office, Town Hall and Court House. The area also includes the early fire tower and original fire station, police station cell block, former Gold Warden’s Office (sometimes known as the Court of Mines) – Maryborough’s oldest building, Masonic Hall and the former St. Andrew’s Presbyterian (now Uniting) Church, Sunday School and Manse.

Extent Heritage has undertaken a physical inspection of the precinct and is satisfied that it remains generally intact (changes to the hospital buildings notwithstanding). We have, however, proposed some minor amendments which remove some residential development to the north-eastern extent which is not consistent with the precinct’s otherwise civic/ institutional function. We have also proposed the removal of a small area of five residential blocks to the south-west, two residential blocks to the south-east (proposed for inclusion within the Maryborough Commercial Heritage Area – see Section 2.2.3), and the addition of a small area of land that is associated with the hospital to the north-eastern end of the precinct. We have recommended that the residential dwellings at 14 Campbell Street also remain in the precinct due to their civic association as Miller Homes.

Several of the buildings within the proposed precinct are included within the Victorian Heritage Register (VHR) and their heritage values will be managed by Heritage Victoria under the



provisions of the *Heritage Act 2017*. However, while the buildings will be managed separately, they remain key elements of the precinct and will still be described/ noted in the statement of significance.

The underlying justification for the identification and inclusion of the proposed precinct remains the same and the changes proposed by Extent Heritage will strengthen the identity of the precinct as a site that:

- Contains a significant number of high quality civic buildings – several of which are included on the Victorian Heritage Register (VHR)
- Has been the administrative heart of Maryborough since the late 1850s

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.

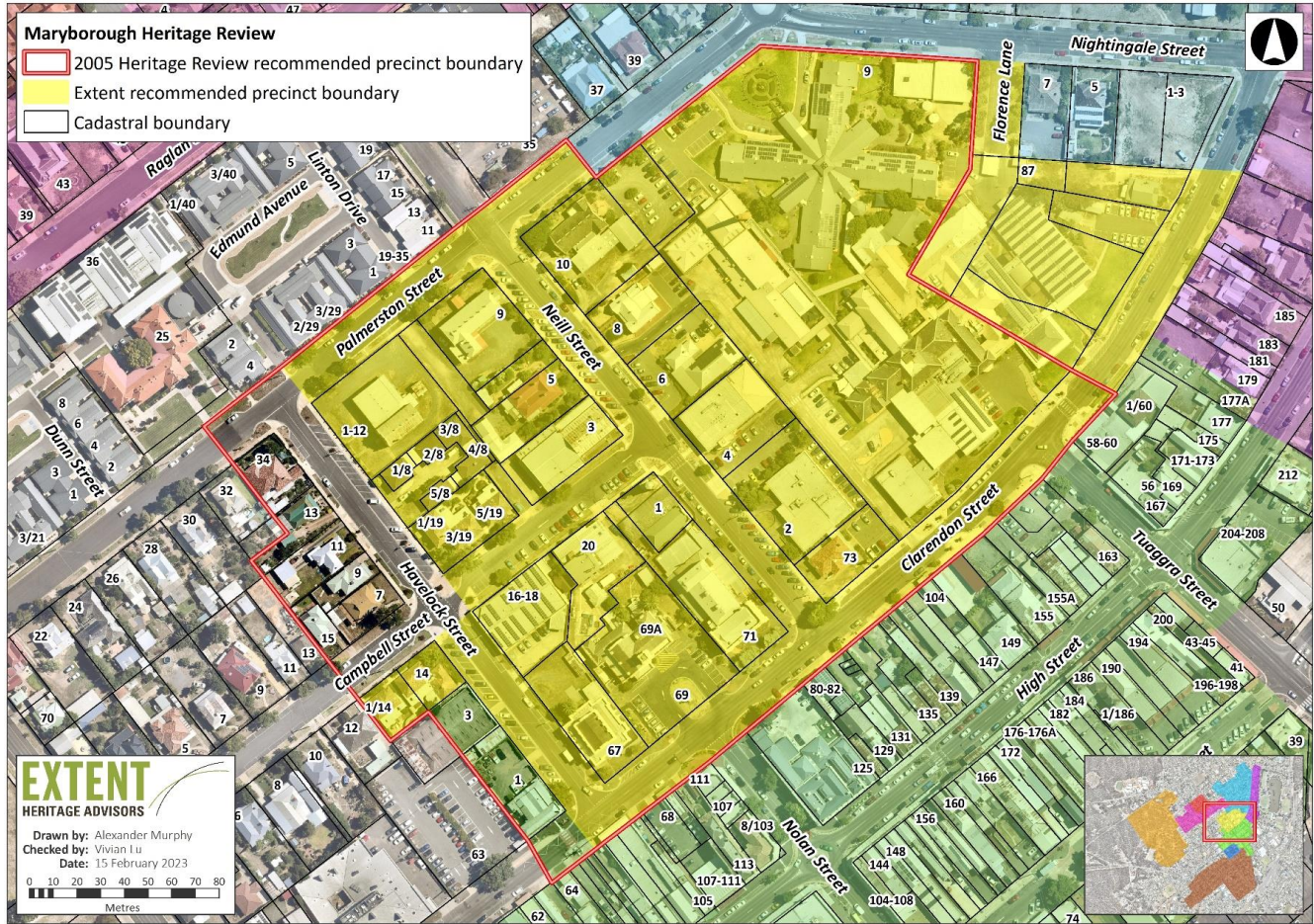


Figure 4. Civic Square Heritage Area.



2.2.3 Maryborough Commercial Heritage Area

This area is based on the High Street-Nolan Street Heritage Area identified in the Maryborough Heritage Study (1992). The central core to the heritage area is High Street, which has formed the traditional heart of commercial activity in Maryborough from the 1850s until the present day. The area is described in the Maryborough Heritage Study as follows:

The High Street-Nolan Street [Maryborough Commercial] area takes in that part of High Street that has, from the 1850s, always been the heart of Maryborough's commercial area. With the coming of the railway in the 1870s Nolan Street became an extension of the town's commercial area, linking High Street to the Railway Station. Reaching its zenith during the 1920s and 1930s at the same time as the Victorian Railways themselves, Nolan Street has declined economically since and this has meant that its old shop and other buildings have survived with a higher level of intactness than their peers in High Street.

Still, the town's main street despite some 140 years of progress and development, High Street retains a diverse building stock from both the later 19th century and the first four decades of the 20th century. New buildings and other works from post 1940 have been quite limited, apart from the modernization of shopfronts and the removal of all of the post-supported verandahs under a Town/City Council directive. However, original or early timber (19th century/1900s) and metal (1920s, 1930s, 1940s) shopfronts do survive, particularly in the southern half between Nolan and Inkerman Streets, which was a combination of shops, dwellings and other commercial uses such as stables up until the 1930s. In contrast the northern half between Nolan and beyond Tuaggra Streets has always been the town's commercial heart and the more substantial nature of the buildings reflects this.

Tuaggra Street was also a commercial street from the early decades of settlement and led through Maryborough's Chinatown, to Carisbrook and beyond.

At the rear of 19th and early 20th century Victorian shopping streets there were usually service streets and Maryborough has two, sections of both Clarendon and Alma Streets. The latter also adjoins the botanic gardens, Phillips Gardens. Both of these streets have been variously altered, but still retain the traditional rear service street form.

This area contains a diverse mixture of buildings from around the 1870s until circa 1940, many of which are recommended for individual listing in the Maryborough Planning Scheme.

The oldest building is apparently the brick building between Branton's hardware and the Maples store in Alma Street and dates from circa 1858.

The area was refined in the 2005 Review as follows:

The original boundary at the junction of High Street and Park Street has been reduced, with this end boundary now being the properties at 177A High Street and 212 High Street. Other boundaries are Clarendon Street, Inkerman Street and the rear boundaries of the



properties on the south side of Alma Street. The commercial and other buildings fronting onto Nolan Street (between Clarendon and Burke Streets) are also included.

Our physical inspection indicates that while the precinct, in general, retains its integrity it warrants some further refinement. The approach proposed by Extent Heritage removes the petrol station site and associated contemporary buildings at 48 and 50 Tuggra Street, all of which are non-contributory. Meanwhile, the precinct boundary at the rear of the library at 54-58 Alma Street has been amended to ensure that land associated with Phillip Gardens is appropriately captured in the Phillip Gardens Heritage Area (see Section 2.2.5).

Additionally, the precinct has also been extended to include the properties at 1 and 3 Havelock Street, which respectively comprise intact Victorian and Interwar commercial properties that are consistent with the character of the remainder of the precinct. Finally, the original mapping only includes the front portion of 35 and 62-80 Nolan Street, this has been adjusted so that the entirety of these buildings would be affected by the Heritage Overlay.

The precinct as amended:

- Is more compact, excluding buildings which are contemporary forms of development where appropriate.
- Clarifies the precinct boundary between the library at 54-58 Alma Street and the adjacent Phillips Gardens.
- Includes additional late nineteenth and early twentieth century commercial properties that align with the historical and aesthetic character of the precinct.
- Includes mapping changes to ensure that the controls apply to the entirety of the buildings located between 62-80 Nolan Street and at 35 Nolan Street.

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.

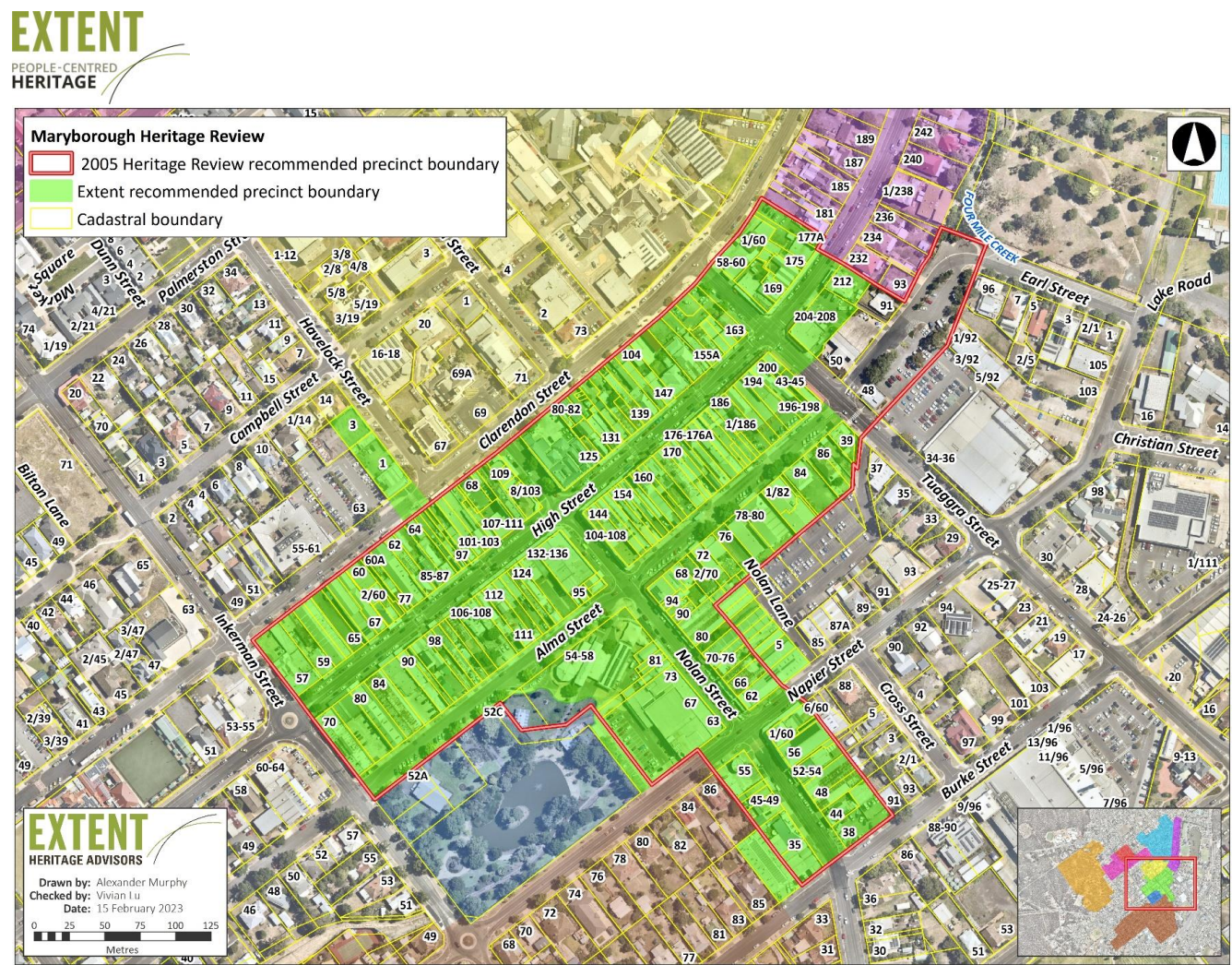


Figure 5. Maryborough Commercial Heritage Area.



2.2.4 Princes Park Heritage Area

This area is based on the Park Road Area originally identified in the Maryborough Heritage Study (1992) and “includes some of Maryborough’s most opulent housing stock built between the 1880s and c.1910 (with some additional houses built prior to 1930).”

In addition to a minor extension to the southern end of the 1992 precinct, the 2005 Review proposed the addition of Princes Park on the basis that “Princes Park is an integral part of the physical and historic setting of these dwellings and they in turn are part of the setting of Princes Park.”

While we agree with this statement, we note that Princes Park is already included on the Victorian Heritage Register (VHR H1880) and decisions about the heritage management of the park will be made by Heritage Victoria. In our view, the character of the two sections – the Park and the residential district abutting it – is also very different and (while acknowledging the historical relationship between the two) we have recommended the removal of Princes Park from the mapped extent of the precinct. With the exception of the removal of several properties towards the northern extent, which are either in poor condition or compromise the integrity of the remainder of the precinct, the proposed extent is generally consistent with that proposed by the 2005 Review.

The precinct as proposed will:

- Include some of Maryboroughs most opulent housing stock
- Acknowledge that Princes Park and the residential area along Park Road are very different in character and subject to separate statutory controls

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.

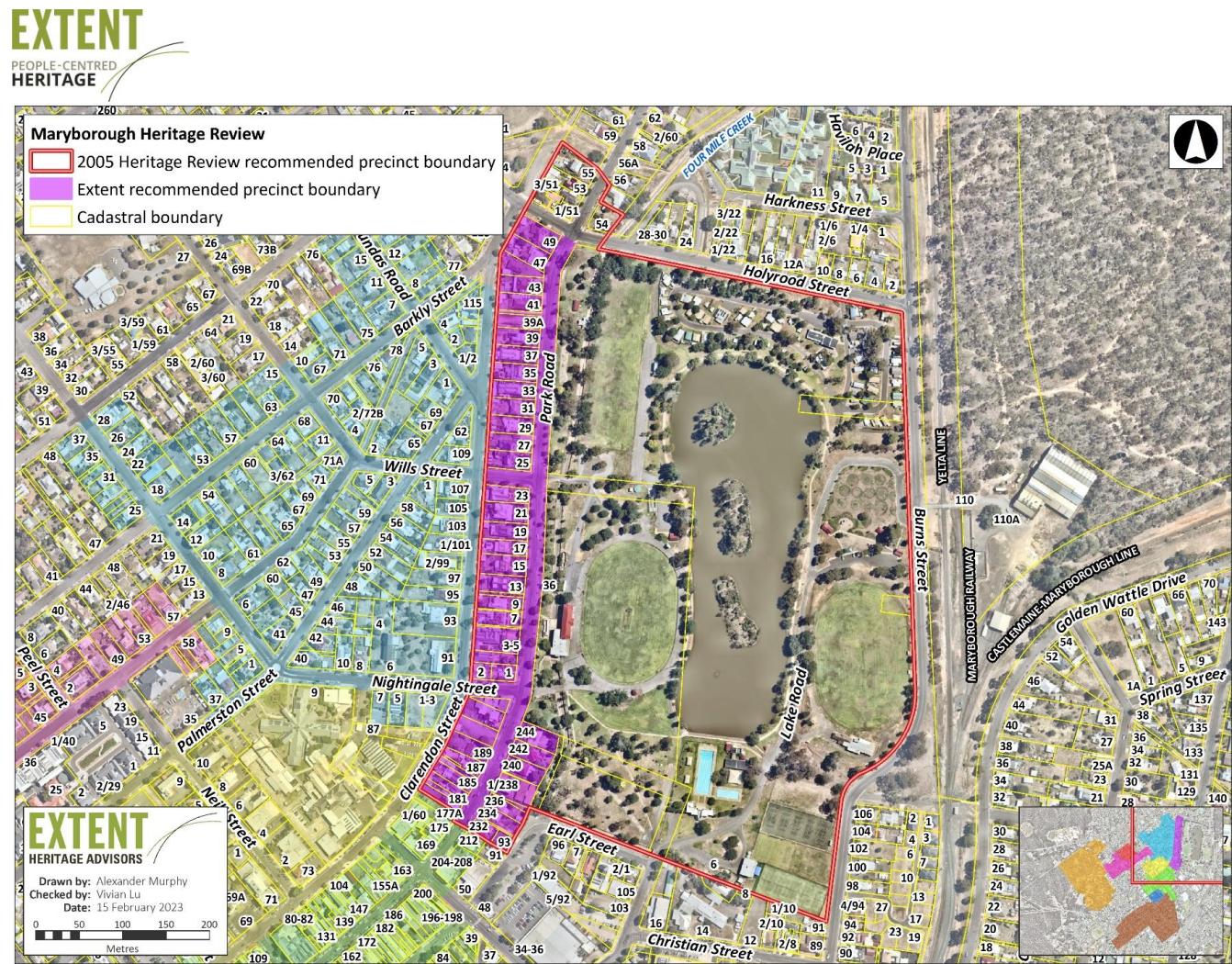


Figure 6. Princes Park Heritage Area.



2.2.5 Phillips Gardens Heritage Area

The Phillips Gardens Heritage Area is centred on Phillips Gardens (Maryboroughs Botanical Gardens) and extends to include some early surrounding housing stock in Napier and Inkerman Streets. The precinct was originally identified in the Maryborough Heritage Study (1992), where it is described as follows:

A principal feature of the area is the Phillips Gardens, Maryborough's Botanic Gardens. Adjacent to the gardens in Napier Street and to a lesser degree Inkerman Streets are early housing stock dating from c.1890 to c.1935. Phillips Gardens are Maryborough's Botanic Gardens and have served that role since 1872, when a reserve with a former mining dam on it (which is now the lake) was made a botanical reserve. The dwellings in Napier Street reflect the often better than average quality buildings erected adjacent to botanical gardens and public parks throughout Victoria's history.

The 2005 Review proposed minor changes to the boundaries of the precinct. Following a physical inspection of the precinct we have recommended more substantive changes to create one individual place comprising the Phillips Gardens Precinct and to remove properties along Inkerman Street and Napier Street. The properties along Napier Street will be included within a new Western Residential Heritage Area (see 2.2.9). This boundary has also been amended to capture areas of the garden that were formerly mapped as part of the Maryborough Commercial Precinct.

The precinct as amendment will:

- Be more refined, relating exclusively to the Gardens and thereby enabling the development of more focussed citations to guide the site's management.
- Move properties located along Napier Street to a new 'Western Precinct Residential Area'; see 2.2.9
- Acknowledge that buildings along Inkerman Street included within the proposed extent identified in the 2005 Review are not of exceptional architectural quality

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.

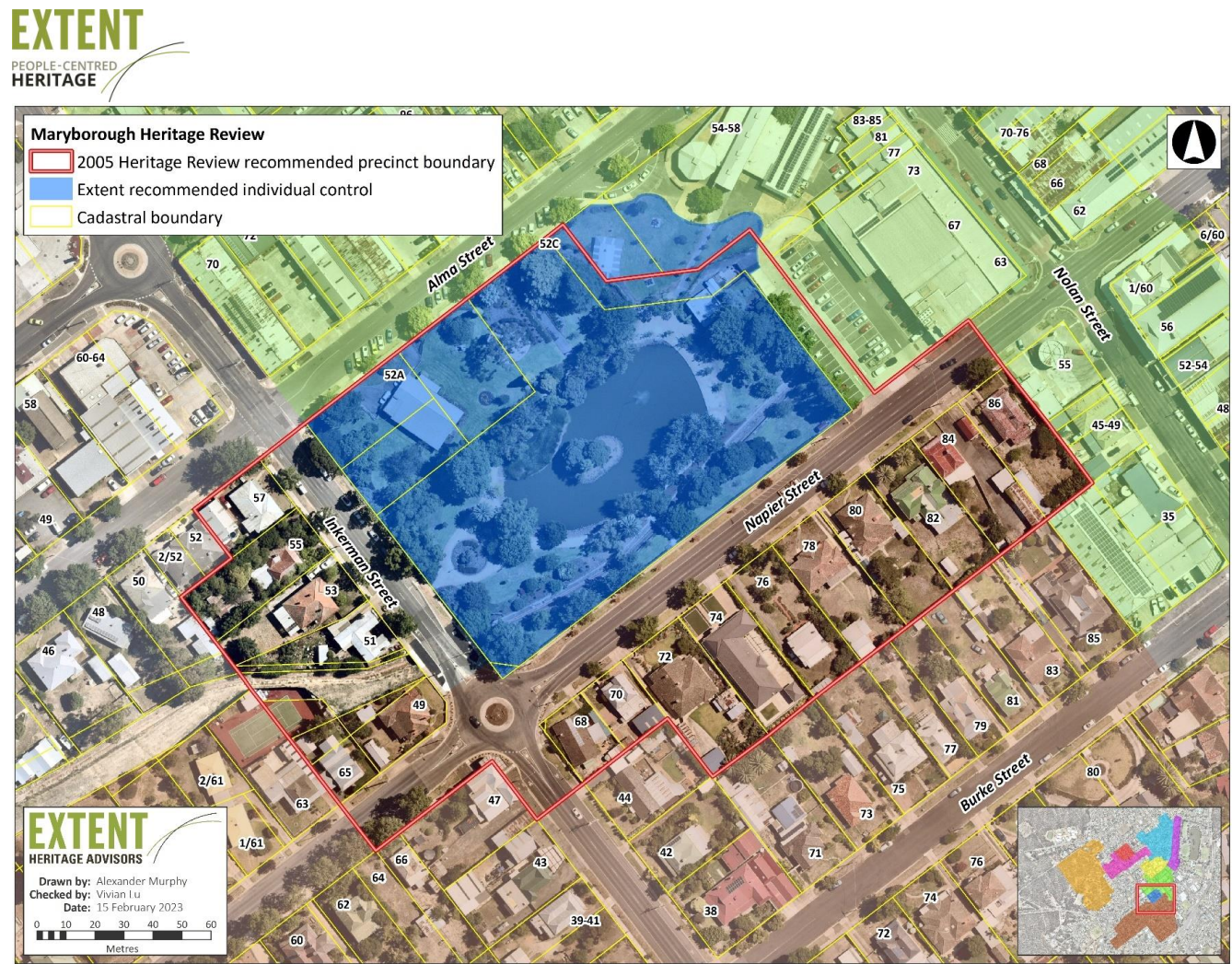


Figure 7. Phillips Gardens Heritage Area



2.2.6 Palmerston Street Heritage Area

The Palmerston Street Heritage is described in the 2005 Review as:

a largely residential area bound by Clarendon Street, Dundas Street, Raglan Street and the western boundary of the property at 37 Palmerston Street. There is a high proportion of significant dwellings in the area ranging in date from c.1870 to c.1940. Also within the area are Christ Church Anglican Church (originally constructed in 1860, but now altered) and a private school built in 1884.

A physical inspection of the area has confirmed that while the proposed extent continues to include a high proportion of significant dwellings from c1870-c1940, further inclusion of residential properties to the west is warranted. This group of properties, roughly bounded by Barkly Street, Dundas Road, Raglan Street and Newton Street, primarily comprise streetscapes of intact Victorian, Federation and Interwar residences that are consistent with the quality and integrity of residences currently included in the recommended 2005 boundary. Additionally, the hospital buildings to the south have been removed and proposed for inclusion in the adjoining Civic Precinct (see Section 2.2.2). The precinct as amended:

- Includes a significant number of late nineteenth and early twentieth century residential buildings.
- Includes several non-residential buildings that are associated with the area's developmental history.
- Is more consistent and excludes non-residential contemporary buildings towards the south-eastern extent

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.

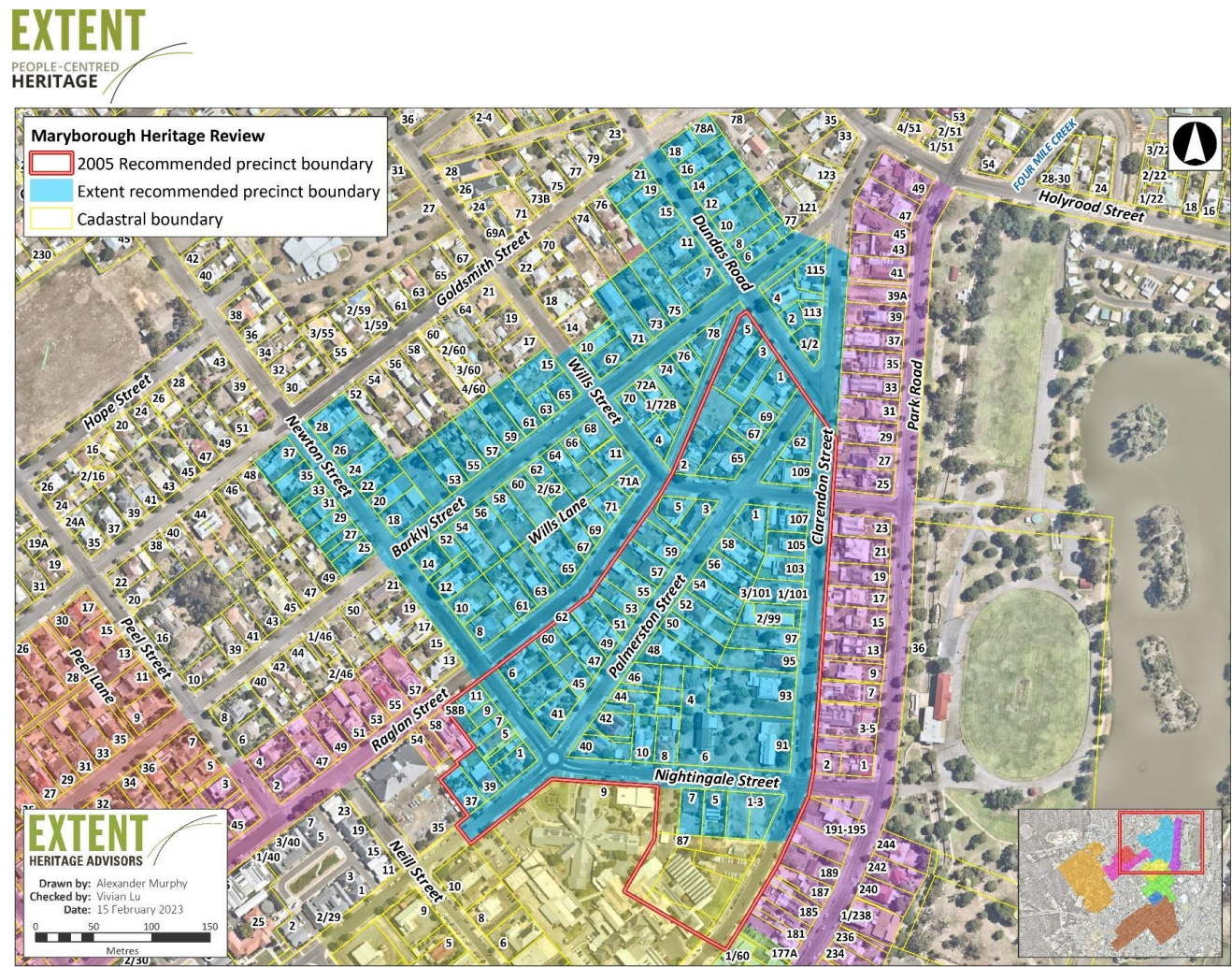


Figure 8. Palmerston Street Heritage Area.



2.2.7 Raglan Street Heritage Area

The Raglan Street Heritage area is “formed by Raglan Street, the boundaries being the southern side of the street, rear boundaries to the properties on the northern side of the street, Inkerman Street and the eastern boundaries to the properties at 57 and 58 Raglan Street respectively.” The precinct is described in the 2005 Review as:

a contextually small area largely defined by the dwellings fronting onto the northern side of Raglan Street. The high concentration of significant dwellings, which were constructed between c.1860 and the mid 1930s, form a distinctive residential streetscape. These dwellings were originally included within the larger Maryborough West heritage area in the Maryborough Heritage Study.

A physical review of the proposed precinct has confirmed that while the precinct remains substantially intact and continues to exhibit the qualities identified in the 2005 Review, further inclusion of residential properties to the west of Inkerman Street is warranted. This group of properties, roughly bounded by Goldsmith Street, Inkerman Street, Raglan Street and Kars Street comprise streetscapes of contributory Victorian, Federation and Interwar residences. Although somewhat more modest than the residences included in the recommended 2005 boundary, these dwellings follow the same developmental trajectory and are generally consistent with the pre-existing Raglan Street properties in terms of character and degree of intactness. The precinct as amended:

- Includes a significant number of late nineteenth and early twentieth century residential buildings that reflect the key phases of residential development in Maryborough, some of which are Significant graded.

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.

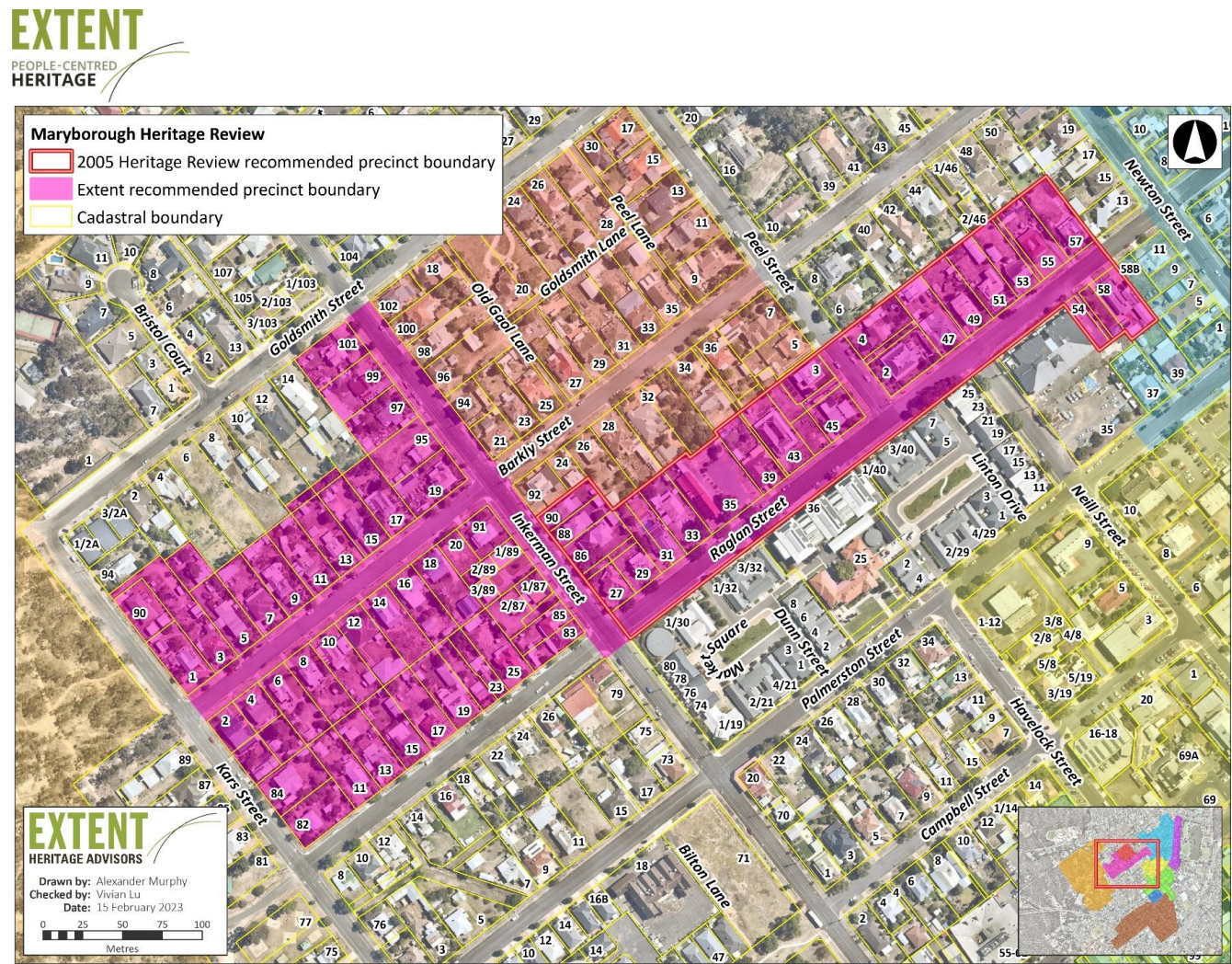


Figure 9. Raglan Street Heritage Area.



2.2.8 Bristol Hill Heritage Area

The Bristol Hill Heritage Area was also identified in the Maryborough Heritage Study (1992). It's a significant cultural landscape which acknowledges the gold mining activities that supported much of the town's early growth.

The area is defined in the Maryborough Heritage Study as follows:

Maryborough was one of Victoria's major gold mining centers during the 19th century and Bristol Hill had a significant role in both the gold mining and in the daily lives of the gold miners during the period that founded and built up the town. Maryborough's first cemetery is on the eastern edge and despite the activities of some State government agencies since, some gold mining remains are still to be found on Bristol Hill. Maryborough is surrounded by extensively mined country which has reverted to bush, with Bristol Hill being the former mining area closest to the centre of the City. With the end of the gold mining early this [20th] century Maryborough turned to manufacturing industry to survive and its success saw the community able to build the pioneers' memorial lookout tower on the top of Bristol Hill, giving the reserve a continuing social and tourism role and reinforcing the significance of the highest ground in the City centre.

The 2005 Review did not propose significant changes to the precinct and following a physical inspection, Extent Heritage has recommended only one minor change, involving the inclusion of land along the south-eastern extent of the boundary. This portion of land comprises a former pioneer cemetery, which is informal in nature and sits easily within the broader context of Bristol Hill.

We have prepared a clear map of the curtilage using Geographic Information Systems software showing both the boundary proposed in the 2005 Review and in this review. See below.

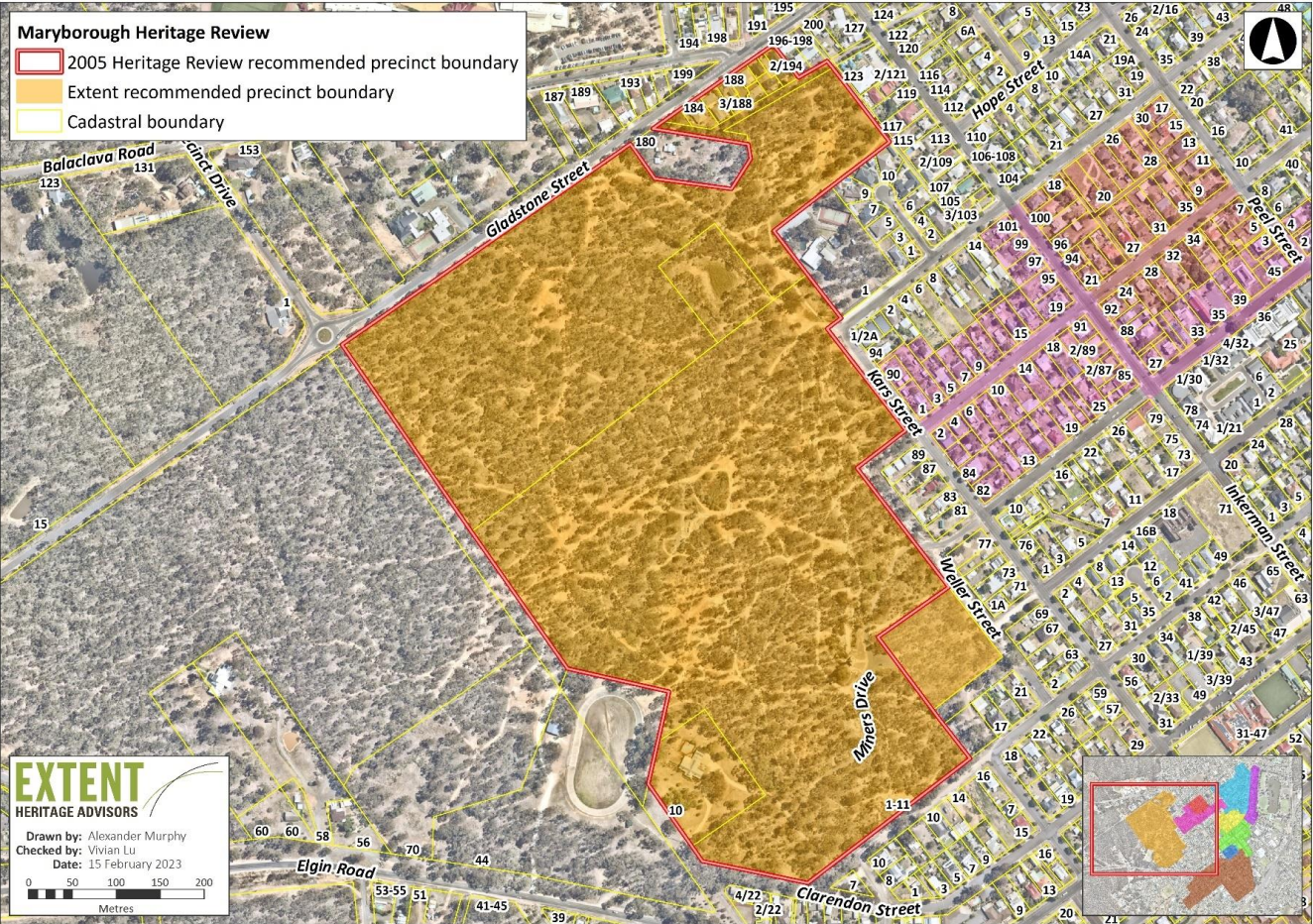


Figure 10. Bristol Hill Heritage Area.



2.2.9 Western Residential Heritage Area

This Western Residential Heritage Area picks up a substantial number of properties that were formerly identified in the Maryborough Heritage Study (1992) as part of the 'Maryborough West Conservation Area'. Although reduced, this proposed area generally aligns with its description in the 1992 study:

The core of Maryborough, this Conservation Area contains most of the City's residential area and like the East Maryborough Area, is little changed since 1940, with most houses dating from the late 19th century or 1900s/1910s. Due to its central location, this area contains all the City's churches, the older State School and the High School, interspersed with a much wider range of dwellings from all eras.

The Western Residential Heritage Area was not proposed as an area in the 2005 study. However, following a physical review of this area, Extent Heritage has recommended its inclusion as an additional precinct. This area, roughly bounded by Alma Street, Nolan Street, Albert Street, Kars Street, Burke Lane and Clarke Street, comprises a residential area predominantly characterised by contributory late nineteenth century and early twentieth century housing stock. It has been identified as a substantially intact area within HO206, and consequently warrants inclusion for its capacity to illustrate the key phases in the emergence, growth and consolidation of residential development in the Maryborough township. Additionally, it also features a number of Significant non-residential properties, including the St Augustine's Catholic Church and St Augustine's Primary School.

This precinct will:

- Include a substantial number of late nineteenth and early twentieth century residential buildings that reflect the key phases of residential development in Maryborough.
- Include a number of Significant non-residential buildings dating back to the early twentieth century.
- Recognise the diversity of styles and developmental phases associated with the building stock, which combined, speak to the emergence, growth and consolidation of residential development in the Maryborough township.
- Recognise the relationship between non-residential and residential development in this area of Maryborough.

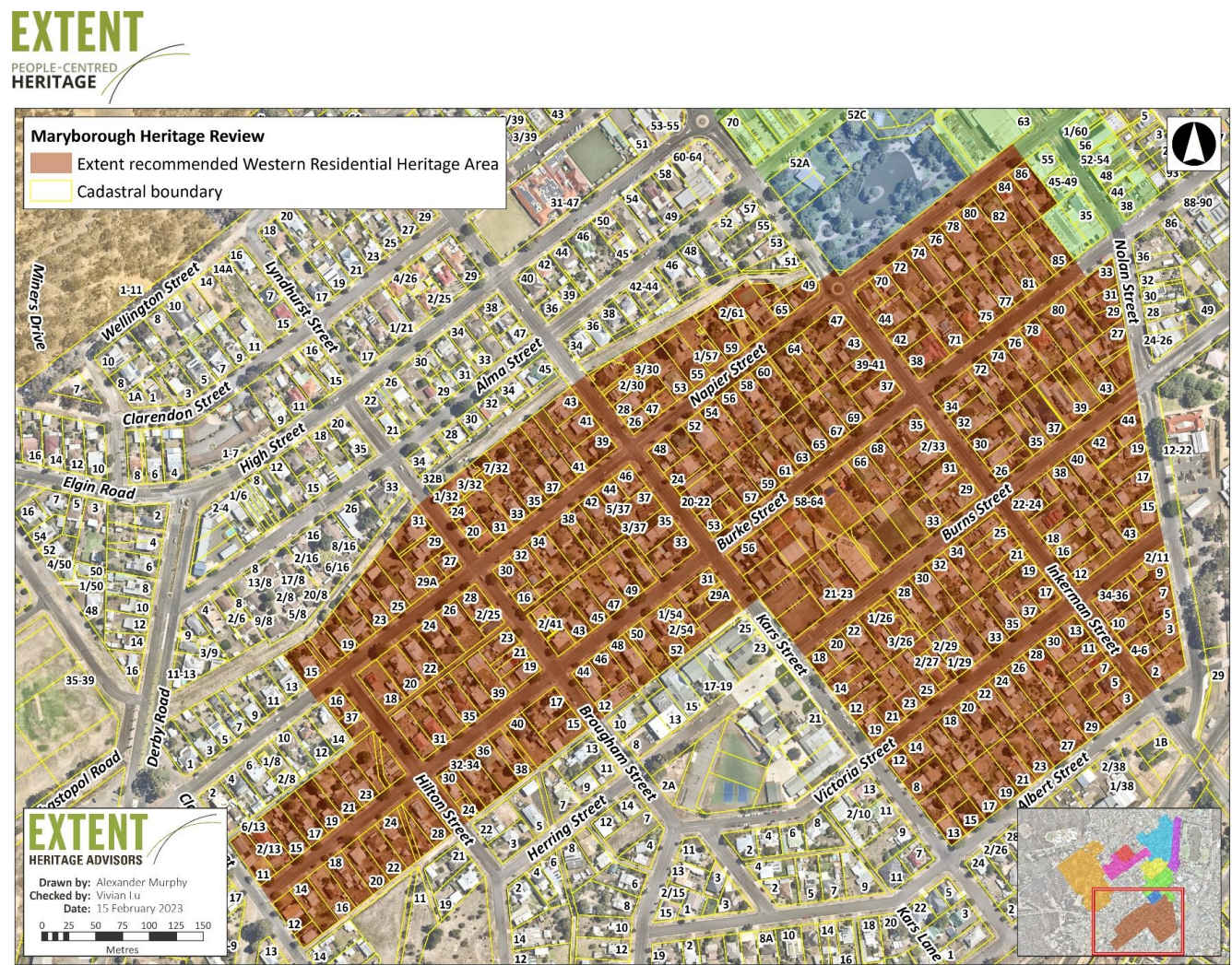


Figure 11. Western Residential Area.



2.3 The remaining areas of HO206

The removal of the nine identified precincts from HO206 will leave a series of non-contiguous places that lack stylistic or thematic consistency. The *Heritage Issues Summary of Panels Reports* (2018) prepared by Victorian Planning Panels (VPP) notes that in Boroondara C177 the Panel observed “‘A precinct should be able to show a consistency or built form and be able to be precisely described in a statement of significance’.” The retention of the remainder of the precinct within HO206 would not, in our view, be consistent with this objective. Nor would it be consistent with the methodology employed elsewhere in this study where we have sought to identify smaller and more coherent precincts that can be managed in a more consistent way.

For this reason, we consider that the remainder of HO206 should be deleted. The mapping of the existing and proposed precincts is shown below.

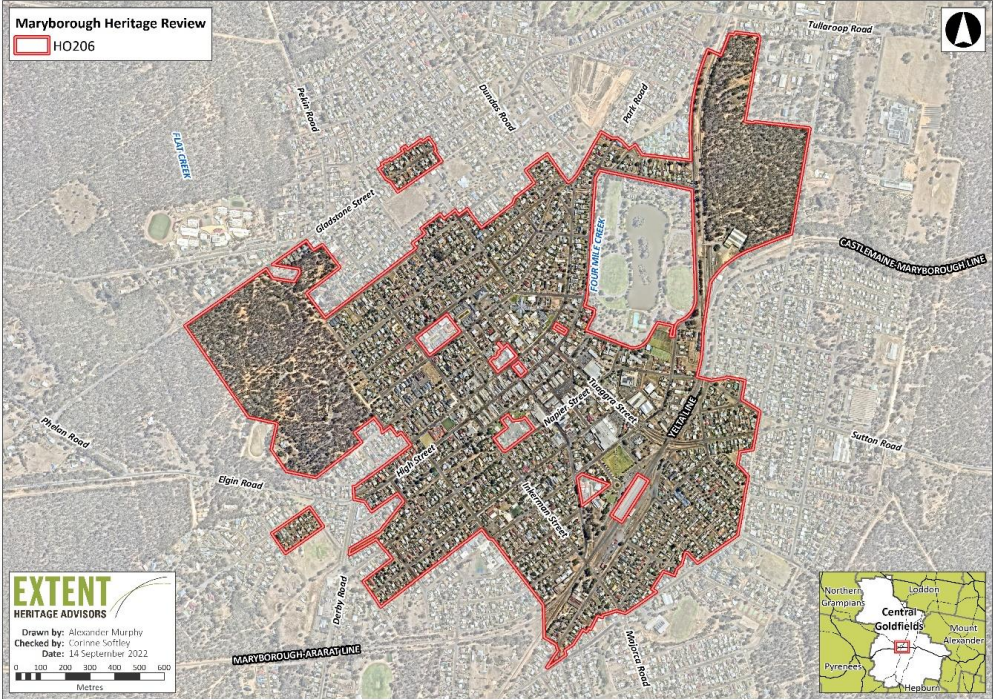


Figure 12. Extent of HO206

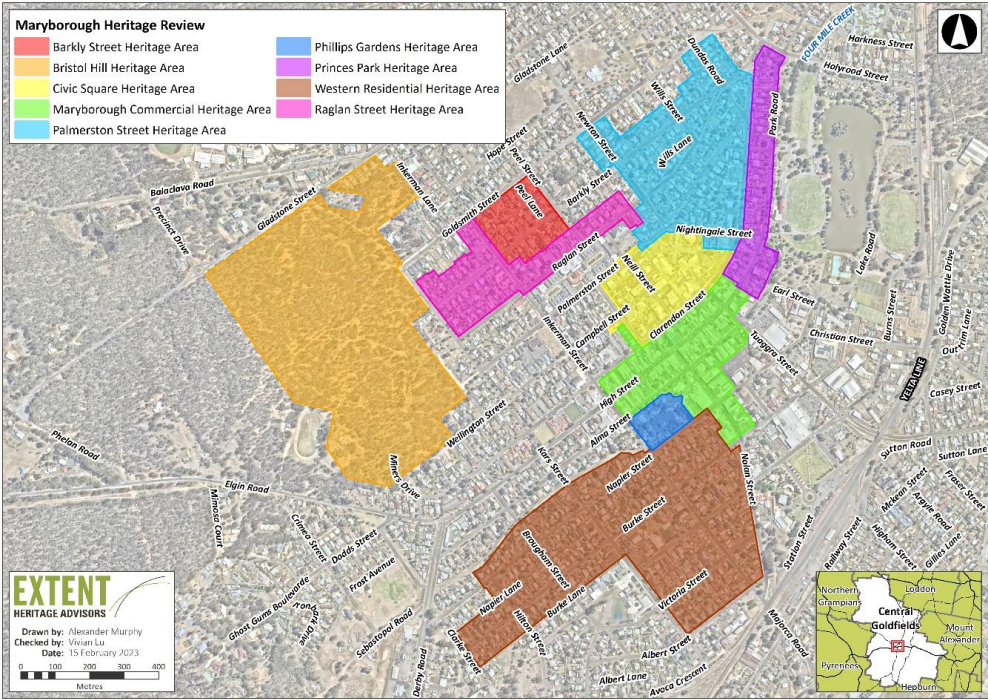


Figure 13. Proposed Precincts



2.4 Additional places

While we are of the view that the proposed precincts are better refined and will lead to stronger management outcomes, they will also see the removal of heritage controls from a number of properties that are either potentially of individual significance, but which are too isolated to warrant inclusion in one of the identified precincts, or other potential heritage areas that do not fit neatly within the 2005 recommended precincts.

Following discussions with Council and DELWP, additional funding has been allocated to allow for the identification and assessment of up to ten additional places (either individual sites or precincts) for heritage protection that would otherwise be removed from the Heritage Overlay pursuant to the proposals outlined in this report as part of the Stage 2 assessment. To this end, we also note that the 2005 Review included a list of individual places for protection once HO206 is amended. Following a review of this list of places, in conjunction with an appraisal of fieldwork data and feedback provided by the Community Reference Group, Extent Heritage has identified the following nine places for assessment as part of Stage 2 (the new Western Residential Area, being the tenth).

Potential Place	Rationale	Potential Extent (including)
Industrial Precinct	Acknowledging Maryborough's significant industrial past	Flour Mill, Butter Factory, Patience and Nicholson Building and surrounds
Phelan Homes	Influential manufacturer of prefabricated homes that were constructed in Maryborough but also Victoria more broadly as well as interstate.	Potentially a serial listing of a small group of Phelan homes within HO206 – currently working to identify a list – noting examples on Alma Street
Main Drain	Early and relatively intact, separates and connects the town and has shaped its development	Main Drain and associated reserve
Worsley Cottage	Early cottage/ home of historical society	3 Palmerston Street
Loco Shed, load out and water area	Connection to significant history of Maryborough's railway industry	60 Mclure Street
Railway Precinct	Early buildings that are closely tied to railway history.	TBC
Soldiers Memorial Plot	Acknowledges contribution of servicemen/ women to town and ongoing significance of commemorative event (following reconstruction of park in 2011).	Cnr Railway Street and Majorca Road



Residence and Warehouse (St Carlo House / Ellas Crameri and Sons)	Highly intact, prominent site	65-67 Burns Street
Inkerman Street Precinct	Collection of significant non-residential buildings, including Bristol Hill Corner Store, Jubilee Chapel	Area around intersection of Inkerman, Palmerston and Campbell Streets



3. Recommendations

In accordance with our proposal of 26 July 2022, Extent Heritage has also provided recommendations in relation to the documentation required to support the Stage 2 reporting'. We note that these are preliminary comments and may be updated following further research.

3.1 Recommendations for Stage 2 identification, assessment, and documentation

In order to support the development of a Planning Scheme amendment, Extent Heritage will prepare detailed heritage assessments in relation to each of the nine (9) identified precincts. In addition to this, Extent Heritage will also prepare detailed heritage assessments in relation to an additional nine (9) places, consisting of four (4) precincts and five (5) individual places, identified in Section 2.4. Each assessment will be prepared in accordance with the provisions of Victorian Planning Panels' Planning Practice Note 1 (PPN01) and will include an assessment against the HERCON Criteria and the preparation of a Statement of Significance. Recommendation for proposed changes to the Central Goldfields Planning Scheme

In addition to containing draft citations for each of the nine (9) proposed precincts and additional nine (9) places, the Stage 2 report will also contain advice on the turning on of various controls under the Schedule to the Heritage Overlay – in particular paint controls and tree controls.

We note that the Heritage Overlay is only one way of preserving an area's character and suggest that the application of Neighbourhood Character Overlay (NCO), Significant Landscape Overlay (SLO), Environment Audit Overlay (EAO), or Vegetation Protection Overlay (VPO) could also provide some protection for either built form/ cultural landscapes in some circumstances; although, any Planning Scheme amendment would need to be justified in accordance with the requirements of Planning Panels Victoria.

3.2 Recommendation for scope, content and format of supporting material

The division of HO206 into nine (9) precincts and addition of nine (9) places, consisting of four (4) precincts and five (5) individual places, will provide a more robust management framework for heritage within central Maryborough.

In order to provide Council with guidance on the scope and character of development that can be supported, Extent Heritage has also undertaken, as part of this project, to prepare a series of heritage guidelines to help inform decision making by Council's statutory planning team. The Guidelines will outline principles around demolition, additions/ alterations and the construction of new built form in relation to sites that are identified as non-significant, contributory and significant. The aim will be to prepare a short and useable document that can assist both Council and owners/applicants in developing proposals that are sensitive towards the identified heritage values of the place.



While it falls beyond the scope of our present engagement, Extent Heritage also notes that the preparation of Incorporated Plans containing permit exemptions can be an effective and time efficient way of managing sites. The development of Conservation Management Plans (CMPs) could also be of assistance – particularly when it comes to Council- managed places, for example Phillips Gardens.



4. Conclusion

Extent Heritage's initial review of the existing extent of HO206 draws many of the same conclusions as the 2005 Review. In particular, we have concluded that the Heritage Overlay, as it currently exists requires refinement and that the division of the precinct into nine (9) smaller precincts will improve the management of the town's heritage.

Having undertaken both sites visits and some public consultation, Extent Heritage is of the view that the extent of the precincts proposed by the 2005 Review is generally reasonable, but that several precincts should be expanded, for example, the exclusion of residential buildings from the proposed Civic Precinct. The most significant change involves the addition of the Western Residential Heritage Area, which was not identified as a potential precinct in the 2005 Review.

To ensure that heritage places not captured in the nine (9) precincts proposed are afforded heritage protection, Extent Heritage will also carry out an assessment of nine (9) additional places, consisting of four (4) precincts and five (5) individual places following the provision of additional funding from DELWP.

In Stage 2 of the Study, Extent Heritage will complete its fieldwork and prepare citations for each of the proposed precincts and additional places as well as develop heritage guidelines to support the management of the identified heritage places.



5. References

Australia ICOMOS. 2013. *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance*. Burwood, Vic.: Australia ICOMOS

Construction. 1945. 'HOUSING AT MARYBOROUGH, VICTORIA.' 5 March 1947.

Department of Environment, Land, Water and Planning (DELWP). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP

Department of Environment, Land, Water and Planning (DELWP). 2018. *Practice Note 1: Applying the Heritage Overlay*. Melbourne: DELWP.

Flett, J. 1975. *Maryborough, Victoria: Goldfields History*. Glen Waverly: Poppet Head Press.

Geelong Advertiser and Intelligencer. 1885. 'OFFICAL ANNOUNCEMENTS.' 10 October 1955.

Gordon & Gotch. 1903. *The Australian Handbook and Shippers' and Importers' Directory*. London: Gordon and Gotch.

Heritage Victoria. 2007. *The Heritage Overlay Guidelines: Glossary of Terms*. Melbourne: Department of Sustainability and Environment.

Heritage Victoria. 2010. *Heritage Victoria Model Consultants Brief for Heritage Studies*. Melbourne: DELWP

Jeffrey, R. 1934. *Victorian Personalities Past and Present: An Historical Review*. Melbourne: Pioneer Publishing Co.

Maryborough and Dunolly Advertiser. 1862. 'THE ARGUS SPECIAL REPORTED ON MARYBOROUGH.' 15 September 1862.

Osborn, B and DuBourg, T. 2011. *Maryborough: A Social History 1854-1904*. Maryborough: Central Goldfields Shire Council.

Osborn, B. 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough: Central Goldfields Shire.

Surveyor-General's Department. 1856. 'Township of Maryborough, Country of Talbot.' Map. No. VPRS 8168. Public Record Office of Victoria.

The Argus. 1944. 'MARYBOROUGH HOUSE SHORTAGE.' 6 September 1944.

The Australasian Sketcher. 1881. 'Maryborough.' 22 October 1881. Accessed via State Library of Victoria.

The Herald. 1950. 'Our Town.' 2 June 1950.



Palmerston Street Precinct

Heritage Place: Palmerston Street Precinct	HO Reference: TBA
	Date updated: 1 November 2023
Address: 1-21 & 6-18 Dundas Road, 91-109 Clarendon Street, 1-7 & 6-10 Nightingale Street, 1-37 & 6-28 Newton Street, 1-15 & 2-10 Wills Street, 53-75 & 52-78 Barkly Street, 61-71A & 60-62 Raglan Street, 37-69 & 40-62 Palmerston Street, Maryborough	



Figure 1. View of Nightingale Street, looking north-west.

Item Group: Residential Buildings	Key Theme: Building towns, cities and the garden state
Item Type: Residential Precinct	Key Sub-theme: Living in country towns
Designer: N/A	Construction: c.1870-c.1940
Builder: N/A	Style: Victorian, Edwardian, Interwar and Postwar
Significance Level: Local	
Controls: <input type="radio"/> External paint controls <input type="radio"/> Internal alteration controls <input checked="" type="radio"/> Tree controls (mature Canary Island Palms (<i>Phoenix canariensis</i>) at 97 Clarendon Street, 37 and 41 Palmertson Street, and 3 and 11 Dundas Road and the Mexican Hawthorn tree	



(Crataegus stipulacea) at 42 Palmerston Street.		
<input type="radio"/> Included on Victorian Heritage Register	<input type="radio"/> Incorporated Plans	<input checked="" type="radio"/> Outbuildings and fence not exempt (Fence – 44 Palmerston Street & 61 Raglan Street)
<input type="radio"/> Prohibited uses may be permitted	<input type="radio"/> Aboriginal Heritage Place	<input checked="" type="radio"/> Solar energy system controls



Curtilage

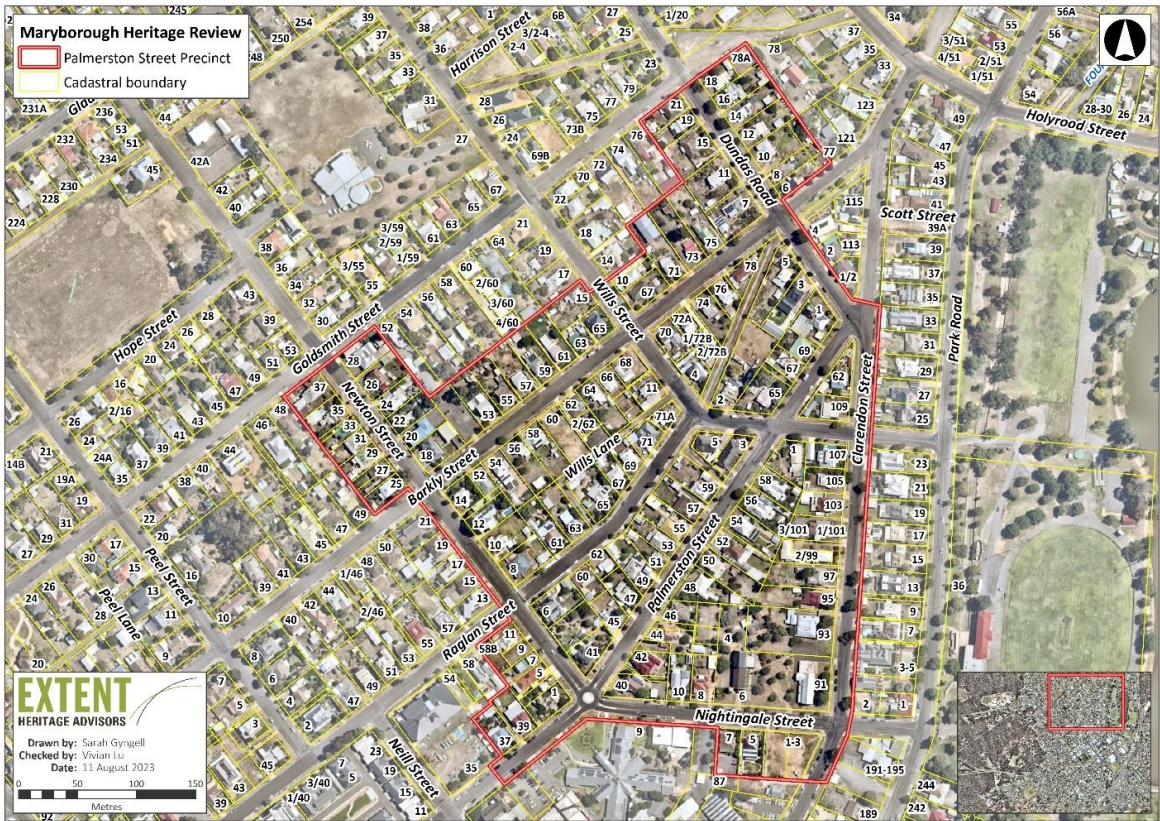


Figure 2. Aerial map showing boundary of Palmerston Street Precinct.



Statement of Significance

What is significant?

The Palmerston Street Precinct, primarily comprising a large residential area along with a church, school and associated buildings, bounded by Goldsmith Street, Dundas Road, Clarendon Street, Nightingale Street, Newton Street, Wills Street, Barkly Street, Raglan Street, Palmerston Street, Maryborough, is locally significant.

The precinct comprises significant, contributory, and non-contributory graded properties.

Significant properties include:

- 91 and 93 Clarendon Street, Maryborough
- 6 Nightingale Street, Maryborough;
- 1 and 6 Newton Street, Maryborough;
- 37, 39, 41, 42, 46, 52, 54, 56 and 58 Palmerston Street, Maryborough.

Refer to the grading table for the full list of properties.

Character elements that contribute to the significance of the precinct include:

- The consistent allotment patterns created by the nineteenth and twentieth century subdivisions;
- The Victorian-era church and associated school building, otherwise known as the Christ the King Church at the corner of Nightingale and Clarendon Street, designed in the Victorian Romanesque style with the church constructed of bluestone and the school of brick;
- The regularity and harmony of freestanding Victorian era residences characterised by hipped roof forms, weatherboard or face brick, deep verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery;
- The regularity and harmony of freestanding Federation era residences characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and timber sash windows;
- Interwar era development including a mixture of California bungalow forms and Spanish Mission residences, many with Classical Revival elements, and primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;
- Sympathetic postwar development characterised by hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. These buildings are generally complementary to the overall massing, scale, setbacks and materials of earlier Victorian and Federation housing stock;



- The retention of original and/or sympathetic low front fences of timber picket, iron palisade and brick masonry. Of particular significance are the fences at 44 Palmerston Street and 61 Raglan Street;
- The general uniformity of allotments, setbacks and low-scale building heights across the housing stock;
- The mature Canary Island Palms (*Phoenix canariensis*) at 97 Clarendon Street, 37 and 41 Palmerston Street, and 3 and 11 Dundas Road and the Mexican Hawthorn tree (*Crataegus stipulacea*) at 42 Palmerston Street.

How is it significant?

The Palmerston Street Precinct is of local historical, representative, and aesthetic significance to the Central Goldfields Shire.

Why is it significant?

The Palmerston Street Precinct is of historical significance to the township of Maryborough as a continuation of the original government survey of Maryborough which occurred in the 1850s. Clarendon Street and Nightingale Street formed part of the original township whilst Palmerston Street formed part of the site occupied by the Californian Gully Lead. The building stock of the precinct, constructed in distinct phases including the mid to late Victorian period, early Federation years and the Interwar as well as early Postwar period, not only forms a tangible link to the area's early development as a Gold Rush town but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries. The Palmerston Street Precinct provides an effective portrait of the town's broader development from the mid nineteenth to the mid twentieth century. (Criterion A)

The Palmerston Street Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, Interwar and Postwar era architectural styles. They illustrate the key phases of emergence, growth, and consolidation of the township of Maryborough. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit key architectural features of their respective eras. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, deep verandahs, timber fretwork or cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and timber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in goldmining towns. (Criterion D)

The Palmerston Street Precinct is of aesthetic significance for the inclusion of individual examples of high-quality Victorian, Federation and Interwar era buildings that reflect the



economy and development of the township from the mid-nineteenth century. These include the impressive Victorian Romanesque church at 6 Nightingale Street characterised by a buttressed bluestone structure, steep pitched roof clad with slate tiles, open gable porch, bell tower and grouped arched windows with leadlight; the school building at 91 Clarendon Street characterised by a buttressed brick structure, steep pitched roofs, open gables, and lancet windows; the more elaborate examples of late Victorian era dwellings at 93 Clarendon Street, 1 and 6 Newton Street, 37, 39, 41, 56 and 58 Palmerston Street characterised by weatherboard or polychrome brick, hipped roofs with bracketed eaves, and deep verandahs with timber fretwork or cast iron filligree; the notable Federation/Edwardian residence at 42 Palmerston Street characterised by half-timbered open gables with a hipped roof, deep return verandah with timber valence and expressed window frames with decorative mouldings; the Spanish Mission residence with classical revival elements at 46 Palmerston Street comprising classically inspired stuccoed front façade consisting of a rounded front porch, with paired Tuscan columns and a decorative baluster parapet imitating a faux balcony; and the California bungalow examples at 52 and 54 Palmerston Street with their wide gabled roofs, exposed eaves, verandahs supported by brick piers and expressed timber frames. (Criterion E)

HERCON Criteria Assessment

A	<i>Importance to the course, or pattern of our cultural or natural history</i>	The Palmerston Street Precinct is of historical significance to the township of Maryborough as a continuation of the original government survey of Maryborough which occurred in the 1850s. Clarendon Street and Nightingale Street formed part of the original township whilst Palmerston Street formed part of the site occupied by the Californian Gully Lead. The building stock of the precinct, constructed in distinct phases including the mid to late Victorian period, early Federation years and the Interwar as well as early Postwar period, not only forms a tangible link to the area's early development as a Gold Rush town but also highlights the subsequent phase of development associated with the transition from goldmining to manufacturing and other allied industries. The Palmerston Street Precinct provides an effective portrait of the town's broader development from the mid nineteenth to the mid twentieth century.
B	<i>Possession of uncommon, rare or endangered aspects of our cultural or natural history</i>	The place does not meet this criterion.
C	<i>Potential to yield information that will contribute to an understanding of our cultural or natural history</i>	The place does not meet this criterion.
D	<i>Important in demonstrating the principal characteristics of a class of cultural or natural places or environments</i>	The Palmerston Street Precinct is of representative significance as an area composed of characteristic examples of Victorian, Federation, Interwar and Postwar era architectural styles. They illustrate the key



		<p>phases of emergence, growth, and consolidation of the township of Maryborough. Collectively, the buildings not only retain a high degree of integrity and demonstrate cohesion in terms of forms, materials, setbacks, and heights, but also exhibit key architectural features of their respective eras. The Victorian development is characterised by hipped roof forms, weatherboard or face brick, deep verandahs, cast iron lacework, corbelled chimneys, decorative brackets and timber joinery; the Federation development is characterised by half-timbered gable ends, hipped and gabled roof forms, weatherboard or face red brickwork, verandahs with timber valences, and timber sash windows; the interwar development exhibits a mixture of styles primarily characterised by hipped roof forms, weatherboard or brick and stucco, brickwork detailing and timber framed sash windows; whilst the sympathetic post war development exhibits hipped roofs, weatherboard, stepped built forms, open verandahs, and brick chimneys. The garden suburb setting predominantly characterised by detached residences with generous allotment size, setbacks and substantial rear gardens is also of particular note and illustrates the principal elements of residential development in goldmining towns.</p>
E	Importance in exhibiting particular aesthetic characteristics	<p>The Palmerston Street Precinct is of aesthetic significance for the inclusion of individual examples of high-quality Victorian, Federation and Interwar era buildings that reflect the economy and development of the township from the mid-nineteenth century. These include the impressive Victorian Romanesque church at 6 Nightingale Street characterised by a buttressed bluestone structure, steep pitched roof clad with slate tiles, open gable porch, bell tower and grouped arched windows with leadlight; the school building at 91 Clarendon Street characterised by a buttressed brick structure, steep pitched roofs, open gables, and lancet windows; the more elaborate examples of late Victorian era dwellings at 93 Clarendon Street, 1 and 6 Newton Street, 37, 39, 41, 56 and 58 Palmerston Street characterised by weatherboard or polychrome brick, hipped roofs with bracketed eaves, and deep verandahs with timber fretwork or cast iron filligree; the notable Federation/Edwardian residence at 42 Palmerston Street characterised by half-timbered open gables with a hipped roof, deep return verandah with timber valence and expressed window frames with decorative mouldings; the Spanish</p>



		Mission residence with classical revival elements at 46 Palmerston Street comprising classically inspired stuccoed front façade consisting of a rounded front porch, with paired Tuscan columns and a decorative baluster parapet imitating a faux balcony; and the California bungalow examples at 52 and 54 Palmerston Street with their wide gabled roofs, exposed eaves, verandahs supported by brick piers and expressed timber frames.
F	<i>Importance in demonstrating a high degree of creative or technical achievement at a particular period</i>	The place does not meet this criterion.
G	<i>Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of the continuing and developing cultural traditions</i>	The place does not meet this criterion.
H	<i>Special association with the life or works of a person, or group of persons, of importance in our history.</i>	The place does not meet this criterion.
	Significance level	Local

Description

Physical Analysis

The Palmerston Street Precinct occupies a triangular extent of land mainly centred along Palmerston Street, Raglan Street and Barkly Street. The precinct is bounded by Clarendon Street to the east, Nightingale and Newton Street to the south and southwest, Barkly Street to the northwest, and Dundas Road to the north. The precinct is characterised by wide, open streets and nature strips with concrete kerbing, footpaths, and crossovers. The nature strips are generally planted with a variety of interspersed semi-mature trees.



Figure 3. View southeast along Newton Street, Maryborough.



Figure 4. View southwest along Barkly Street, Maryborough.

The predominantly residential precinct comprises a diverse collection of single-storey Victorian, Federation and Interwar era residences ranging from modest Victorian and Federation era workers' cottages to substantial, affluent residences. Victorian era residences including both modest cottages and substantial villas, typically present a single fronted symmetrical form of weatherboard construction, with varied applied ornamentation. Federation and Interwar era residences typically present a double fronted form with half-timbered gables and brick balustrades to the front porches. Modest Federation and Interwar era residences are typically clad with weatherboard or fibro, with more substantial examples of face brick.

The Palmerston Street Precinct includes some religious buildings such as the Christ the King Anglican Church at 6 Nightingale Street and the Kingdom Hall of Jehovah's Witnesses at 20 Newton Street. The Christ the King Anglican Church dates to 1860 and consists of a Victorian Romanesque style church. The buttressed bluestone block structure fronts Nightingale Street and features a steeply pitched, open gable, slate tiled roof, an open gable porch and a bell tower. The church building includes a rear gable extension and a steep pyramidal roof clad with corrugated sheet metal topping the bell tower.



Figure 5. Christ the King Anglican Church.



Figure 6. Former school building and church.

In addition to the church and former school, the street includes a pair of Interwar era residences with Arts and Crafts influences at 5 and 7 Nightingale Street. The residences contain face brick and rendered open gables with hipped and gabled terracotta Marseilles tiled roofs and face



brick chimneys. The key characteristic of the Arts and Crafts style can be seen in the projecting open gable front porch with low pitched roofs and wide arched fenestration.



Figure 7. 5 Nightingale Street, Maryborough.



Figure 8. 7 Nightingale Street, Maryborough.

Clarendon Street forms the eastern precinct boundary and includes residences along the western side of the street. Located to the east of the Christ the King Church at 91 Clarendon Street is a former school building dating to 1864. The buttressed face red brick building with arched windows and weatherboard clad gabled roof, mirrors the church form. 93 Clarendon Street, which was built as the vicarage, is located to the rear of the Christ the King Church and former school allotment. It consists of a substantial face red brick Victorian villa set on a deep allotment featuring a deep return verandah with timber fretwork, intact chimneys, and bay window. It presents a deep setback with a bluestone block foundation course along the street front boundary. Other Victorian era residences include 95, 101, and 107 Clarendon Street (highly altered). The street also includes a Federation era residence at 97 Clarendon Street, and California Bungalows at 103 and 105 Clarendon Street.



Figure 9. 93 Clarendon Street, Maryborough.



Figure 10. 97 Clarendon Street, Maryborough.

Newton Street extends northwest from the junction of Palmerston Street and Nightingale Street. The street includes Victorian era residences at 1, 6, 7, 8, 10, 11, 22, and 35 Newton Street. A Federation era residence can be observed at 24 Newton Street and Interwar era residences at 12, 14, 18, 25, 26, 27, 29, 31, and 33 Newton Street. It also includes a postwar era community hall building presently used as the Kingdom Hall of Jehovah's Witnesses at 20 Newton Street.



Figure 11. 6 Newton Street, Maryborough.



Figure 12. 22 Newton Street, Maryborough.



Figure 13. 8 Newton Street, Maryborough.



Figure 14. 31 Newtown Street, Maryborough.

Palmerston Street includes Victorian, Federation, interwar and postwar era residences. Victorian residences can be seen at 37, 39, 41, 45, 49, 56, 58, 59, 65, and 67 Palmerston Street, Federation era residences at 42, 48 and 62 Palmerston Street, and Interwar era residences at 44, 46, 47, 50, 52, 53, 54, and 57 Palmerston Street. A number of significant Victorian era residences are situated around the junction with Nightingale Street. These include the single fronted weatherboard villa with cast-iron filigree at 37 Palmerston Street, the double fronted weatherboard villa with cast iron filigree at 39 Palmerston Street, and the single fronted villa with fine face brick detailing and cast-iron filigree at 41 Palmerston Street. The residence at 42 Palmerston Street is unique as it was originally constructed in 1888 in the Victorian style but underwent extensive works during the early twentieth century that contribute to its Federation character reminiscent of the Queen Anne style. The face red brick villa comprises of half-timbered open gables with a hipped roof, deep return verandah with timber valence and expressed window frames with decorative mouldings. The interwar Spanish Mission residence with classical revival elements at 46 Palmerston Street presents a distinct, classically inspired front stuccoed façade consisting of a rounded front porch with paired columns and a decorative baluster parapet imitating a faux balcony. The residences at 42 and 46 Palmerston Street are outstanding examples within the precinct.



Figure 15. 37 Palmerston Street, Maryborough.



Figure 16. 39 Palmerston Street, Maryborough.



Figure 17. 41 Palmerston Street, Maryborough.



Figure 18. 42 Palmerston Street, Maryborough.



Figure 19. 46 Palmerston Street, Maryborough.



Figure 20. 52 Palmerston Street, Maryborough.

Raglan Street predominantly consists of Interwar and postwar era residences. These include Interwar era residences at 61, 63, 67, and 69 Raglan Street. The only Victorian era residence can be observed at 65 Raglan Street. Barkly Street predominantly consists of Victorian and Interwar era residences. Victorian residences can be observed at 56, 61, 64, 71, 72A, 73, 74, and 75 Barkly Street, and Interwar era residences at 53, 54, 55, 57, 58, 59, 63, 65, 66, 68, and 70 Barkly Street. The only Federation/Edwardian era house can be observed at 76 Barkly Street.



Figure 21. 72 Barkly Street, Maryborough.



Figure 22. 75 Barkly Street, Maryborough.

Victorian weatherboard cottages are present at 2, 10, 11 and 15 Wills Street and a Federation weatherboard open gable residence with timber fretwork and shaped valences is present at 1 Wills Street.

Dundas Road forms the northern boundary of the precinct. It consists mainly of modest Victorian weatherboard clad cottages with a symmetrical single fronted façade. Victorian residences can be observed at 1, 3, 5, 6, 7, 14, 16, 18, and 19 Dundas Road. Within the group, 5 Dundas Road features a symmetrical front façade consisting of a pair of flush weatherboard clad open gables. 12 Dundas Road presents a Federation era residence, and 11 Dundas Road is an Interwar era residence.



Figure 23. 5 Dundas Road, Maryborough.



Figure 24. 14 Dundas Road, Maryborough.

Early postwar era residences typically characterised by weatherboard cladding, hipped roofs, stepped form and often with a balcony and narrow rectangular brick chimney block are dotted throughout the precinct. These residences can be observed at 78 Barkly Street, 10 and 21 Dundas Road, 14 and 37 Newton Street, 55 Palmerston Street, 71A Raglan Street and 4 Wills Street.

The housing stock within the precinct presents a large and diverse group of single-storey Victorian, Federation/Edwardian, interwar and postwar era residences. Residences along Clarendon Street and Palmerston Street generally consist of larger villas and, while less opulent than the residences along Park Road, are considerably affluent examples of Victorian, Federation and interwar residences within the precinct. Areas towards the western extents of the precinct generally consist of modest Victorian and Federation cottages, typically presenting



simple symmetrical forms, weatherboard cladding and minimal detailing. The area also presents a higher concentration of interwar era residences framing the development period of the precinct. Residences within the precinct present varied setbacks with low front fences or open front yards. Sympathetic front fences and walls typically consist of timber picket or crimp wire fences to Victorian and early Federation era residences, and low brick walls to Federation and Interwar era residences. Notable examples include 44 Palmerston Street and 61 Raglan Street.

Non-contributory residences including Postwar Austerity residences are located interspersed throughout the precinct. While general development trends can be observed, the diversity of the housing stock is a prominent feature of the precinct. Due to the simple massing, form, and detailing of the residences, additions such as front and rear garage and carports, and solar panels are visually prominent from the public domain. Additional interspersed non-contributory residences further reduce the overall integrity of the precinct.

Alterations and Additions

- Residences generally include single storey rear extensions to various extents which are typically not visible from the public domain unless located on a corner allotment.
- Residences include side or rear garage and carport additions with varied visibility from the public domain. Garage and carport additions that are highly visible from the public domain include 101, 103 and 107 Clarendon Street, 54, 58 and 59 Barkly Street, 7 and 8 Nightingale Street, 24 and 28 Newton Street, 49, 51, 53, and 55 Palmerston Street, and 10 Wills Street.
- A number of residences include solar panels along the front roof plane, as seen at 107 Clarendon Street, 37 Newton Street, 54 and 58 Barkly Street and 1 Dundas Road.
- Some intrusive alterations to otherwise contributory residences including but not limited to the removal of original detailing, contemporary fenestration, new paint schemes, and addition of unsympathetic front fences or walls.
- Mid-late post-war infill development at 8 Nightingale Street, 99 Clarendon Street, 40, 57 and 69 Palmerston Street, 60 and 62 Raglan Street, No. 67 Barkly Street, No. 2, 8, and 15 Dundas Road, 20 Newtown Street and No. 3 and 5 Wills Street.
- Contemporary infill development at 3 Nightingale Street, 5 Newton Street, 4 Dundas Road, 52 and 72B Barkly Street, 113 Clarendon Street, and 71 Raglan Street.

Palmerston Road Precinct is in good to fair condition and is of moderate integrity overall.

** Denotes element that detracts from the cultural significance of the place.*



History

Historical Context

For thousands of years preceding European colonialism, the land and environmental surrounds presently known as Maryborough was home to the Dja Dja Wurrung peoples of the North-Western Kulin Nation. Dominated by wooded and hilly environments intersected by streams and valleys, the area would have provided them with an abundance of plant and animal resources integral to their way of life, including kangaroo grass, yam daisies (murnong), possums and kangaroos. Meanwhile, the Dja Dja Wurrung also drew upon their knowledge of the land to establish complex rock wells that could take advantage of fresh and clean water (Osborn and DuBourg 2011, 15-16). The onset of colonialism not only saw the transformation of these landscapes, but also Dja Dja Wurrung deaths through violence and the introduction of diseases, and displacement through land dispossession and the establishment of an Aboriginal Protectorate Station in the nearby Franklinford area (Osborn and DuBourg 2011, 14). Despite desecration and loss following the onset of European colonisation, the rich cultural heritage of Traditional Owners is still evident in the suburb and its surrounds today, as can be seen in the Bully Gully rock wells and in the Carisbrook stone arrangements (Osborn and DuBourg 2011, 15-16, 18). Today, the Dja Dja Wurrung peoples continue to maintain an enduring connection to Country through continued resistance and passing down of Indigenous knowledge.

Settler colonialism in Maryborough was spurred by Major Mitchell's reports of Port Phillip's lush pastures suitable for grazing in 1836, which subsequently saw squatters transform the area into a sheep run by the 1840s (Osborn and DuBourg 2011, 40). The Simson brothers established Charlotte Plains Station near Carisbrook in 1840, while couple Edward Gittins Bucknall and Sarah Bucknall settled in Rodborough for pastoral pursuits by 1844 (Osborn and DuBourg 2011, 2; Jerry 1935).

The area's sparse pastoral character was transformed once more following the first colonial discovery of gold in the town in March 1853, which precipitated a flurry of migration to the area (Flett 1975). By 1854, the population of the Maryborough District was estimated at 25,000, and the town was consequently surveyed into allotments by W. A Taylor in 1855 (Osborn and DuBourg 2011, 30; Geelong Advertiser and Intelligencer 1855, 2). A burgeoning mining town, the main township comprised several hotels, shops, a hospital, police reserve, postal office, courthouse, bank, brewery and recreation reserve by 1856 (Surveyor-General's Department 1856). Meanwhile, the miners themselves resided in designated camp reserves, including the main 'Second Camp Reserve' west of Clarendon Street (Surveyor-General's Department 1856). Compounding this landscape by the 1860s were also places associated with Chinese settlement in the area, including Chinese owned stores, cookshops and market gardens—however, these sites were primarily situated in Chinese encampments just outside of the main township, such as Chinaman's Camp and Mosquito Gully (Osborn and DuBourg 2011, 67; Maryborough and Dunolly Advertiser 1862, 2).



Figure 25. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing Second Camp Reserve, commercial development along High Street and available allotments. *Source:* Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FEB86214ED5?image=1>.

Although Maryborough continued to expand throughout the late nineteenth century, as evident in establishment of more ornate Victorian residences and civic facilities throughout the 1870s and 1880s, including the Italianate style Maryborough Post Office in 1876-77 (HO146/VHR 1754), Free Classical style Maryborough Town Hall in 1888 (HO174/VHR H2152), and the opening of the Queen Anne Revival style Maryborough Railway Station (HO134/VHR H1577) in 1892, growth ultimately stabilised by the 1910s due to a gradual decline in gold mining (The Australian Directory 1903; Osborn 1995, 126).

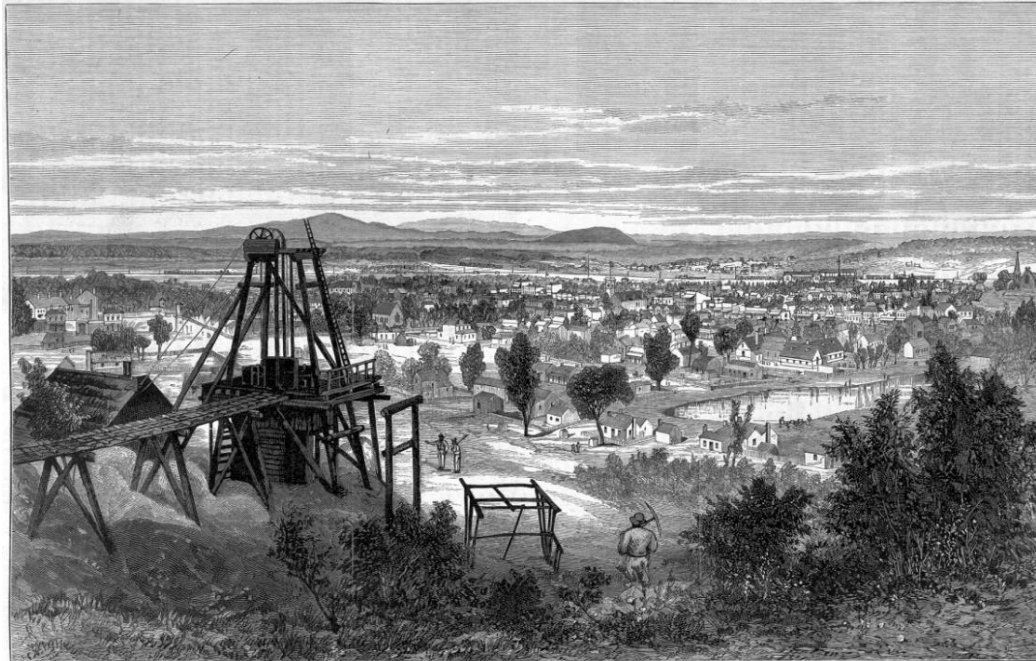


Figure 26. 1881 sketch of Maryborough township, looking south-west. *Source:* May, A & Alfred Martin Ebsworth. 1881. *Maryborough*. Print: wood engraving. Accession no. A/S22/10/81/340. State Library of Victoria. <http://handle.slv.vic.gov.au/10381/257854>.

The downturn in gold mining saw the town's economy transition into manufacturing by the 1920s, the most noted of which included the erection of the Maryborough Knitting Mills in 1924 (Osborn 1995, 196-198). The next decade also saw the advent of electrical power, the establishment of recreational facilities and the development of substantial interwar villas on the town's former gaol site bounded by Inkerman, Goldsmith, Peel and Barkly Streets, as can be seen at the fine Interwar Revival style dwellings at 21-23 Barkly Street (Osborn 1995, 264).

The last distinct phase of development in the suburb would take place in the post-war period, which saw major sewerage works and intense housing expansion in response to the town's ongoing housing shortage during the early 1950s (Osborn 1995, 132). Notably, a substantial portion of post-war housing developments comprised prefabricated timber houses manufactured by the Housing Commission factory in Carisbrook operated by W. Phelan and Sons Pty Ltd (The Argus 1944, 3; Construction 1947, 2). This wave of residential development reflected the continued prosperity of industry in the township, which was proclaimed as the 'Industrial Centre of the Midlands' by 1950 (The Herald 1950, 4). While Maryborough's manufacturing sector continued to expand until the end of the 1960s, its downturn from the 1970s onwards saw Maryborough turn to tourism as the main industry. Today, Maryborough's streetscapes reflect its multilayered history, with buildings ranging from grand Victorian era civic structures and Moderne style factories to post-war prefabricated residences.

Place History

Clarendon and Nightingale Streets in the Palmerston Street Precinct formed part of the original township subdivision. Whilst sections and allotments are visible around these two streets, the area to the north and northwest of what is now Palmerston Street, remained unsurveyed at the time (refer Figure 27). This area was occupied by the Californian Gully Lead, one of the major sites used for mining operations during the Victorian Gold Rush. The 1856 Gilks map also shows the structures present with wooden buildings hatched and tents outlined (refer Figure 27).

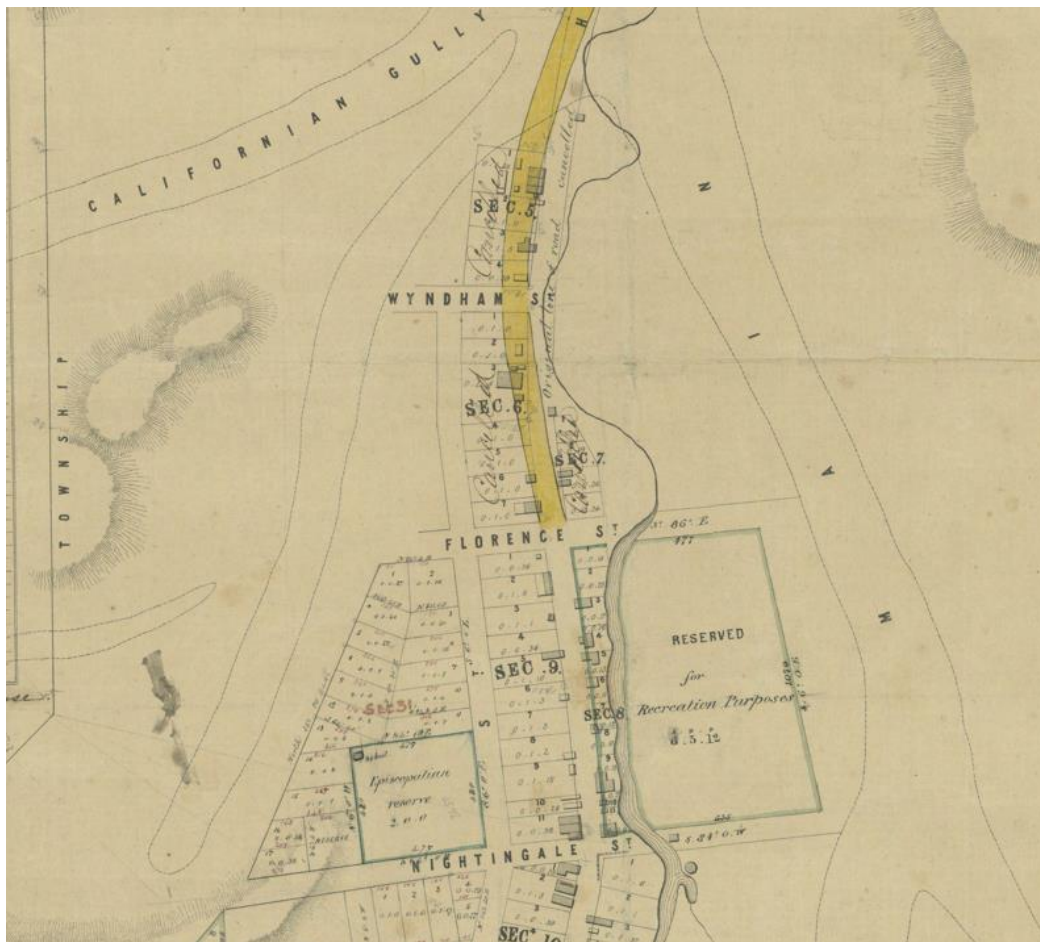


Figure 27. Extract from 1856 map of Maryborough (surveyed in 1855 by W. A. Taylor) showing the Californian Gully Lead and allotments along Clarendon and Nightingale Streets. Source: Gilks, E. 1856. *Township of Maryborough, County of Talbot*. Historical Plan Collection VPRS 8168/P0002, DIST17. Public Records Office Victoria. <https://prov.vic.gov.au/archive/58ADC7F8-F840-11E9-AE98-5FEB86214ED5?image=1>.

The early structures in the township of Maryborough were a mixture of primitive modest buildings and more elaborate civic structures associated with the wealth derived from the Gold Rush. The transient nature of this early development is illustrated by the fact that besides



churches and some public buildings, not many buildings from the first two decades of the township have survived (Bick et al. 1992, 31).

The 1856 Gilks map shows the presence of the 'Episcopalian Reserve' (later known as Church of England Reserve) (refer Figure 27). Tenders were called for a church on the reserve in 1858 with a maximum budget of £1500. Nathaniel Billing was chosen as the architect whilst Daniel Williams, who built the Maryborough gaol, was chosen as the builder (Osborn and DuBourg 2011, 139). The Christ Church (also known as Church of England and today the Christ the King Church) was constructed and opened in 1860. The Anglican church, as built in 1860, can be seen in a photograph from c.1866 (refer Figure 28). An 1874 image shows the presence of an open gable porch and bell tower which were most likely added to the church sometime between 1866-1874 (refer Figure 29). A chancel was added in 1909 and a vestry in 1969 (Bick et al. 1992). The pyramidal roof of the bell tower is missing in a photograph from 1972, however it is present in a photograph from 1979 which means that it was constructed between 1972-1979 (refer Figure 30 & Figure 31).

Tenders were advertised and a brick schoolhouse was erected in 1864, to the east of the church building (refer Figure 28). The schoolhouse was modelled on English school buildings with modifications to suit Australian conditions (Osborn and DuBourg 2011, 136). The church was extensively altered in the twentieth century, and these works most likely included the removal of the porch seen in the c.1866 photograph. The residence at 93 Clarendon Street was formerly included as part of the Church of England Reserve (available archival sources did not identify the construction date for the house). Now on its own allotment, it comprises a Victorian brick villa that seems to have been constructed as vicarage for the neighbouring Anglican church.



Figure 28. The Christ the King Church (background) and associated school building (foreground).
Source: Unknown. c.1866. *Church of England, and School, Maryboro'*. Photograph: albumin silver.
Accession no. H2936. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE22315688&mode=browse>.



Figure 29. The Christ the King Church with the addition of the open gable porch and bell tower. *Source:* Weller, J. 1874. *Church of England, Maryborough, Victoria, 1874*. Photograph: albumin silver. Accession no. H82.41/1 & LTA 1475. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE22139486&mode=browse>.



Figure 30. View of the bell tower without its pyramidal roof. *Source:* Collins, J. 1972. *Maryborough Church of England*. Photograph: gelatin silver. In collection: J. T. Collins. Accession no. H98.250/100. State Library of Victoria. <https://viewer.slv.vic.gov.au/?entity=IE5615882&mode=browse>.



Figure 31. View of bell tower with pyramidal roof. *Source:* Collins, J. 1979. Maryborough. *Christ Church, Nightingale St.* Photograph: gelatin silver. In collection: J. T. Collins. State Library of Victoria.
<https://viewer.slv.vic.gov.au/?entity=IE5657981&mode=browse>.

The Victorian brick house at 101 Clarendon Street was constructed in 1876 and is known to be one of the oldest brick dwellings in the town (Bick et al. 1992). The house had a longstanding association with the early history of education in Maryborough, with various educators occupying the house in the mid-late nineteenth century. The weatherboard house at 10 Nightingale Street was constructed in 1883 and was also utilised for education purposes. The house, owned by pioneer squatter Alfred Joyce, was used as a school for girls and run by his daughters Florence and Lilian in the 1880s. In 1895, it was reestablished as a kindergarten by his other daughter Cecile Joyce who owned and lived in the house well into the 1940s (Bick et al. 1992).

The neighbouring residence at 42 Palmerston Street was also owned by the Joyce family. Constructed in 1888, the building underwent additions c.1908 and again in the 1920s (Bick et al. 1992). The house was initially owned by Alfred Joyce, into the 1890s, and later by his daughter Cecilia. From 1907 to 1930s, the house was owned by George Lucas, a well-known Maryborough draper (Bick et al. 1992).

The Victorian weatherboard residence at 1 Newton Street was constructed in 1896. The residence was the home of Henry Neville Phillips, Maryborough's seventh Town Clerk, from 1888 until his death in 1935 (Bick et al. 1992). Phillips was also responsible for the design of the rotunda in Princes Park, completed at the time of Maryborough's golden jubilee (Bick et al. 1992).



Constructed in 1924, the house at 97 Clarendon Street was owned by painters Leslie and Sydney Palmer (Bick et al. 1992). The Palmer's continued to own the property until 1936-37. Although constructed in the interwar period, the house exhibits Federation style features.

'California,' the interwar house at 46 Palmerston Street, was constructed in 1925. It was owned by manufacturer George Patience, who along with tool engineer Francis Nicholson, established the company Patience and Nicholson in 1924 (Bick et al. 1992). The company was instrumental in helping Maryborough transition and survive as a town post the Gold Rush era. 'California' was occupied by George Patience till 1932 and the house was later owned by another Maryborough businessman (Bick et al. 1992).

Construction dates for other notable properties within the precinct include 6 Newton Street (c.1900), 37 Palmerston Street (c.1890), 39 Palmerston Street (c.1900), 41 Palmerston Street (1890), 52 and 54 Palmerston Street (c.1930s), 56 and 58 Palmerston Street (c.1900) (Bick et al. 1992). The precinct today is still predominantly residential with the exception of the few religious buildings.

Comparative Analysis

As a regional pocket in Central Victoria rapidly transformed by the discovery of gold, the development and consolidation of the Maryborough township from the mid-nineteenth century onwards is readily comparable to several mid-scale Gold Rush centers that are scattered across the Goldfields region of Central and Western Victoria. As similarly demonstrated in the goldfields townships of Castlemaine, Ararat, Creswick, Maldon and Dunolly, this historical development pattern broadly consists of intense civic, commercial and residential development concentrated in the original town center throughout the 1850s and 1880s following the discovery of gold, and further residential development along newly established streets surrounding the original town center throughout the 1880s and early 1900s. In the case of Maryborough, Castlemaine and Ararat, these phases were additionally followed by a renewed wave of subdivisions and infill development in the interwar period associated with the emergence of manufacturing industries (GML Heritage 2022, 55-57; Banfield 1974; Osborn 1995).

With streetscapes primarily comprised of a mixture mid-late Victorian, early twentieth century Federation and interwar era houses along with postwar infill development, the Palmerston Street Precinct illustrates steady residential growth in Maryborough as the economy transitioned from goldmining to manufacturing. In addition to the few comparable residential areas on the Heritage Overlay that are located within Maryborough, the Palmerston Street Precinct is also analogous to several extant late nineteenth and early twentieth residential precincts situated within the aforementioned goldfields towns outside of the municipality. As with examples in Maryborough, late nineteenth and early twentieth century residential areas in these goldfield towns are similarly characterised by rows of freestanding, modestly scaled weatherboard and brick residences set on generous allotments located inside and outside of the boundaries of the original township. This character parallels with historical developmental patterns associated with the Gold Rush and its aftermath. In the absence of comparable mid-scale goldfields towns and heritage places within the Central Goldfields Shire that are outside of Maryborough, these precincts provide a supplementary benchmark to substantiate the relative significance of the Palmerston Street Precinct.



Comparable examples include:

- **Raglan Street Precinct, Maryborough (Central Goldfields Shire HO TBC).** Raglan Street Precinct comprises a small residential area of properties constructed between c.1860s and 1930s. While it does not form part of the original 1855 township, it compares well as a cohesive group of Victorian, Federation and interwar era properties, interspersed with some postwar infill development. Although residences are generally more ornate and intact than those within the Palmerston Street Precinct, it is nevertheless comparable in terms of visual consistency stemming from consistent setbacks, materials, scale, detailing, and form despite some variation in styles and typology. Raglan Street Precinct also includes a church but lacks the associated school building and vicarage present in Palmerston Street Precinct.
- **Western Residential Precinct, Maryborough (Central Goldfields Shire HO TBC).** The Western Residential Precinct comprises a predominantly residential area featuring streetscapes of freestanding, single-storey Victorian, Federation and interwar era residences. Although the precinct lies completely outside the original township subdivision, it is comparable in terms of its consistent setbacks, materials, scale, detailing and form despite variation in styles and typology. Key comparative features include the incorporation of front verandahs, hipped or gabled roof forms generally clad with corrugated metal, weatherboard and timber materials, the modest application of ornamentation, and generous front and side setbacks. In addition to a church and associated school building, the Western Residential Precinct also contains a commercial hotel building, a typology missing from the Palmerston Street Precinct.
- **Camp Reserve and Environs, Castlemaine (HO668, Mount Alexander Shire).** The Camp Reserve and Environs compares as a large residential area characterised by a mixture of substantially intact, modestly scaled Victorian, Federation and interwar residences set on generously sized allotments. Although distinct in terms of its rising slopes and curvilinear road layouts, it nevertheless shares with Palmerston Street Precinct consistencies in scale, setbacks, materials, and forms, such as hipped and gabled roofs generally clad with corrugated metal, profiled chimneys, brick and timber materials, sash windows and a predominance of front verandahs. Unlike the Palmerston Street Precinct, the residential allotments do not form any part of the original township boundary and were instead gradually established following the subdivision of the 1851 Commissioner's Camp, which formerly served as the administrative centre for all of the Central Victorian goldfields. It does, however, retain several mid-nineteenth century buildings dating from its use as a Camp Reserve.

Based on the above comparative analysis, the Palmerston Street Precinct is a fine collection of Victorian, Federation and Interwar era buildings with Postwar residences scattered through the precinct. It compares well with other precincts in terms of the variation of styles and typologies exhibited but overall presents as a rather modest, slightly less intact precinct.



Precinct Map



Figure 32. Map showing individual property gradings within the Palmerston Street Precinct.



Grading Table

* S: Significant

C: Contributory

NC: Non-contributory

Refer to Heritage Victoria's Model brief for consultants (p.6) for explanation of designations.

Note: the Style/era column follows the architectural style categories set out in Heritage Victoria's HERMES Orion heritage database and does not necessarily reflect the date of construction. For details on construction era(s) where available, refer to the Place History section.

Street address	Place type	Style/era	Grading
52 Barkly Street, Maryborough	Residential	Contemporary	NC
53 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
54 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
55 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
56 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
57 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
58 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
59 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
60 Barkly Street, Maryborough	Empty block	N/A	NC
61 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
62 Barkly Street, Maryborough	Residential	Contemporary	NC
63 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
64 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
65 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
66 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
67 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	NC



Street address	Place type	Style/era	Grading
68 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
70 Barkly Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
71 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72A Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
72B Barkly Street, Maryborough	Residential	Contemporary	NC
73 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
74 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
75 Barkly Street, Maryborough	Residential	Victorian Period (1851-1901)	C
76 Barkly Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
78 Barkly Street, Maryborough	Residential	Post-war Period (1945-1965)	C
91 Clarendon Street, Maryborough	Educational	Victorian Period (1851-1901)	S
93 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	S
95 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
97 Clarendon Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
99 Clarendon Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
101 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
103 Clarendon Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
105 Clarendon Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
107 Clarendon Street, Maryborough	Residential	Victorian Period (1851-1901)	C
109 Clarendon Street, Maryborough	Residential	Contemporary	NC
1 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C



Street address	Place type	Style/era	Grading
3 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
5 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
6 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
7 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	NC
10 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	C
11 Dundas Road, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
12 Dundas Road, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
14 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	NC
16 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
18 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
19 Dundas Road, Maryborough	Residential	Victorian Period (1851-1901)	C
21 Dundas Road, Maryborough	Residential	Post-war Period (1945-1965)	C
1 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	S
5 Newton Street, Maryborough	Residential	Contemporary	NC
6 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	S
7 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
8 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
9 Newton Street, Maryborough	Empty block	N/A	NC



Street address	Place type	Style/era	Grading
10 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
12 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
14 Newton Street, Maryborough	Residential	Post-war Period (1945-1965)	C
18 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
20 Newton Street, Maryborough	Religious	Post-war Period (1945-1965)	NC
22 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
24 Newton Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
25 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
26 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
27 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
28 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
29 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
31 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
33 Newton Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
35 Newton Street, Maryborough	Residential	Victorian Period (1851-1901)	C
37 Newton Street, Maryborough	Residential	Post-war Period (1945-1965)	C
1-3 Nightingale Street, Maryborough	Residential	Contemporary	NC
5 Nightingale Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
6 Nightingale Street, Maryborough	Religious	Victorian Period (1851-1901)	S



Street address	Place type	Style/era	Grading
7 Nightingale Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
8 Nightingale Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
10 Nightingale Street, Maryborough	Religious	Victorian Period (1851-1901)	C
37 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
39 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
40 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
41 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
42 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	S
44 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
45 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
46 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
47 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
48 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
49 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
50 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
51 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
52 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
53 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
54 Palmerston Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	S
55 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	C



Street address	Place type	Style/era	Grading
56 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
57 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
58 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	S
59 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
62 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
65 Palmerston Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
67 Palmerston Street, Maryborough	Residential	Victorian Period (1851-1901)	C
69 Palmerston Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
60 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
61 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
62 Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
63 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
65 Raglan Street, Maryborough	Residential	Victorian Period (1851-1901)	C
67 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
69 Raglan Street, Maryborough	Residential	Interwar Period (c.1910-c.1940)	C
71 Raglan Street, Maryborough	Residential	Contemporary	NC
71A Raglan Street, Maryborough	Residential	Post-war Period (1945-1965)	C
1 Wills Street, Maryborough	Residential	Federation/Edwardian Period (1902-c.1918)	C
2 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
3 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	NC



Street address	Place type	Style/era	Grading
4 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	C
5 Wills Street, Maryborough	Residential	Post-war Period (1945-1965)	NC
10 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
11 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C
15 Wills Street, Maryborough	Residential	Victorian Period (1851-1901)	C

References

Banfield, L. 1974. *Green pastures and gold: a history of Ararat*. Canterbury, Victoria: Mullaya Publications.

Bick, D, C Kellaway, P Milner and J Patrick. 1992. 'Maryborough Heritage Study 1992: Book 2 Clarendon St to Goldsmith St.' Unpublished report prepared for the Central Goldfields Shire. PDF file.

Bick, D, C Kellaway, P Milner and J Patrick. 1992. 'Maryborough Heritage Study 1992: Book 4 Majorca Rd to Wills St.' Unpublished report prepared for the Central Goldfields Shire. PDF file.

Bick, D, C Kellaway, P Milner and J Patrick. 1992. 'Maryborough Heritage Study 1992: Volume 2 Environmental History & Bibliography.' Unpublished report prepared for the Central Goldfields Shire. PDF file.

Construction (Sydney).

Flett, J. 1975. *Maryborough, Victoria: Goldfields History*. Glan Waverley: Poppet Head Press.

Geelong Advertiser and Intelligencer (Geelong).

GML. 2022. 'Maldon Historic Central Area Precinct Review: Stage 2 – Detailed Assessment.' Unpublished report prepared for the Mount Alexander Shire Council. PDF file.

Gordon & Gotch. 1903. *The Australian Handbook and Shippers' and Importers' Directory*. London: Gordon and Gotch.

Jeffrey, R, ed. 1934. *Victorian Personalities Past and Present: An Historical Review*. Melbourne: Pioneer Publishing Co.

Maryborough and Dunolly Advertiser (Maryborough).

Osborn, B. 1995. *Against the Odds: Maryborough 1905-1961*. Maryborough, Vic.: Central Goldfields Shire Council.



Osborn, B and DuBourg, T. 2011. *Maryborough: A Social History 1854-1904*. Maryborough: Central Goldfields Shire Council.

The Argus (Melbourne).

The Herald (Melbourne).

Limitations

1. Access to all heritage places was limited to visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not accessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. The historical notes provided for this citation are not considered to be an exhaustive history of the site.
4. All photographs included in this document have been taken by Extent Heritage Pty Ltd unless otherwise sourced.

Further Images



Figure 33. 52 Barkly Street, Maryborough.



Figure 34. 53 Barkly Street, Maryborough.



Figure 35. 54 Barkly Street, Maryborough.



Figure 36. 55 Barkly Street, Maryborough.



Figure 37. 56 Barkly Street, Maryborough.



Figure 38. 57 Barkly Street, Maryborough.



Figure 39. 58 Barkly Street, Maryborough.



Figure 40. 59 Barkly Street, Maryborough.



Figure 41. 60 Barkly Street, Maryborough.



Figure 42. 61 Barkly Street, Maryborough.



Figure 43. 62 Barkly Street, Maryborough.



Figure 44. 63 Barkly Street, Maryborough.



Figure 45. 64 Barkly Street, Maryborough.



Figure 46. 65 Barkly Street, Maryborough.



Figure 47. 66 Barkly Street, Maryborough.



Figure 48. 67 Barkly Street, Maryborough.



Figure 49. 68 Barkly Street, Maryborough.



Figure 50. 70 Barkly Street, Maryborough.



Figure 51. 71 Barkly Street, Maryborough.



Figure 52. 72 Barkly Street, Maryborough.



Figure 53. 73 Barkly Street, Maryborough.



Figure 54. 74 Barkly Street, Maryborough.



Figure 55. 75 Barkly Street, Maryborough.



Figure 56. 76 Barkly Street, Maryborough.



Figure 57. 78 Barkly Street, Maryborough.



Figure 58. 91 Clarendon Street, Maryborough.



Figure 59. 93 Clarendon Street, Maryborough.



Figure 60. 95 Clarendon Street, Maryborough.



Figure 61. 97 Clarendon Street, Maryborough.



Figure 62. 99 Clarendon Street, Maryborough.



Figure 63. 101 Clarendon St, Maryborough.



Figure 64. 103 Clarendon Street, Maryborough.



Figure 65. 105 Clarendon Street, Maryborough.



Figure 66. 107 Clarendon Street, Maryborough.



Figure 67. 109 Clarendon Street, Maryborough.



Figure 68. 1 Dundas Road, Maryborough.



Figure 69. 3 Dundas Road, Maryborough.



Figure 70. 5 Dundas Road, Maryborough.



Figure 71. 6 Dundas Road, Maryborough.



Figure 72. 7 Dundas Road, Maryborough.



Figure 73. 8 Dundas Road, Maryborough.



Figure 74. 10 Dundas Road, Maryborough.



Figure 75. 11 Dundas Road, Maryborough.



Figure 76. 12 Dundas Road, Maryborough.



Figure 77. 14 Dundas Road, Maryborough.



Figure 78. 15 Dundas Road, Maryborough.



Figure 79. 16 Dundas Road, Maryborough.



Figure 80. 18 Dundas Road, Maryborough.



Figure 81. 19 Dundas Road, Maryborough.



Figure 82. 21 Dundas Road, Maryborough.



Figure 83. 1 Newton Street, Maryborough.



Figure 84. 5 Newton Street, Maryborough.



Figure 85. 6 Newton Street, Maryborough.



Figure 86. 7 Newton Street, Maryborough.



Figure 87. 8 Newton Street, Maryborough.



Figure 88. 11 Newton Street, Maryborough.



Figure 89. 10 Newton Street, Maryborough.



Figure 90. 12 Newton Street, Maryborough.



Figure 91. 14 Newton Street, Maryborough.



Figure 92. 18 Newton Street, Maryborough.



Figure 93. 20 Newton Street, Maryborough.



Figure 94. 22 Newton Street, Maryborough.



Figure 95. 24 Newton Street, Maryborough.



Figure 96. 25 Newton Street, Maryborough.



Figure 97. 26 Newton Street, Maryborough.



Figure 98. 27 Newton Street, Maryborough.



Figure 99. 28 Newton Street, Maryborough.



Figure 100. 29 Newton Street, Maryborough.



Figure 101. 31 Newton Street, Maryborough.



Figure 102. 33 Newton Street, Maryborough.



Figure 103. 35 Newton Street, Maryborough.



Figure 104. 37 Newton Street, Maryborough.



Figure 105. 1-3 Nightingale Street, Maryborough.



Figure 106. 5 Nightingale Street, Maryborough.



Figure 107. 6 Nightingale Street, Maryborough.



Figure 108. 7 Nightingale Street, Maryborough.



Figure 109. 8 Nightingale Street, Maryborough.



Figure 110. 10 Nightingale Street, Maryborough.



Figure 111. 37 Palmerston Street, Maryborough.



Figure 112. 39 Palmerston Street, Maryborough.



Figure 113. 40 Palmerston Street, Maryborough.



Figure 114. 41 Palmerston Street, Maryborough.



Figure 115. 42 Palmerston Street, Maryborough.



Figure 116. 44 Palmerston Street, Maryborough.



Figure 117. 45 Palmerston Street, Maryborough.



Figure 118. 46 Palmerston Street, Maryborough.



Figure 119. 47 Palmerston Street, Maryborough.



Figure 120. 48 Palmerston Street, Maryborough.



Figure 121. 49 Palmerston Street, Maryborough.



Figure 122. 50 Palmerston Street, Maryborough.



Figure 123. 51 Palmerston Street, Maryborough.



Figure 124. 52 Palmerston Street, Maryborough.



Figure 125. 53 Palmerston Street, Maryborough.



Figure 126. 54 Palmerston Street, Maryborough.



Figure 127. 55 Palmerston Street, Maryborough.



Figure 128. 56 Palmerston Street, Maryborough.



Figure 129. 57 Palmerston Street, Maryborough.



Figure 130. 58 Palmerston Street, Maryborough.



Figure 131. 59 Palmerston Street, Maryborough.



Figure 132. 62 Palmerston Street, Maryborough.



Figure 133. 65 Palmerston Street, Maryborough.



Figure 134. 67 Palmerston Street, Maryborough.



Figure 135. 69 Palmerston Street, Maryborough.



Figure 136. 60 Raglan Street, Maryborough.



Figure 137. 61 Raglan Street, Maryborough.



Figure 138. 62 Raglan Street, Maryborough.



Figure 139. 63 Raglan Street, Maryborough.

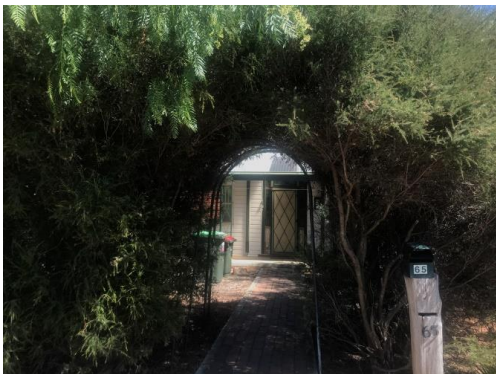


Figure 140. 65 Raglan Street, Maryborough.



Figure 141. 67 Raglan Street, Maryborough.



Figure 142. 69 Raglan Street, Maryborough.



Figure 143. 71 Raglan Street, Maryborough.



Figure 144. 71A Raglan Street, Maryborough.



Figure 145. 1 Wills Street, Maryborough.



Figure 146. 2 Wills Street, Maryborough.



Figure 147. 3 Wills Street, Maryborough.



Figure 148. 4 Wills Street, Maryborough.



Figure 149. 5 Wills Street, Maryborough.



Figure 150. 10 Wills Street, Maryborough.



Figure 151. 11 Wills Street, Maryborough.



Figure 152. 15 Wills Street, Maryborough.

Memo – heritage

To: Central Goldfields
From: [REDACTED]
Date: 2/18/2025 and 9/19/2025
Re: 10 Dundas Street Maryborough
HO206 – Maryborough Area

Comments:

19/09/2025 FURTHER ADVICE

Amended plans dated 11 September have been referred for review, following comments of 18 Feb 2025.

Whilst there are no clouds on the plans around the changes, I have compared the amended plans against those lodged and I notice the following changes:

- Replacement of corner windows with awning windows to Bed1 and Living area.
- Horizontal form of windows replaced with vertical fixed and awning windows with white aluminum frames
- Retention of gable end lining

No other changes are observed.

The form of the vertical new windows is improved, however the replacement of timber frames to aluminum is not supported. The fixed square windows do not support the vertical form.
It is preferred that the double hung windows be restored and reinstated.

No changes have been proposed to the removal of the hip roof, creation of a gable roof or infill of the stepped form of the lounge room.

Additions and alterations as proposed, including removal of the stepped inset, replacement of roof and construction of a verandah, are not supported.

Should Council wish to issue a permit, I suggest that the following changes be required:

- Retention of the original floor layout, particularly the stepped form of the living area.
- Oblique views to the rear may be possible and a lower roof height over the deck should be required. No objection to the construction of a deck and consequential changes to the rear of the dwelling.
- Retention of the original roof. If new roof materials are proposed they must be included in a schedule of colours and materials to be approved as part of the permit conditions.
- Removal of the verandah to the SE of the existing chimney. A new covered area could be supported as indicated to the NW of the chimney for improved entry protection.

Ideally the original weatherboards should be replaced with new weatherboards where needed. As a compromise, Council could consider allowing new cladding to replace the weatherboards so long as they have the same shape and form of weatherboards. This is reliant on no change to the roof or floor plan of the building.

The applicant has been previously provided with a copy of the draft revised Statement of Significance for [REDACTED] precinct, which explains the significance of this style of building. The retention of the key features of the building should be retained, allowing for development of the deck to the rear.

Memo – heritage

The roof form and stepped nature of the dwelling are integral to the design of this dwelling. The changes to these elements as proposed will compromise the contribution the building has to the history of the Maryborough Area precinct.



Existing view – 10 Dundas Road Maryborough



Proposed changes – 10 Dundas Road Maryborough

INITIAL PROPOSAL

I have reviewed the plans and town planning report submitted for D070-24 for 10 Dundas Street, Maryborough.

Additions and Alterations are proposed to the front of the existing building and the addition of a deck to the rear.

Additions to the rear of the dwelling are supported. The deck and cover will not be visible from the street and do not impact on the heritage significance of the property.

Memo – heritage

Additions and alterations as proposed, including replacement of weatherboards, movement of windows, partial demolition of the front façade and construction of a verandah, are not supported.

The application includes removal of all weatherboards and replacement with James Karid “Line Weatherboards”. A report from an appropriately qualified person is required to demonstrate why the weatherboards need to be replaced. The photographic evidence provided shows the weatherboards to be in good condition, albeit requiring some restoration. Retention of existing fabric is to be encouraged wherever possible.

Removal of the timber double hung windows and their placement particularly as a corner window, is not supported. The windows and central chimney contribute to the architectural features of this dwelling and should be left in situ where possible.

The front façade includes a recessed living space, creating an articulated roofline. This contributes to the architectural style and should not be altered. Additions to the rear of the building would be better suited to this property.

The alterations to the roof line, window placement and verandah are not supported.

The property can support additions to the rear of the dwelling that will not impact on the streetscape. Maintenance to the existing dwelling is encouraged with retention of existing fabric where appropriate.

A response to Clause 15.03-1S and the Decision Guidelines of Clause 43.01 is required to demonstrate how any additions or alterations affect the original fabric and built form of the heritage building.

7.4 035-25 – 65 Wattle Gully Road, Mount Glasgow – Use and development of dwelling in RCZ

Author: Statutory Planner

Responsible Officer: General Manager Infrastructure Assets and Planning

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to outline Planning Permit Application 035-25 for the use and development of a dwelling at 65 Wattle Gully Road, Mount Glasgow, and to recommend that Council adopt a position to oppose the application at VCAT.

The Victorian Civil and Administrative Tribunal (VCAT) has advised that an application under Section 79 of the Planning and Environment Act 1987 (Vic) has been lodged (P653/2025) on the grounds of failure to determine the application within the prescribed timeframe. As a result, VCAT is now the decision-maker for the application. Council cannot issue a formal decision but is required to form a position to present at the VCAT hearing.

RECOMMENDATION

That Council adopt a position to oppose Planning Permit Application 035-25 at VCAT (P653/2025) for the use and development of a dwelling at 65 Wattle Gully Road, Mount Glasgow, on the following grounds:

- 1) Inconsistency with Municipal Planning Strategy
The proposal is inconsistent with **Clause 02.03 (Municipal Planning Strategy – Strategic Directions)**, which seeks to:
 - a) Direct settlement to townships planned for residential development.
 - b) Protect and enhance environmental and landscape values.
 - c) Manage environmental risks and natural resources, including agricultural land and water resources.
 - d) Ensure development contributes positively to the built environment.
- 2) Contrary to Planning Policy Framework
The proposal conflicts with **Clauses 11 (Settlement), 15 (Built Environment and Heritage), and 16 (Housing)**, which:
 - a) Promotes housing in appropriately zoned areas.
 - b) Discourages residential development on small lots in rural zones.
 - c) Requires design responses that respect rural landscape character.
- 3) Failure to Address Environmental and Resource Management Policies
The proposal does not comply with **Clauses 12 (Environmental and Landscape Values), 13 (Environmental Risks and Amenity), and 14 (Natural Resource Management)**, which require:
 - a) Protection of environmental and landscape values.
 - b) Sustainable use of natural resources - the application fails to demonstrate adequate onsite wastewater management.
- 4) Non-compliance with Rural Conservation Zone Requirements
The proposal does not meet the purpose and decision guidelines of **Clause 35.06 (Rural Conservation Zone)**, which aim to:
 - a) Protect and enhance natural resources and rural landscapes.

- b) Support sustainable land management and agriculture - the dwelling would fragment rural land, reduce agricultural potential, and pose risks to the water supply catchment due to inadequate wastewater.

5) Failure to Meet Decision Guidelines for Approval

The proposal is inconsistent with **Clause 65.01 (Approval of an Application or Plan)**, which requires consideration of orderly planning and environmental impacts.

6) Unacceptable Risk to Water Quality

The proposal fails to demonstrate effective onsite wastewater management, creating an unacceptable risk to water quality within the Loddon River (Laanecoorie) Special Water Supply Catchment Area.

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision:

Leading Change

4. Transparent decision making.

Initiative:

Provide infrastructure to meet community needs

This report has been developed in accordance with the *Planning and Environment Act 1987* (the Act).

BACKGROUND INFORMATION

Council has received a planning permit application for the use and development of a dwelling at 65 Wattle Gully Road, Mount Glasgow. The subject land is approximately 4 hectares in area, located within the Rural Conservation Zone (RCZ) and affected by the following overlays:

- Bushfire Management Overlay (BMO) – Part
- Erosion Management Overlay (EMO)
- Salinity Management Overlay (SMO)

The applicant has submitted comprehensive technical reports in support of the proposal. However, the applicant has lodged an appeal with the Victorian Civil and Administrative Tribunal (VCAT) on the grounds of Council's failure to determine the application within the prescribed timeframe. Consequently, Council must now establish its position on the application to present at the scheduled VCAT hearing on 21 January 2026.

REPORT

Proposal

The application seeks approval to construct a single-storey, three-bedroom dwelling with a double garage and verandah, positioned toward the western side of the approximately 4-hectare lot.

A plan view drawing of the proposed dwelling, sourced from the geotechnical assessment, is provided in Figure 1 below. No elevation drawings have been submitted with the application.

The applicant contends that the dwelling will support environmental management and re-vegetation of the land.

The following documents have been submitted in support of the application:

- Schematic Site Plan
- Management Zones and Ecological Vegetation Classes (EVC)
- Bushfire Management Strategy (BMS)

- Bushfire Management Plan (BMP)
- Existing Conditions Plan
- Geotechnical Assessment
- Land Capability Assessment (LCA)
- Land Management Plan (LMP)
- Planning Report
- Regeneration Areas Plan
- Salinity Management Plan

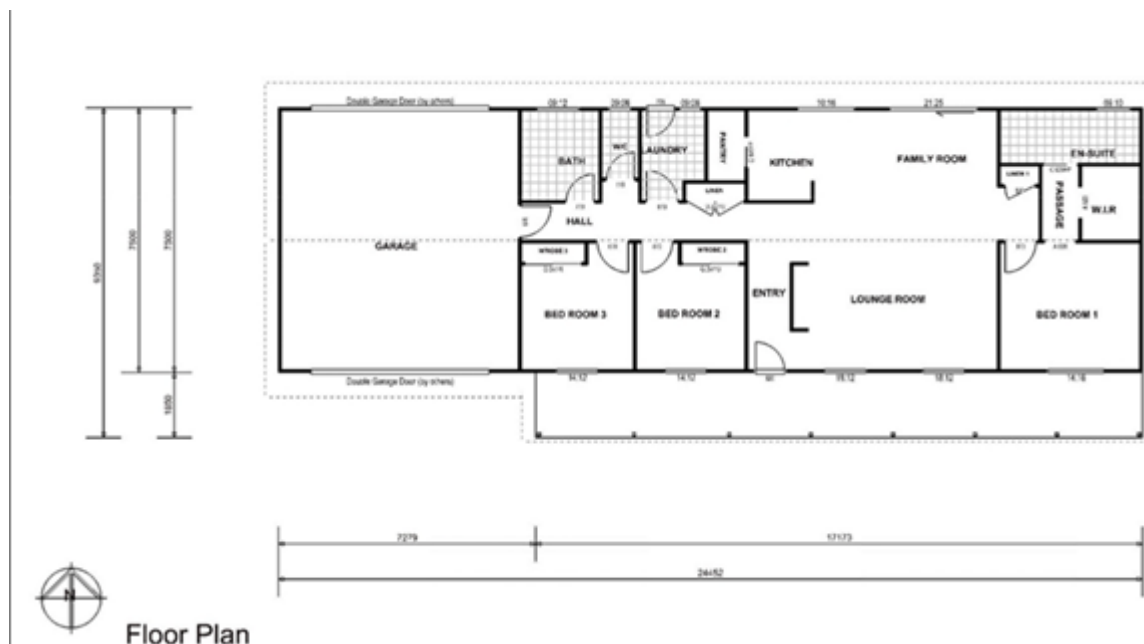


Figure 1 Plan view drawing of the proposed dwelling

Site and Surrounding Area

The subject land is located on the north side of Wattle Gully Road, east of McLeods Road in Mount Glasgow. The lot is approximately 4 hectares, with a mix of light tree cover and extensive cleared areas. In contrast, land to the south of Wattle Gully Road is heavily forested (refer to Figure 2).

The property is situated within the Loddon River (Laanecoorie) Special Water Supply Catchment (SMSC). A waterway runs immediately south of the site along Wattle Gully Road, and two drainage lines traverse the property, discharging into this waterway. A dam is located in the south-eastern corner of the site, and another dam exists on the adjoining property to the west.

Vehicle access from Maryborough–Ballarat Road is via McCallums Creek Road, then north-east along Fells Gully Road to Wattle Gully Road.

Nearby development includes Rural Living Zone (RLZ) lots approximately 240 metres to the west, most of which contain dwellings and associated buildings. Several neighbouring Rural Conservation Zone (RCZ) lots are also developed. Surrounding land uses comprise developed rural properties to the north and west, vacant rural land to the east, and dense forest to the south.



Figure 2 Aerial photograph of the subject land

The proposed dwelling will rely on rainwater tanks for water supply. The area is unsewered and is highly unlikely to be connected to reticulated sewer within the next 10–20 years due to low development density and the considerable distance from existing wastewater infrastructure.

The applicant has indicated an intention to use dry composting toilets. The Land Capability Assessment (LCA) submitted with the application identifies the following key site features:

- The site is located within the Declared Special Water Supply Catchment Area of the Loddon River (Laanecoore).
- The site experiences high stormwater run-on.
- There is no evidence of a shallow water table.
- The risk of effluent transport offsite is high.

The subject land is zoned Rural Conservation Zone (RCZ), consistent with many surrounding allotments (refer to Figure 3).

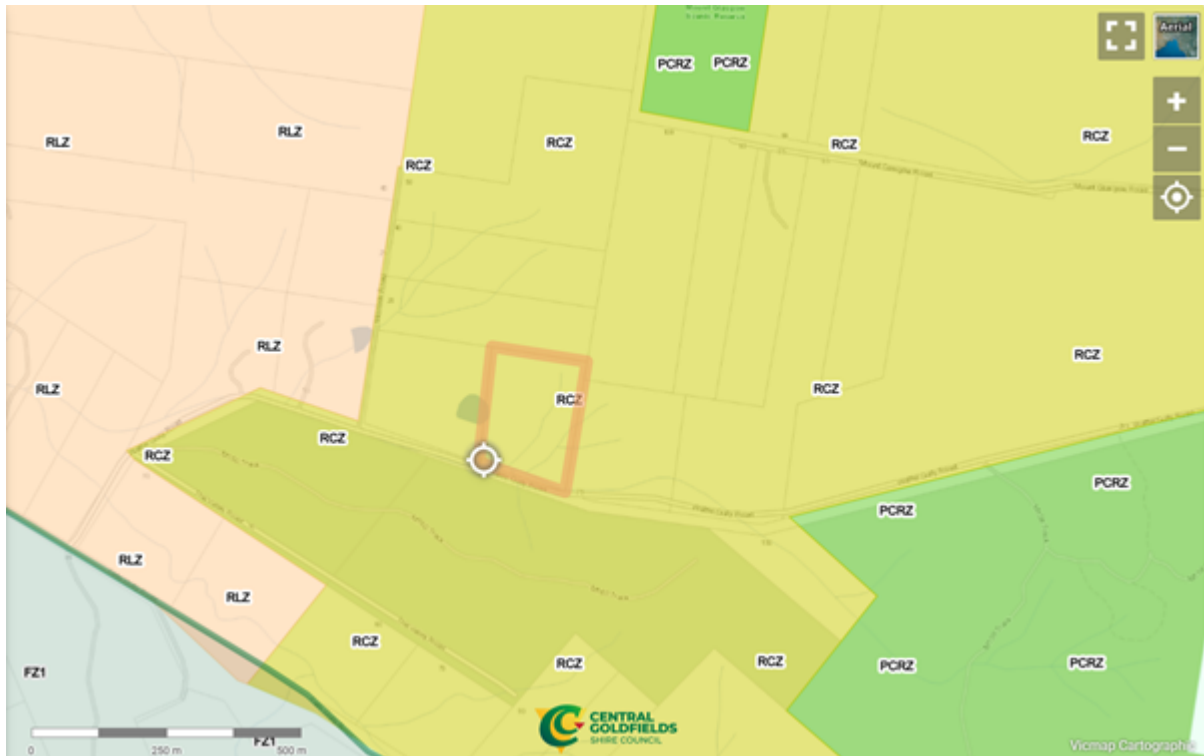


Figure 3 Zoning map

A schematic site plan has been submitted with the application (refer to Figure 4). This plan, sourced from the Bushfire Management Plan (BMP), has been overlaid on an aerial photograph of the site.

The applicant has provided a comprehensive suite of technical reports to support the proposal.

Rather than interpret these individually, this report considers the applicant's own summary of the proposal, which is provided below for transparency:

"This application takes a holistic look at the risks on site for land management, biodiversity, agricultural use to determine how the site can be managed for development and contribute a reversal of decline and ameliorate current risks.

Conservation areas contribute a cultural and social purpose to the community and provide green breaks in the landscape. Appropriate planning to provide an outcome that considers the social aspects is imperatively important to the community and landscape. This application seeks to determine the worst risks to soils and biodiversity to ensure that this social aspect is improved and avoids land degradation. This application sees that although there is a subordinate need to conservation and landscape values as a balanced outcome.

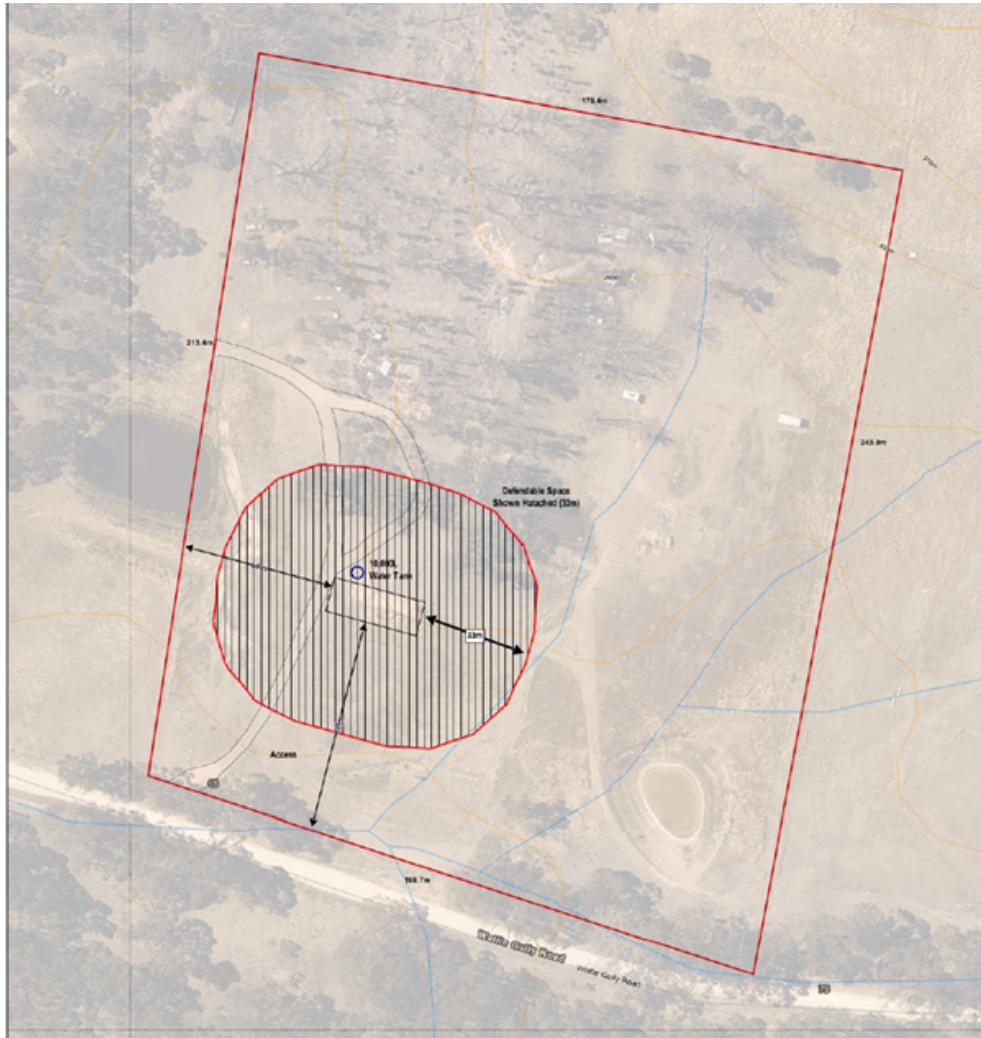
Appropriate rural development in areas that are constraint (sic) needs to engage the landowner to enable them to undertake the works required and ensure that it achieves the best outcome to provide valuable social, economic and environmental outcomes as what is proposed in this application.

This Land Management Report undertakes a microscale look, and the outcome is based on analysis and research to achieve a comprehensive outcome.

I acknowledge councils concerns on enforcement but there are many other aspects that require enforcement such as compliance to sewerage management, compliance to Bushfire requirements, compliance to vegetation clearing is also in the same aspect but we as with this application progress using the instruments that are available to the planner. However,

the Land Management Report undertakes to engage and inform the landowner and if attached to the title will ensure that this work is ongoing and reviewed by subsequent owners and that education gives a basis for a more appropriate outcome than enforcement.

The application seeks to show that if the owner is on site that adaptive management, restoration and revegetation to improve the environmental outcome on site can be achieved. The proposed use will not impact the soil risks or biodiversity, and this has been clearly defined in the application, and the use will lead to a sustainably improved outcome as required by the zone”.



Non-

Figure 4 Site Plan sourced from the Bushfire Management Plan (BMP)

Relevant History and Background

A search of Council's electronic records indicates no previous planning permits or applications for the subject site.

Registered Restrictions

The land is not affected by any registered restriction.

Permit Triggers

A planning permit is required under the following provisions of the Central Goldfields Planning Scheme:

<i>Planning scheme clause</i>	<i>Matter for which the permit [is required]</i>
Clause 35.06-1 (RCZ)	Land use 'dwelling' is a Section 2 use, (permit required)
Clause 35.06-5 (RCZ)	Permit required for buildings or works associated with section 2 use at 35.06-1
Clause 44.06-4 (BMO)	Permit required to construct a building or construct or carry out works associated with the land use 'accommodation' (among other things), (exempt notice and review).
Clause 44.01-2 (EMO)	Permit required to construct a building or construct or carry out works (exempt notice and review)
Clause 44.02-2 (SMO)	Permit required to construct a building or construct or carry out works (exempt notice and review)

Referrals

In accordance with section 55 of the Act and clause 66 of the Central Goldfields Planning Scheme (planning scheme), the application was referred to the following authorities:

Referral Authority	Type of Referral	Decision/Comments/Conditions
Goulburn Murray Water (GMW) (Determining)	s.55 / cl. 66.02-5	GMW has required further information, being: • An updated LCA with a Tier 2 assessment (which is a quantitative and weighted risk and performance-based assessment) as outlined in the EPA Guideline for Onsite Wastewater Management (May 2024) and Guideline for Onsite Wastewater Effluent Dispersal and Recycling Systems (May 2024) is required. This should be undertaken in accordance with the relevant Australian Standards as set out in the GOWM and the GOWEDRS.
Country Fire Authority (CFA) (Recommending)	s. 55 / cl. 66.03 – 44.06-6	Conditional consent
Department of Energy, Environment and Climate Action (DEECA) (Determining)	s. 55 / cl. 66.03 – 44.02-8	Conditional consent

The application was also referred to the following internal departments of the Central Goldfields Shire Council:

Authority/Department	Advice/Comments/Conditions
Engineering	Conditional consent.
Environmental Health	Have advised of concerns relating to the ability for onsite wastewater to meet the requirements of the Environment Protection Act 2017.

Notice

In accordance with VCAT Orders dated 31 July 2025, the applicant for review has undertaken to:

- Give notice to adjacent owners and occupiers; and
- Place a sign on the subject site.

At this stage, any response to public notice is unknown, as submissions are required to be directed to the Tribunal given the ongoing appeal proceedings.

Planning Scheme Considerations

The following lists the relevant clauses of the Planning Scheme and their purposes:

Municipal Planning Strategy

02.01 Context

- Central Goldfields Shire is located in central Victoria approximately 150 kilometres from Melbourne. The Shire comprises some 1,500 square kilometres of land and is one of the state's smaller rural shires with a population of 13,483 (ABS Census 2021). The municipal boundaries are shared with Hepburn, Mount Alexander, Loddon, Pyrenees and Northern Grampians Shires. Central Goldfields is located between the two regional cities of Bendigo and Ballarat.

02.02 Vision

- Our vision is "to be a vibrant, thriving, inclusive community" (Council Plan 2017-2021).

02.03-1 Settlement

- Maryborough is expected to experience small but steady (VIF 2019) population growth over the next ten years. Maryborough performs an important regional function as a centre for retail and commerce, employment and community services. Future development opportunities for the township exist north of Maryborough on Maryborough-Dunolly Rd and several large undeveloped sites within the township. However, further investigation is required, including but not limited to bushfire hazards and utility service provisions. Carisbrook is identified as the area for broad hectare residential development. Rural living and rural residential developments are located around Dunolly, Carisbrook, Alma, Daisy Hill, Havelock, Majorca, Timor and Bealiba. There is an opportunity for low density rural living lots around serviced areas in Maryborough and Carisbrook. Existing rural living areas outside of townships and in areas of high environmental value should be protected under the Rural Conservation Zone.
- Council seeks to support its established townships and emerging settlements by:
 - Primarily directing development to Maryborough as a sub-regional centre.
 - Prioritising medium density housing in the vicinity of the Maryborough Central Business Area, including shop-top living, townhouses and villa-style developments.
 - Supporting greater urban consolidation and housing diversity, while also protecting the amenity and character of Maryborough.

- Ensuring greater diversification of uses in the Mixed Use Zone in Maryborough, by encouraging commercial, retail and residential uses.
- Maintaining the network of smaller urban centres to ensure reasonable access to jobs, services and lifestyle choices.
- Directing development to infill lots that are suitable for development in the smaller townships of Dunolly, Carisbrook, Bealiba, Talbot and Majorca.
- Limiting low density residential development at the periphery of Dunolly, Majorca and Timor to locations that can be economically and efficiently provided with water, sewerage, electricity and suitable road access.
- Investigating the role of low density residential and rural residential development as part of the preparation of an overall housing strategy for Maryborough and Carisbrook.

02-03-2 Environmental and landscape values

- Council seeks to protect environmental and landscape values by:
 - Protecting and enhancing remnant vegetation and wildlife corridors.
 - Prioritising the establishment of buffer areas and setbacks on freehold land to protect significant vegetation.
 - Protecting the water quality of the Loddon and Avoca Rivers and Bet Bet Creek waterway systems.
 - Protecting the Talbot district volcanic rises and the Cairn Curran Reservoir as significant landscapes.
 - Protecting and enhancing habitat areas for fauna.
 - Protecting and enhancing the environmental, landscape and habitat values of roadside vegetation.

02.03-3 Environmental risks and amenity

- Natural environmental hazards including bushfire, land degradation and flooding present risks and constraints for land use and development in Central Goldfields Shire. Climate change has the potential to have adverse impacts on agriculture, tourism and on economic prosperity and viability in general.
- Council seeks to address environmental risks and amenity by:
 - Directing future growth to existing townships to protect environmental values and improve community safety from environmental hazards, including high bushfire risk.
 - Minimising the potential impact of development on water pollution, land degradation and risk of salinity and erosion.
 - Ensuring land capability supports land use and development, particularly in areas of environmental risk.
 - Ensuring that high value biodiversity and amenity values are protected by relevant overlays.

02.03-4 Natural resource management

- Protection of water quality and maintaining water supply are priorities. Poor land use planning decisions, illegal and unsafe dams, unplanned incremental change and inadequate land management can influence both water quality and quantity in the catchments.
- Land use conflict can occur between agriculture and residential land uses. This has the potential to affect the operation of farms and reduce their productive capacity.

02.03-6 Housing

- Dwelling types in Central Goldfields Shire are similar to those in regional Victoria, with a higher proportion of separate houses and a lower proportion of medium density houses

than the corresponding state averages. The Shire will need to cater for diverse housing needs close to services considering the ageing population and changing family structures.

- Rural living bordering each town in the Shire presents numerous opportunities for housing. Further provision of land zoned Low Density Residential Zone in serviced areas near Maryborough and Carisbrook will be explored to meet future housing demand.

02.04 Central Goldfields Strategic Framework Plans

Central Goldfields Shire Strategic Framework Plan to Clause 2.04



Figure 5 – Central Goldfields Shire Strategic Framework Plan with site location marked with red X

Planning Policy Framework

11.01-1S Settlement

- To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

12.01-1S Protection of biodiversity

- To protect and enhance Victoria's biodiversity.

12.01-2S Native vegetation management

- To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation.

12.03-1S River and riparian corridors, waterways, lakes, wetlands and billabongs

- To protect and enhance waterway systems including river and riparian corridors, waterways, lakes, wetlands and billabongs

12.05-1S Environmentally sensitive areas

- To protect and conserve environmentally sensitive areas.

12.05-2S Landscapes

- To protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

13.01-1S Natural hazards and climate change

- To minimise the impacts of natural hazards and adapt to the impacts of climate change through risk-based planning.

13.02-1S Bushfire planning

- To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

13.04-2S Erosion and landslip

- To protect areas prone to erosion, landslip or other land degradation processes.

14.01-1L Protection of agricultural land – Central Goldfields

- To protect productive agricultural land and its supporting infrastructure.

14.01-2S Sustainable agricultural land use – Central Goldfields

- To encourage ecologically sustainable farm management practices.

14.02-1S Catchment planning and management

- To assist the protection and restoration of catchments, waterways, estuaries, bays, water bodies, groundwater, and the marine environment.

14.02-2S Water quality – Central Goldfields

- Maintain and protect water quality in the Bealiba, Laanecoorie, Tullaroop and Cairn Curran catchments and the Loddon and Avoca Rivers and Bet Bet Creek waterways systems.

15.01-2S Building design

- To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

15.01-6S Design for rural areas

- To ensure development respects valued areas of rural character.

16.01-1S Housing supply

- To ensure development respects valued areas of rural character.

16.01-3S Rural residential development

- To identify land suitable for rural residential development.

Zones

The purposes of the Rural Conservation Zone (RCZ) are:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To conserve the values specified in a schedule to this zone, (see Table 1 below).
- To protect and enhance the natural environment and natural processes for their historic, archaeological and scientific interest, landscape, faunal habitat and cultural values.
- To protect and enhance natural resources and the biodiversity of the area.
- To encourage development and use of land which is consistent with sustainable land management and land capability practices, and which takes into account the conservation values and environmental sensitivity of the locality.
- To provide for agricultural use consistent with the conservation of environmental and landscape values of the area.
- To conserve and enhance the cultural significance and character of open rural and scenic non-urban landscapes.

Schedule to Rural Conservation Zone

- | |
|---|
| <ul style="list-style-type: none">• Sustainable land management in water supply catchment areas.• The protection of water quality, particularly in the Loddon catchment.• The protection of the remaining vegetation, the encouragement of revegetation and the prevention of degradation of State forests.• The sustainable management of land and water resources including the prevention of salinity and erosion and the maintenance of water quality and quantity to ensure increased productivity and a healthy catchment. |
|---|

Table 1 Conservation values

The decision guidelines specified by the Rural Conservation Zone are as follows:

General Issues

- The Municipal Planning Strategy and the Planning Policy Framework.
- Any Regional Catchment Strategy and associated plan applying to the land. The capability of the land to accommodate the proposed use or development.
- How the use or development conserves the values identified for the land in a schedule.
- Whether use or development protects and enhances the environmental, agricultural and landscape qualities of the site and its surrounds.
- Whether the site is suitable for the use or development and the compatibility of the proposal with adjoining land uses.

Rural issues

- The environmental capacity of the site to sustain the rural enterprise.
- The need to prepare an integrated land management plan.
- The impact on the existing and proposed infrastructure.
- Whether the use or development will have an adverse impact on surrounding land uses.

Environmental issues

- An assessment of the likely environmental impact on the biodiversity and in particular the flora and fauna of the area.
- The protection and enhancement of the natural environment of the area, including the retention of vegetation and faunal habitats and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge areas.

- How the use and development relates to sustainable land management and the need to prepare an integrated land management plan which addresses the protection and enhancement of native vegetation and waterways, stabilisation of soil and pest plant and animal control.
- The location of on site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.

Accommodation issues

- Whether the dwelling will result in the loss or fragmentation of productive agricultural land.
- Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation.
- Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses.
- The potential for accommodation to be adversely affected by vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the Mineral Resources (Sustainable Development) Act 1990.

Design and siting issues

- The need to minimise any adverse impacts of siting, design, height, bulk, and colours and materials to be used, on landscape features, major roads and vistas.
- The location and design of existing and proposed infrastructure services which minimises the visual impact on the landscape.
- The need to minimise adverse impacts on the character and appearance of the area or features of archaeological, historic or scientific significance or of natural scenic beauty or importance.
- The location and design of roads and existing and proposed infrastructure services to minimise the visual impact on the landscape.
- The need to locate and design buildings used for accommodation to avoid or reduce the impact from vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the Mineral Resources (Sustainable Development) Act 1990.

Overlays

44.01 Erosion management overlay

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

44.02 Salinity management overlay

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas subject to saline ground water discharge or high ground water recharge.
- To facilitate the stabilisation of areas affected by salinity.
- To encourage revegetation of areas which contribute to salinity.
- To encourage development to be undertaken in a manner which brings about a reduction in salinity recharge.

- To ensure development is compatible with site capability and the retention of vegetation and complies with the objectives of any salinity management plan for the area.
- To prevent damage to buildings and infrastructure from saline discharge and high watertable.

44.06 Bushfire management overlay

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

Particular Provisions

52.17 Native vegetation

- To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):
- Avoid the removal, destruction or lopping of native vegetation.
- Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.
- Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.
- To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

53.02 Bushfire planning

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To ensure that the location, design and construction of development appropriately responds to the bushfire hazard.
- To ensure development is only permitted where the risk to life, property and community infrastructure from bushfire can be reduced to an acceptable level.
- To specify location, design and construction measures for a single dwelling that reduces the bushfire risk to life and property to an acceptable level.

General Provisions

65.01 Approval of an application or plan

- Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:
 - The matters set out in section 60 of the Act.
 - Any significant effects the environment, including the contamination of land, may have on the use or development.
 - The Municipal Planning Strategy and the Planning Policy Framework.
 - The purpose of the zone, overlay or other provision.

- Any matter required to be considered in the zone, overlay or other provision. The orderly planning of the area.
- The effect on the environment, human health and amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction. Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.

ASSESSMENT

The proposal for a dwelling on the subject land is not supported by settlement and housing policy that aims to provide the bulk of new housing in areas that are zoned for housing as the primary land use, generally being urban residential zoned land along with rural living zoned land, along with some other areas such as commercial zones where housing as a secondary land use would support commercial activity within town centre areas.

Rural residential development such as this proposal is intended to be provided within the Rural Living Zone rather than within other rural zoned land including the Rural Conservation Zone and the Farming Zone, where housing is intended to be limited to where it can be demonstrated to be necessary to support another outcome that aligns with the relevant zone purposes and decision guidelines.

By comparison to the Farming Zone, where the need to demonstrate the alignment of proposed dwelling development with productive agriculture, the assessment of housing development within the Rural Conservation Zone is focused on environmental and conservation outcomes, as demonstrated by the name of the zone as well as its purpose and decision guidelines. Sustainable land management and agricultural uses consistent with environmental and landscape values are also included within the Rural Conservation Zone purposes which is important given that this zone is often applied to areas that do include agricultural land uses as well as environmental values, as is the case for this site and its surrounding locality.

It is important to note that the Rural Conservation Zone is even more restrictive in respect to residential development than the Farming Zone, in that there are no circumstances where a dwelling may be developed without a planning permit and there is a maximum of one dwelling on a lot under the Rural Conservation Zone provisions. Residential development is intended to be limited by the application of this zone.

The use and development of one dwelling on a lot is not prohibited but is subject to permit requirement, whereby a proposal will be assessed against the purpose and decision guidelines of this zone. Relevant decision guidelines for this application relate to land capability and infrastructure capacity, environmental values of the land such as native vegetation, water, soil, and ecology including how the proposal would protect and enhance those values, compatibility with surrounding land uses including agriculture, potential loss or fragmentation of productive agricultural land, and design and siting in respect to environmental and landscape values.

The subject land has significant environmental values that the zone provisions seek to protect. Of particular importance are the conservation and landscape values identified in the schedule to the zone. It is also fair to say that the subject land is quite constrained for development.

This is apparent from both the physical and technical constraints imposed by the size of the lot, the topography of the site and the requirements of the three overlays, being Erosion Management

Overlay, Salinity Management Overlay and the Bushfire Management Overlay where the potential for adverse environmental effects, both within the site and off site are clear.

The relevant technical reports recommend appropriate approaches to ameliorate those risks. In particular, the Land Management Plan goes to great lengths to demonstrate that with enough resources, including experienced contractors, appropriate equipment, adequate funds, time, technical knowledge and inclination, that the environmental values of the subject land can be positively improved.

Therefore, it is considered that the application has adequately satisfied the requirements of the relevant overlays, being Erosion Management Overlay, Salinity Management Overlay, the Bushfire Management Overlay. In addition, the referral authorities CFA and DEECA have provided conditional consent to the proposal, the latter agency being a determining authority.

However, the most critical issue is to consider whether a sufficient nexus has been established to demonstrate that the construction of a dwelling is necessary to achieve the aspirational enhancements set out in the technical supporting documents. The applicant's assertion in this regard is reprinted here:

The application seeks to show that if the owner is on site that adaptive management, restoration and revegetation to improve the environmental outcome on site can be achieved.

After careful consideration of the technical reports and other evidence submitted in support of the application, it is not clear that those outcomes are contingent on a dwelling being constructed on the land. To clarify, one way to frame this argument is to pose the question:

'Can those proposed environmental works, incorporating adaptive management, restoration and revegetation to improve the environmental outcome on site be achieved without constructing a dwelling?'

It is considered that they can be on the basis that that relies more on the resources available as outlined above, than a dwelling constructed on site.

The next most critical issue is whether the proposed land use (dwelling) will adversely affect the identified environmental values of the land. This issue can be characterised as a threshold issue. The applicant's assertion in this regard is stated here:

The proposed use will not impact the soil risks or biodiversity, and this has been clearly defined in the application, and the use will lead to a sustainably improved outcome as required by the zone.

As noted earlier, the applicant has expressed a preference to use dry composting toilets presumably to reduce the volume of wastewater that needs to be disposed of onsite, or that potentially increases run-off. A copy of the proposed layout design for the wastewater treatment system is shown in Figure 6 below:



Figure 6 - Site Investigation Plan

It is noted that GMW has not approved the current recommendations of the LCA report and has requested a higher level of assessment (Tier 2). The referral response from GMW is appended to this report because it outlines in accessible language the limitations of the site and the reduced setbacks proposed in the LCA submitted with the application (see appendix 123).^[1] At the date of drafting this report, it is noted that the required Tier 2 Assessment has not been submitted to Council. In addition, Council's Environmental Health Officer (EHO) has also stated that the proposal cannot be approved in its current form for the reasons outlined above.

Therefore, it is considered that the argument that the development of a dwelling on the subject land is necessary to enhance the environmental values is not made out, and the assertion that the proposed use and development will have no adverse effects on the water quality within the water supply catchment area is not proven.

The proposal is contrary to relevant policy framework and provisions of the Central Goldfields Planning Scheme in relation to settlement and residential development, land capability, environmental protection and enhancement, rural land management, land use compatibility, and fragmentation and loss of agricultural land.

Conclusion

Based on the assessment above, it is recommended that Council form a position that if the application had not been subject to an appeal to the Victorian Civil and Administrative Tribunal under section 79 of the Planning and Environment Act 1987, that it would have resolved to issue a notice of refusal to grant a planning permit for the use and development of a dwelling and associated outbuilding at 65 Wattle Gully Road, Mount Glasgow, also described as Lot 2 PS 126149.

The position that Council forms for this application will be the basis of Council's case to be made in respect to the relevant VCAT appeal.

CONSULTATION/COMMUNICATION

Notice of this application in the form of a sign on the subject land and mailed notices to owners and occupiers of nearby properties has been undertaken by the applicant recently in accordance with directions issued by the Tribunal as part of the ongoing appeal proceedings. The Tribunal would notify Council and the applicant in the event of any objectors seeking to become party to the appeal proceedings – at this time Council has not been provided with any notification of objectors making application to join the appeal.

FINANCIAL & RESOURCE IMPLICATIONS

The assessment of planning permit applications is within the normal operational budget of Council. Council has an allocated budget for statutory planning and legal matters, which includes provision for VCAT appeals.

RISK MANAGEMENT

Governance - Failure to transparently govern and embrace good governance practices.

This report mitigates governance risk by ensuring that Council's decision-making process is transparent, accountable, and consistent with statutory planning principles. The assessment clearly references all relevant planning policies, overlays, and decision guidelines, and provides a documented rationale for Council's recommended position. By adopting a formal resolution to present at VCAT, Council demonstrates its commitment to open governance and sound decision-making practices.

Legislative compliance - Failure to manage our compliance with relevant legislative requirements.

This report addresses legislative compliance risk by ensuring that the assessment process adheres to the Planning and Environment Act 1987 (Vic), the Planning Scheme, and VCAT procedural requirements under Section 79. The recommendation reflects the correct legal approach—forming a position for VCAT rather than issuing a formal decision—thereby maintaining compliance with statutory obligations. This approach ensures Council meets its responsibilities under the Act and relevant planning provisions.

CONCLUSION

Based on the assessment, it is recommended that Council adopt a position to oppose Planning Permit Application 035-25 at VCAT for the use and development of a dwelling and associated outbuilding at 65 Wattle Gully Road, Mount Glasgow, on the following grounds:

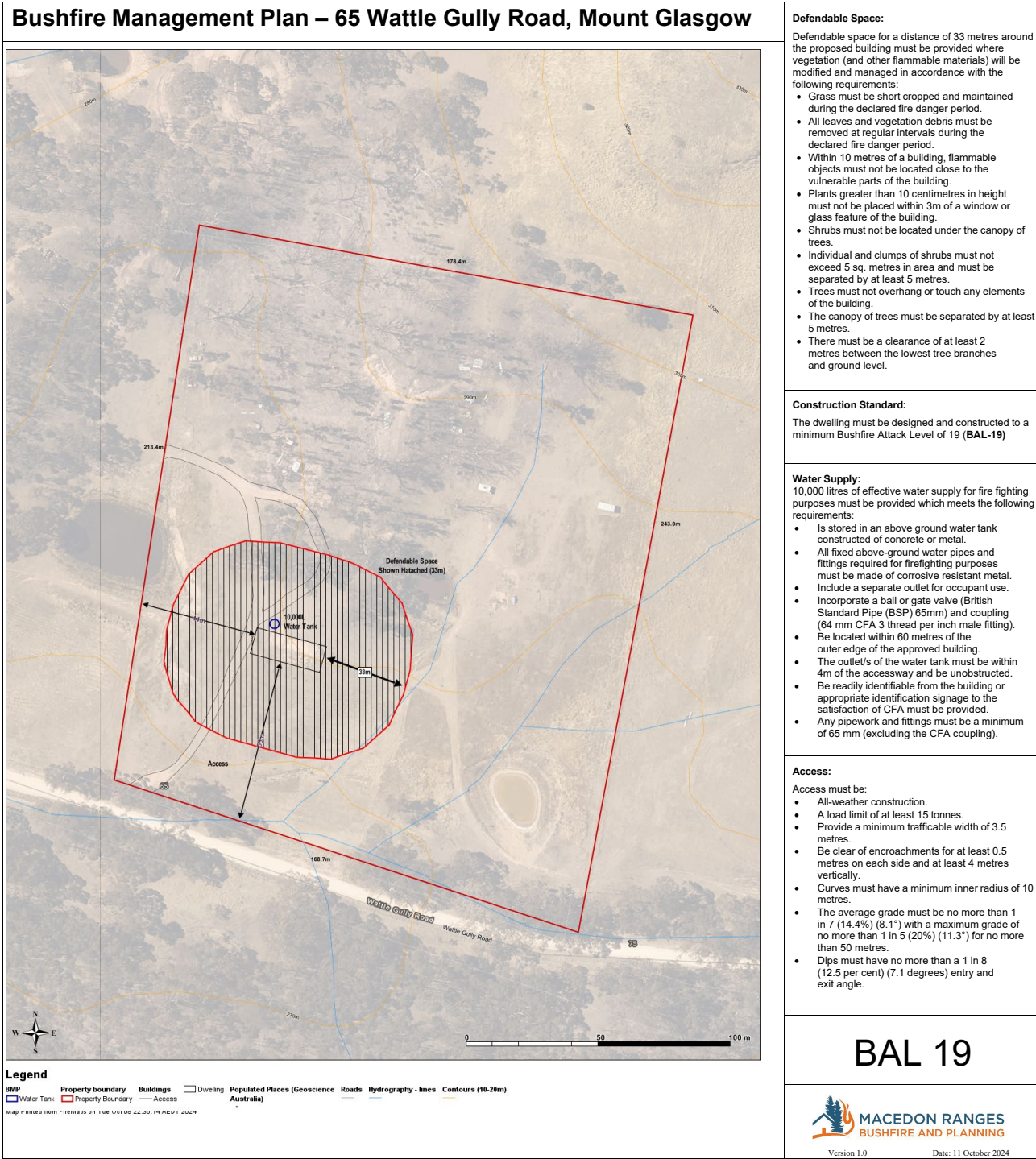
1. Inconsistency with Municipal Planning Strategy (Clause 02.03)
The proposal does not align with strategic directions that seek to:
 - Direct settlement to townships planned for residential development;
 - Protect and enhance environmental and landscape values;
 - Manage environmental risks and natural resources, including agricultural land and water resources.
 - Ensure that development contributes positively to the built environment.
2. Conflict with Planning Policy Framework (Clauses 11, 15, and 16)
The proposal represents rural residential development on a small lot in a rural zone, contrary to policies that:
 - Encourage housing in appropriately zoned areas;

- Discourage residential use of small rural lots;
 - Require design responses that respect rural landscape character.
- 3. Non-compliance with Environmental and Resource Management Policies (Clauses 12, 13, and 14)
The application fails to demonstrate adequate management of environmental values and onsite wastewater.
- 4. Failure to Meet Rural Conservation Zone Objectives (Clause 35.06)
The proposal does not adequately respond to the zone's purpose and decision guidelines, including:
 - Protection of natural resources and rural landscapes;
 - Prevention of land fragmentation and loss of agricultural potential;
 - Avoidance of detrimental impacts on water supply catchments.
- 5. Contrary to Decision Guidelines (Clause 65.01)
The proposal does not represent orderly planning and fails to adequately consider environmental impacts and risks.
- 6. Unacceptable Risk to Water Quality
The application does not demonstrate effective onsite wastewater management, creating an unacceptable risk to water quality within the Loddon River (Laanecoorie) Special Water Supply Catchment Area.

ATTACHMENTS

1. Attachment A - 035-25 - Site Layout Plan BMP - 65 Wattle Gully Road Mount Glasgow [7.4.1]
2. Attachment B - 035-25 - Land Management Plan - 65 Wattle Gully Road Mount Glasgow [7.4.2]
3. Attachment C - 035-25 - Goulburn Murray Water Request for Further Information - 65 Wattle Gully Road [7.4.3]

Appendix F: Bushfire Management Plan





LAND MANAGEMENT PLAN

FOR

LOT.2 LP126149

65 WATTLE GULLY ROAD, MOUNT GLASGOW

JOB No: 2709





65 Wattle Gully Road, Mount Glasgow

Project: 2709

Report prepared by: [REDACTED] of Natural Resource Link Pty Ltd Town Planner (MPIA), Post grad.Dip Planning, Post grad Dip Bushfire Planning & Management, Post grad Cert. Regenerative Agriculture,. Dip Conservation and Land Management, Coastal/Water Management and Cert.Horticulture

[REDACTED] is a rural planner that is qualified in many areas such as Bushfire Planning, Town Planning, Agroecology (Regenerative Agriculture), Conservation and Land Management, Coastal and Water Management , Horticulture and is a sessional lecturer to the Victorian Planning Institute in Integrated Land Management for Farming zone and Biodiversity.

Natural Resource Link Pty Ltd

ACN 609 952 025

ABN 83 609 952025

[REDACTED]

Ph: [REDACTED]

Email: [REDACTED]

REV	DATE	DETAILS
	16/5/2025	Draft to client
	23/5/2025	Final to submit to council

Copyright

Natural Resource Link Pty Ltd shall retain ownership of the reports and drawings, design, displays and other work produced by Natural Resource Link Pty Ltd during fulfilling a commission until final payment by the client.

Disclaimer

Natural Resource Link Pty Ltd does not accept any liability for an error, omission or loss or other consequence that may arise from relying on this report.



Contents

Contents.....	3
Images.....	5
Introduction	7
Locality data and spatial context	7
Site history	9
Geology	11
Fire	11
Erosion	12
Biodiversity	17
Salinity Management	25
Mitigating Salinity with regeneration and cover.	26
Why mitigate soil loss -Climate resilience.	27
Weeds	28
Weed Management	28
Pest Animals.....	29
Dam Management	29
Bird Species that rely on this habitat.....	30
Gang Gang Cockatoo.....	30
Diamond Firetail.....	31
Mammals Species that rely on this habitat	33
Phascogale	33
Nest box design, installation and management	34
Reptile List Species that rely on this habitat.....	35
Snake-necked Turtle	35
Reptile List Species that rely on this habitat.....	36
Pobblebonk	36
On-going Land Use Commitments	36
Access Control.....	37
Native Vegetation, Logs and Coarse Woody Debris	38
Monitoring and Reporting	39
Reporting.....	39
Rationale for adaptive management on site	40
Risks from no ongoing adaptive management.	42
Revegetation	43



Landholder experience	44
Zones.....	44
Domestic zone.....	44
Conservation Zone	44
Dam Zone	45
Appendix.1 Existing Plan	46
Appendix.2 Zone Plan and Fire Calculation.....	47
Appendix.3 Land Management Plan	48
Appendix.4 Action Timesheet.....	49
Appendix.5 Landowner reporting form	50
Appendix. 6 EVC 67	51
Appendix.7 EVC 61	52
Appendix.8 Regeneration list for EVC 61	53
Appendix.9 Regeneration list for EVC 67- Graminoides	54
Appendix.10 Regeneration plant protection	55
Appendix.11 Dam best practice.....	56
Appendix.12 Fauna, Reptile, Bird and Mammal Lists within 5km of site	57
Appendix.13 References	58



Images

Image.1 Landscape around site (Source: Landchecker nd)	8
Image.2 aerial image of the site in the landscape context	8
Image 3 east side of lot	9
Image.4 water movement north-east corner	10
Image.5 Geology on site courtesy of Harwood.D Oct 2024. P.4.....	11
Image.6 Rock chute along Wattle Gully Road (drainage due to excessive water movement).....	12
Image.7 Site soils (Source: Cerdi 2025)	12
Image.8 Site pictures courtesy of Harwood.D Oct 2024. P.31-32	13
Image.9 Grockworth Hills (Source: Costello.R.T May 1981 p.23)	14
Image.10 Lower slope colluvial sandstone/mudstone mix highly bleached and shows some dispersion and movement of soil from water erosion.	15
Image11.. Definition of Class 4 (Source: Costello.R.T May 1981 p.5)	15
Image.12. Definition of Class 1 and 2 (Source: Costello.R.T May 1981 p.5)	15
Image.13 Grockworth Plains (Source: Costello.R.T May 1981 p.20)	16
Image.14 Conservation status levels explained (Source: Department of Energy, Environment and Climate Action 2025).....	17
Image.15 Flowchart 2 (Source: Commonwealth of Australia 2012 p.24).....	18
Image.16 Current EVC mapping (Source: Department of Energy, Environment and Climate Action, 2023)	18
Image.17 Current EVC mapping showing EVC 67 nearby to site (blue) (Source: Department of Energy, Environment and Climate Action, 2023).....	18
Image.18 Rock rubble along Wattle Gully road.	19
Image.19 view of vegetation on the upper slopes showing recruitment.....	19
Images.20 Lassi aerial after the 2019 Fire (Source: Department of Transport and Planning 6 May 2025)	20
Image.21 One of the two mature rare Eucalyptus macrocarpa on site	21
Image.22 Large old growth E.leucoxylon responsible for almost all the post fire recruitment.	21
Image.23 Large old growth E.leucoxylon with hollows in the main stem.	22
Images.24 Soil crust on site	22
Image.25 North-east corner running down along the east fence boundary (Soil Creep)	23
Image.26 Soil mass movement to the north and north-east of the site. Courtesy of Harwood.D Oct 2024. P.24	23
Image.27 Soil to the east of site (Brown Ferrosol)- washed down newer Volcanic	24
Image.28 Red Ferrosol on site near proposed dwelling Courtesy of Harwood.D Oct 2024. P.31.....	24
Image.29 Salinity how it develops (Source: FAO. 2024)	26



Image.30 Soil-Plant-Atmosphere Interactions. (Source: Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025)	27
Image.31 Old rabbit warren where soil has sunk into the passages.	29
Image 32 recorded sightings of Gang Gangs near the site (Source: Belbin L, Wallis E, Hobern D, Zerger A (2021)).....	31
Image 33 recorded sightings of Gang Gangs near the site (Source: Belbin L, Wallis E, Hobern D, Zerger A (2021)).....	32
Image.34 recorded sightings of Brush-tailed Phascagole near the site (Source: Belbin L, Wallis E, Hobern D, Zerger A (2021)	33
Image. 35 Eastern-long necked turtle (Source: Conservation Biology of Freshwater Turtles and Tortoise4s November 2009.....	35
Image.36 Sightings of Snake-necked Turtle (Source: Belbin L, Wallis E, Hobern D, Zerger A 2021)	35
Image.37. Pobblebonk (Source: North Central Catchment Management Authority nd)	36
Image. 38 No risk management (Source: Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025)	42



Introduction

This site is zoned Rural Conservation and has site constraints to soils and remnant vegetation and an Integrated Land Management Report has been compiled to address the proposed use on site.

A site plan to show buildings and outbuildings

- Zones
- All paddocks and internal fencing
- Dams
- Areas set aside for regeneration/revegetation
- Water supply for domestic purposes and firefighting
- Remnant patches of vegetation
- A site plan showing where revegetation will be located
- Soil risks
- Water quality risks

A summary of each zone to include specific management of each ecological community to include specific management requirements to be undertaken

Locality data and spatial context

The site is within a rural area to the east of the connection road between Clunes and Maryborough and is north of the Clunes State Forest which is managed by Parks Victoria. There is development of a low density of dwellings close to site due to an adjacent Rural Living Zone.



Image.1 Landscape around site (Source: Landchecker nd)



Image.2 aerial image of the site in the landscape context



Image 3 east side of lot

The site is zoned Rural Conservation Zone with Erosion Management Overlay which pertains to a proposal for the site that is sustainable and allows some farming to continue site whilst improving soil condition and structure. The long-term protection of water movement across the site which is a common risk to Australian soils from heavier rainfall needs to start to build resilience on this site (Source: Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025)

The landscape is interesting in its Geology as noted in the Geotechnical report and you can see the lot to the east shows soil slumping.

Site history

The site has an interesting history that is evident in the following images from Google Earth (Source: Google Earth 1.8.2023)



This image from Aust 2008 shows the vegetation cover to be the same as the current extent.

This image from October 2009 is when the drought broke .
There is significant movement of water across the site.



The Integrated Management Plan will look to address the movement of water on site to ameliorate the risk of erosion from extreme rainfall episodes which are projected from climate change.



Image.4 water movement north-east corner



This image from December 2016 of the north-east-corner of the site has some soil movement possibly slumping and this can be seen on the adjacent lot to the north of the site (Lot 2 LP 126145) this is noted in the Geotechnical report by AGR.

Geology

The geology mapping I have shows the exact mapping that is in the Geotechnical report and the area to the north is an unstable scoria deposit Newer Volcanic Soil and it does tip into the north-east corner as discussed.

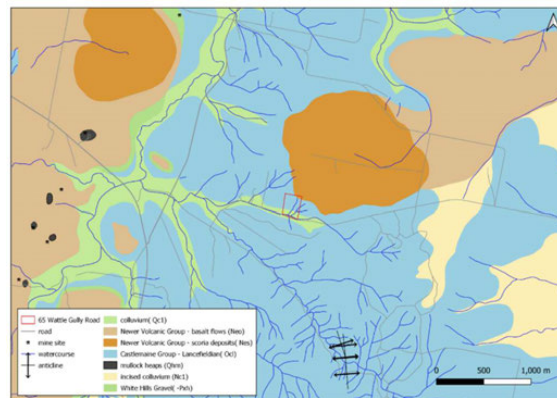


Image.5 Geology on site courtesy of Harwood.D Oct 2024. P.4

The Lancefieldian Formation consists of low fertility sandstone, mudstone and shale and is mostly covered in remnant vegetation. This unfertile area is why the area has not been cleared for farming as it lacks structure, organic material and fertility to support Agriculture.

The area to the south extent is the colluvial (derived from water movement on site) and is a diamictite gravel which is poorly sorted with a chaotic mix of particle rises forming from the movement of sandstone and mudstone uphill.

Fire

The site is under a Bushfire Management Overlay and the fire risk should not be increased to a level that is above the capacity of the development. The Dwelling is proposed to be constructed to a BAL 19 level so any regeneration on site is achieved below the level of BAL 12.5. The fire calculations allow for a forest fuel load even though the restoration is defined as a 15% canopy cover only. This allowance allows for regeneration, exceeding this cover at any stage and ensures that the dwelling will not be impacted by a load that could compromise the development.



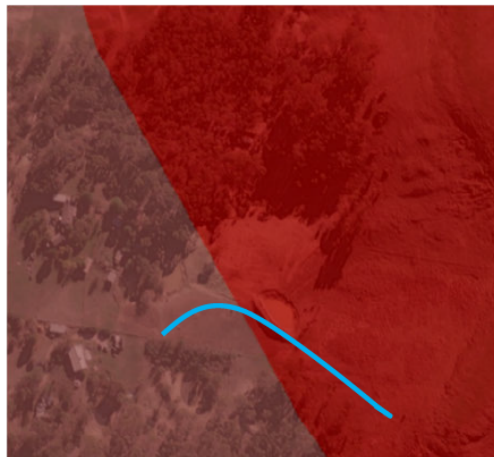
Erosion

These sedimentary soils from sandstone and where there is a lack of ground cover are susceptible to erosion.

The edges of the Wattle Gully Road have rock drainage lines to slow mitigate the loss of soil from erosion as shown below. The lower area of the site is less suited to construction and will need to retain cover as much as possible to mitigate risk of erosion from water movement in storms and high rainfall event.



Image.6 Rock chute along Wattle Gully Road (drainage due to excessive water movement)



Scarlet is FEAA Red Ferrosol
Dull red is Relic S1 SQA Red Sodosol

Image.7 Site soils (Source: Cerdi 2025)



The site is mapped to be a Red Ferrosol on the upper slopes and the lower slopes a red Sodosol (Source: Cerdi 2025) to review this on site and using the pictures from the Geotech report from AGR. The aqua line shows that on site the red ferrosol is lower down on site than mapped.

The upper slopes are a red colour and poorly sorted rock with quartz veins.

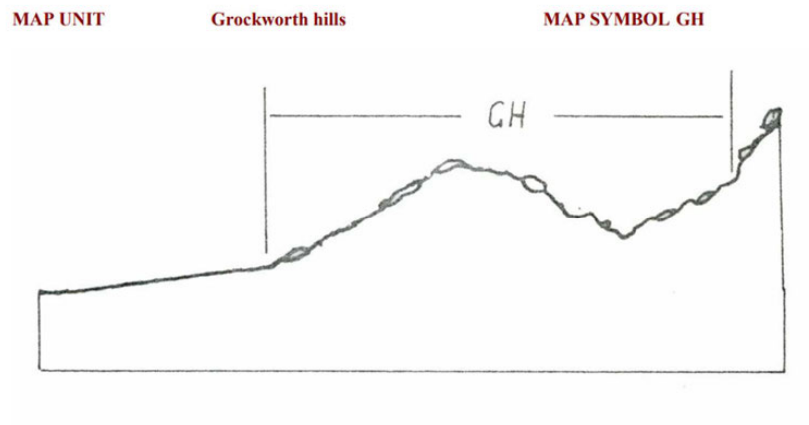


Photo4: View to east from the crest of the ridge
the ridge crest

Photo8: Typical outcropping quartz veins along

Image.8 Site pictures courtesy of Harwood.D Oct 2024. P.31-32

These soils represented in the Talbot-Clunes study from Preliminary Land Capability Study in the Shire of Talbot and Clunes (Source: Costello.R.T May 1981) aligns with the Grockwood Hills.



GENERAL DESCRIPTION

Granite hills of about 8-20% slope with some outcrops of granite on the crests. Variable soil depth – usually shallow to moderate.

LAND ASSESSMENT

- | | |
|---------|---|
| A | Erosion Risk with Land Disturbance |
| Class 4 | Shallow soils, Rapid runoff |
| B | Constraints on Construction |
| Class 3 | Slope & some large rock outcrops – shallow soil |
| C | Effluent Disposal by Soil Absorption |
| Class 3 | Soil – variable depth, often very shallow |
| D | Small Farm Dams |
| Class 4 | Slope, shallow soils, rock |

OVERALL ASSESSMENT FOR RURAL SUBDIVISION 2-10 ha (Considering A, B, C & D)

Image.9 Grockworth Hills (Source: Costello.R.T May 1981 p.23)



Image.10 Lower slope colluvial sandstone/mudstone mix highly bleached and shows some dispersion and movement of soil from water erosion.

The upper slopes the map units for the Erosion risk from land disturbance are mapped as being Land Class 4 with the lower slopes being a Land Class 2 (erosion risk).

High erosion risk (Class 4). Land with a high erosion risk requires significant levels of special management. The Authority should be involved at the earliest possible time, so that advice can be given in the initial planning stage.

Image11.. Definition of Class 4 (Source: Costello.R.T May 1981 p.5)

The upper slopes are not suited to develop and every attempt to retain and regenerate on these areas is imperative to mitigate erosion risk.

Nil to low erosion risk (Classes 1 & 2). The Authority will generally have no objections to the land use on the basis of erosion risk. However, other planning considerations may be of concern, such as proximity to water courses or water storages.

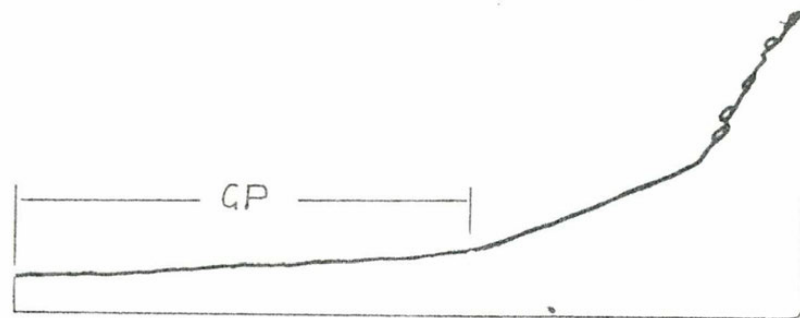
Image.12. Definition of Class 1 and 2 (Source: Costello.R.T May 1981 p.5)

The lower slopes do not have a risk of being cleared and have and are cleared and show only minor signs of erosion. However, the natural wearing of soil moves soil downhill in rain events and water quality will be impacted on. It is imperative that this is avoided, and the best practice is applied to the dam areas. The small dam shows signs of seepage as notes in the geotechnical report and will need a realign and all dams will need to establish a spillway to avoid erosion and for water quality vegetation to the perimeter is required.

MAP UNIT

Grockworth plains

MAP SYMBOL GP



GENERAL DESCRIPTION

Very gentle slopes (0-3%) on colluvial wash from the steep granite hills. Soils are deep sandy loams over medium yellow/grey clays

LAND ASSESSMENT

- | | |
|---|---|
| A | Erosion Risk with Land Disturbance |
| | Class 2 (3) Soil washes very easily in drains |
| B | Constraints on Construction |
| | Class 2 low to moderate Shrink-swell subsoil |
| C | Effluent Disposal by Soil Absorption |
| | Class 3 Percolation sometimes slow. Some lower areas are poorly drained |
| D | Small Farm Dams |
| | Class 2 |

Image.13 Grockworth Plains (Source: Costello.R.T May 1981 p.20)

There is no major erosion noted with the access track so this will be maintained as proposed access to the building site.

In the Grockworth soils the land Class 4 notes that these soils require the following applicable management requirements:

- High inputs of specialized land management techniques are required to minimize soil erosion and/or landslides.
- Specialised management techniques for grazing are required.
- Cropping is not advisable..
- A vigorous vegetative ground cover should be maintained throughout this unit.
- Prevention of further forest clearing is very desirable and reforestation should be encouraged.



- All earthworks, including dam construction, roading and other construction works, should employ conservative specifications suitable for each site and include topsoil saving, rapid revegetation, and other soil stabilization measures and maintenance.

These management requirements will form the basis of an integrated response to ensure the long term viability of the soils, increase biodiversity and reconnect fragmentation.

Biodiversity

The site is mapped to contain 2 different EVC's on site EVC 67 Alluvial terraces Herb-rich Woodland (lower and east slopes) and EVC 61 Box Iron Bark Forest to the upper slopes in the Goldfields Bioregion. EVC 67 is Endangered and EVC 61 is Depleted; regarding EVC 67 is imperative to note that the Bioregional Conservation Status of Endangered is the last stage before extinct.

Presumed Extinct	<p>Status code: X</p> <p>Probably no longer present in the bioregion (the accuracy of this presumption is limited by the use of remotely - sensed 1:100 000 scale woody vegetation cover mapping to determine depletion - grassland, open woodland and wetland types are particularly affected).</p>
Endangered	<p>Status code: E</p> <p>Contracted to less than 10% of former range; OR Less than 10% pre-European extent remains; OR Combination of depletion, degradation, current threats and rarity is comparable overall to the above:</p> <ul style="list-style-type: none"> • 10 to 30% pre-European extent remains and severely degraded over a majority of this area; or • naturally restricted EVC reduced to 30% or less of former range and moderately degraded over a majority of this area; or • rare EVC cleared and/or moderately degraded over a majority of former area.
Depleted	<p>Status code: D</p> <p>Greater than 30% and up to 50% pre-European extent remains; OR Combination of depletion, degradation and current threats is comparable overall to the above and:</p> <ul style="list-style-type: none"> • greater than 50% pre-European extent remains • and moderately degraded over a majority of this area.

Image.14 Conservation status levels explained (Source: Department of Energy, Environment and Climate Action 2025)

The alluvial terraces draining can be seen in historical aerial and this EVC is typically found within the Grey Box Grassy Woodland but does not qualify as per the EPBC as the most common tree species is not Eucalyptus macrocarpa as shown below.

Flowchart 2: Is the patch of potential Grey Box (*E. microcarpa*) Grassy Woodlands or derived native grasslands of sufficient quality for national listing?

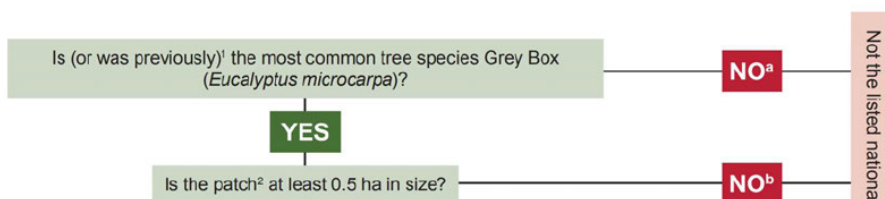


Image.15 Flowchart 2 (Source: Commonwealth of Australia 2012 p.24)

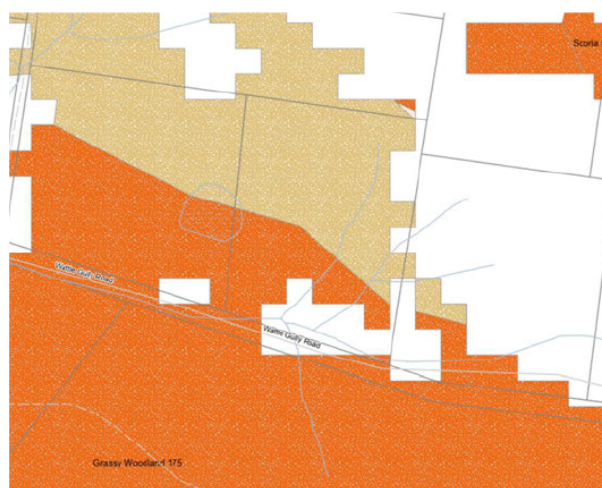


Image.16 Current EVC mapping (Source: Department of Energy, Environment and Climate Action, 2023)



Image.17 Current EVC mapping showing EVC 67 nearby to site (blue) (Source: Department of Energy, Environment and Climate Action, 2023)



The site inspection shows that *Eucalyptus leucoxylon* is the dominant species with *Eucalyptus melliodora* to the upper area where water drains and along the roadside. There were two *Eucalyptus baxteri* (Threatened species) along the roadside near the driveway and one up on the slope and is a threatened species.

The wet areas along the roadside are predominantly *Eucalyptus melliodora*.

The roadside obviously deals with a moderate amount of water as council has laid rock rubble drains to mitigate erosion along both sides of the road.



Image.18 Rock rubble along Wattle Gully road.



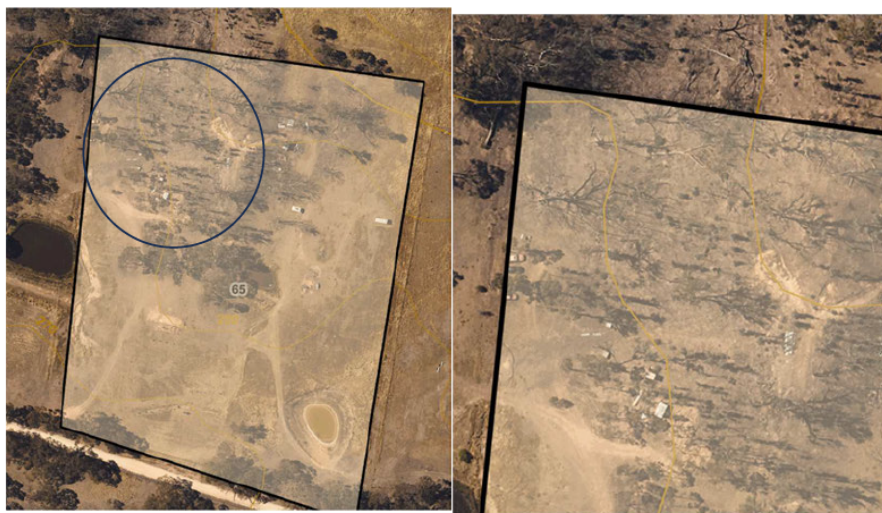
Image.19 view of vegetation on the upper slopes showing recruitment.

The upper slopes are moderately modified from the benchmark where you would expect to see a suite of at least 31% of shrubs with at least 20% herbs. This area is mapped to be just over 1ha in size and with an allowance of 1m² per involving 10,000 sqm that this equates to 60% of 31% of site of shrubs to be recruited into the area. This totals 10000x 0.31 x 0.6=1860 shrubs to be recruited into this area so that it represents 60% of the benchmark.

These are absent and regeneration into this area will assist in increasing the biodiversity on site; usually a good quality level to achieve is 60% of the benchmark. The previous owner had grazed the site with ponies and this is most likely what resulted in a loss of biodiversity.

The graminoids on site should have a coverage of 25% and this seems to be around 10-15% across the site and regeneration of these species will be sufficient to recruit naturally. The soil crusts are found to be close to the benchmark this level is assisting with mitigating against erosion and needs to be retained at all times. This is more evident in the upper slopes as below.

What impact does a lack of a shrub lifeform have on fauna? Shrub layers are an important habitat and food source for bird species many of which are threatened species!



Images.20 Lassi aerial after the 2019 Fire (Source: Department of Transport and Planning 6 May 2025)



Image.21 One of the two mature rare Eucalyptus macrocarpa on site

This tree above has native bees (angry ones we found out) and is one of the two E.microcarpa on site this tree was saved during the fire as the owner was on site at the time and used a tank of water to extinguish the flames, so this tree was saved.

This fire originated north of the site from a burn off and decimated many of the trees on site (blue area above) and most of the regrowth on site has occurred because of this burn.



Image.22 Large old growth E.leucoxylon responsible for almost all the post fire recruitment.



This tree contains hollows and will be home to many bird species including raptors and to arboreal mammals.



Image.23 Large old growth E.leucoxylon with hollows in the main stem.



Images.24 Soil crust on site

The soil crust images above show where the soil crusts and lichen are evident there is less soil movement from rain events and where it has partial covering (right image) there is soil movement.



It is imperative that cover is retained on site with more longer-lived species to mitigate the loss of topsoil. Soil crusts and lichen are important to hold the soil intact and will assist in mitigating soil erosion. The image above demonstrates where small areas are lost and that the soil is subject to movement from high rainfall periods.



Image.25 North-east corner running down along the east fence boundary (Soil Creep)

These images are on the high point of the east side where the soil starts to ripple the soil starts to move. The Geotechnical report did not note this but highlighted the severe areas to the north as shown below.



Image.26 Soil mass movement to the north and north-east of the site. Courtesy of Harwood.D Oct 2024. P.24



Image.27 Soil to the east of site (Brown Ferrosol)- washed down newer Volcanic



Photo5: Overlooking the proposed dwelling location (looking south)

Photo6: Overlooking the proposed dwelling location (looking west)

Image.28 Red Ferrosol on site near proposed dwelling Courtesy of Harwood.D Oct 2024. P.31

Results.

The site contains 2 ecological vegetation classes one which is Endangered and the other would be listed on the EPBC Act if the dominant species on site was *E.microcarpa* and not *E.leucoxylon*. As the site is still in a period of transition and currently has an over dominance with recruitment of *E.leucoxylon* it is difficult to gauge if prior to the fire this was different. The Yellow Gum has dominated with recruitment and this will continue to develop over time with trees developing a



canopy and trees attempting to be the dominant tree. The site has only 2 *E.microcapra* old growth trees on site and it's difficult to understand specifically why this species is not recruiting to the same level as the other species. Items such as cross pollination can cause species to be sterile and this could be a rationale for what is occurring on site. Either way this pivotal species needs to be re-established on site with seed collected from the nearby Clunes State Park.

The owner's [REDACTED] is a Horticulturist with a background in the collection of seeds and growth of plants for restoration in the outskirts of Melbourne. [REDACTED] held a permit from DEECA to collect seeds when working at this nursery [REDACTED]. [REDACTED] will be applying for a new permit with DEECA to collect seeds from the Clunes State Park to enable stock to be grown in [REDACTED] home in Melbourne. These plants will be used to revegetate the area on this site. This is imperatively important as the seed is sourced locally and has providence (same genetic diversity).

Salinity Management

The site is within a salinity management overlay and a salinity report has been compiled by [REDACTED] dated 17th of October 2024. This report notes that the site is not situated in a soil/geology that would be at risk of dry lad salinity on page.16. However, the note that the vegetation does not signal that there is an indication of salinity. [REDACTED] report notes the site to have a cover of Spiny Rush that is a well-known salinity indicator plant; however, the identification on site showed the Juncus to be Knobby Club-rush, *Finicia nodosa* to small areas where waterlogging was suspect. *Finicia nodosa* is a very good indicator plant of salinity and is a front-line salt tolerant species often occurring along the coast and can occur in brackish water (Source: Greening Australia 2006)

The *Phalaris aquatica* (Phalaris) is tolerant too low to moderate salting. (Source: Greening Australia 2006); both these plants on site are also indicators of waterlogging.

The groundwater mapping on site notes the ground water to be moderately saline at 1000-3500mg/l and the ground water mapped to be below the dam in the south-east corner of below 10m depth. (Source Visualising Victoria's Groundwater)

Any shallow areas along the east side of the lot will benefit from trees grown in this biolink as they will use water in the profile and this will ameliorate the rise of salt to the surface.

Mitigating Salinity with regeneration and cover.

Many farming areas have been historically cleared for dryland cropping and grazing and this has led to a decrease in the amount of deeper-rooted vegetation that uses up ground water and holds the soil in place. This site represents the middle model below where the ground water has crept higher due to a lack of vegetation and the topsoil is lost downhill from rain events. The soils porosity becomes shallower and salts creep to the surface and this has led to severe in many areas of Australia and is one of the most prevalent and costly types of land degradation. Agricultural soils

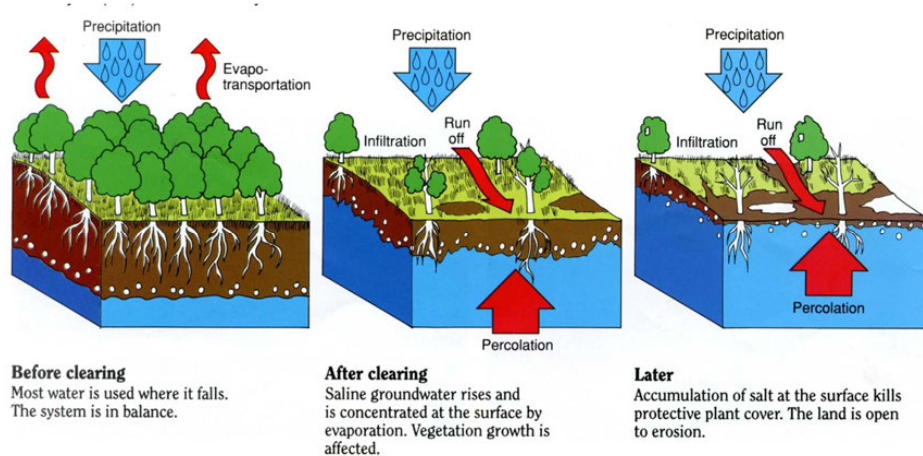


Image.29 Salinity how it develops (Source: FAO. 2024)

“Salt-affected soils, characterized by high soluble salts (saline) or exchangeable sodium (sodic), impact plant growth and occur globally, especially in arid and coastal regions. Salinization stems from natural causes (e.g. climate change, sea level rise) and human actions (e.g. poor irrigation practices, excessive water use). FAO’s Global Map of Salt-Affected Soils reveals that over 1 381 million hectares, 10.7 percent of global land, are affected, with Australia, Argentina and Kazakhstan among the most impacted countries. Increasing aridity and water demand amplify soil degradation risks, particularly in developing regions. Climate change and water scarcity threaten agricultural productivity, with substantial crop yield losses observed in saline areas.” (Source: FAO. 2024)

Australia is one of the most affected areas for salinity that is costing Agriculture and there is a strong and urgent need to ameliorate this and the federal government has policy to return and repair soil degradation. The National Strategy can be viewed at <https://www.agriculture.gov.au/agriculture-land/farm-food-drought/natural-resources/soils#:~:text=The%20National%20Soil%20Strategy%20is,The%20strategy's%203%20goals%20are:>

Why mitigate soil loss -Climate resilience.

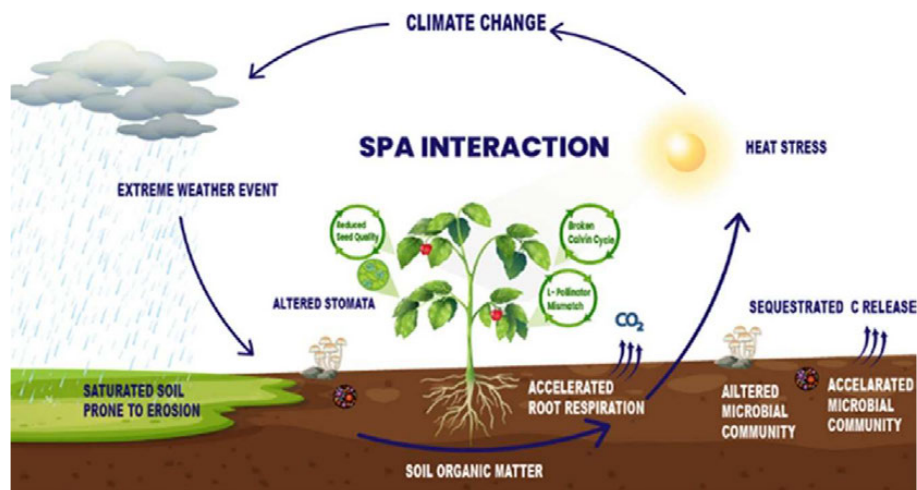


Image.30 Soil-Plant-Atmosphere Interactions. (Source: Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025)

Soils that are prone to erosion are predicted to be subject to more extreme weather events and the soils on site show minor erosion and soil creep. It is imperative that the vegetation on site is increased to mitigate not only the rise of saline waters but the loss of carbon and erosion.

“Climate change, driven by long-term shifts in temperature, precipitation, and atmospheric conditions, greatly disrupts the interconnected processes within soil, plant, and atmospheric processes, collectively referred to as the soil-plant-atmosphere (SPA) nexus”

(Source: Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025)

Soil is the basis of agriculture and climate change will alter soil fertility and its physical structure, moisture content, erosion rates and compaction, all of which are essential for our soils. (Source: Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025)

Weeds

The site is exceptionally well managed for weeds there were a few outbreaks of Blackberry and a small patch of Horehound (*Marrubium vulgare*) which is a Noxious weed.

Weed Management

Rubus fruticosus spp. agg (Blackberry)

Description	Life cycle	Status	Dispersal methods
It is a semi-prostrate to almost-erect shrub, with arching and entangling stems arising from a woody crown and forms thickets up to several metres high. The root/crown system is the only perennial part of the plant. Blackberry stems are erect, or semi-erect, canes that arch or trail up to 7 m long. They can be green, purplish or red, smooth or moderately hairy, round or angled, with numerous curved or straight prickles of different sizes and sometimes with small, stalked glands.	Germination: Seed germinates September to November. Blackberries can also spread by daughter plants. Flowering: December to April Fruiting: February to April	Noxious Blackberry is an extremely serious agricultural threat, owing to its rapid growth and ability to reproduce through various methods. It is a highly invasive species that will readily establish on disturbed sites and infest large areas. Once established it is expensive to manage and can even be a fire hazard due to large amounts of dead canes.	Blackberry fruit are eaten by birds, foxes and other mammals which distribute seeds over wide areas. Seeds are transported by water along creeks, drains and rivers. Movement of contaminated soil and cultivation and spread blackberry. Infestations increase in size via the formation of daughter plants at the end of canes, up to 6 m from the crown. Blackberry seedlings are not very vigorous in their first year but after a woody crown is formed, they become firmly established. New canes are produced from the crown each spring and frequently project horizontally for over 3 m from the crown after one growing season.



Distribution across the site

Along waterlines to the north-east corner of the site spreading from the adjacent lot to the north.

Control options within the site

Prescribed measures for the control is:

Application of a registered herbicide
Physical removal
Mulching

Removal along waterways is best undertaken by a registered consultant to avoid any impacts of the herbicide on the aquatic life and water quality.

Marrubium vulgare (Horehound)

Description	Life cycle	Status	Dispersal methods
An aromatic, pale, crinkly and deeply veined, opposite-leaved, bushy, perennial herb with white, woolly hairs, rings of white flowers up the stem from September to May and small spiny burrs with hooks. Perennial up to 1.8m tall. Seed germinates mainly in autumn with some in winter and spring. Seedlings are initially weak but soon establish and grow rapidly during winter and spring. Some may not flower in their first year whilst others and old plants flower from late spring to autumn. They are very hardy once they are established. Can kill sheep.	Germination: Autumn Flowering: Spring to Autumn Fruiting: Summer	Noxious weed	Reproduction in this species is by seeds. The seed will pass through the gut of horses and still germinate. Heavy grazing increases its abundance. Seedlings rarely establish in dense pastures; it tolerates very poor soils and is often a colonising species after erosion events.



Distribution across the site

This species occurs on poor soils such as coastal sands, limestone soils and loams. Well drained soils. Tends to be more abundant on alkaline soils. Coastal sands, limestone soils and loams. Well drained soils. Tends to be more abundant on alkaline soils. Weed of crops, roadsides, pastures, lucerne, stock yards, farm yards, fence lines, water channels, rabbit warrens and disturbed areas.

Control options within the site

Spray plants with an approved herbicide and small infestations can be removed by hand.



Pest Animals

There were evidence of old Rabbit warrens and holes with recent scats indicating that rabbits are a current threat on site.



Image.31 Old rabbit warren where soil has sunk into the passages.

These holes allow water to reach the substrate, and dispersive soils will eventually open up areas that will erode further with subsequent rain events. These holes need to be filled in and ongoing management is imperative to ameliorate erosion.

Dam Management

The movement of water down slope on site is of concern and it has been demonstrated that the site does discharge large amounts of water to the road reserve and council has established rubble drains to avoid erosion and direct water along the roads to avoid erosion.

Similarly on site this is required as well for the east side of the site as with climate change there will be higher rainfall periods and an increased risk of erosion and movement of sediment on this site. This planning application has demonstrated that this is evident and that there is a need to reestablish cover through this area.

The dam is an important area for the catchment of water and a rubble drain as a spillway for this dam and covers a defined pathway to the roadside rubble drains. This will be best completed in consultation with councils' engineering department.



In addition to protect water quality, provide habitat (many frog species noted within 5km of the site) and mitigate sediment, it is proposed that gaminoids are developed up slope and around the sides of the existing large dam that is within the area of water movement on site.

A list of species and handout on this will assist the landowner in managing this long term.

Bird Species that rely on this habitat

There is a large amount of Bird species listed within 5km of the site and many rely heavily on the woodlands on site. The large old growth trees on site contain hollows and many species such as the Brown Tree Creeper were evident on site using the large trees as perches. The owner has site the endangered Black Falcon and Little Eagle both these raptors hunt open pastures but rely on old growth trees for nesting and perches. Many of the smaller bird species will use the site as habitat once the substratum is increased although Blue Wrens were seen on the site inspection.

Gang Gang Cockatoo

“*Callocephalon fimbriatum* (Gang-gang Cockatoo) is listed in the Endangered category of the threatened species list under the Environment Protection and Biodiversity Conservation Act 1999 (Cwth) (EPBC Act) effective from 2 March 2022. (Source: Department of Agriculture, Water and the Environment (nd)



Why is your site valuable?

Gang-gang Cockatoos primarily occur within the temperate eucalypt forests and woodlands of mainland south-east Australia (Menkhorst et al. 2017). The species is an altitudinal migrant. The species critically relies on this habitat for foraging and for breeding and often is found foraging over 10m up in the canopies of Eucalyptus woodlands (Source: Australian Government, nd)



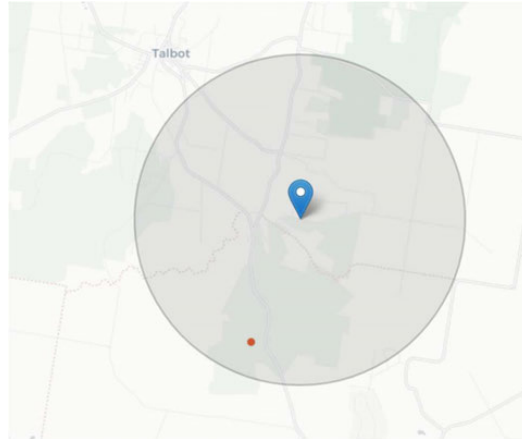


Image 32 recorded sightings of Gang Gangs near the site (Source: Belbin L, Wallis E, Hobern D, Zerger A (2021))

What you need to manage?



- Retain all hollow bearing trees on site.
- Place nesting boxes placed near the waterway underneath the trees to provide nesting for this bird.
- Water sites must be maintained during drought periods for all bird species- such as ceramic dish that is kept clean.
- Post fire all hollow bearing trees to be tagged and guards placed to stop arboreal mammals from gaining access to trees and predating on bird species.

Diamond Firetail

The Diamond Firetail is a small finch, with striking, spotty plumage. They are known for their courtship dance, during which the male Diamond Firetail holds a long piece of green grass in his bill, then flies to a branch where he sits near the female and begins to bob up and down. The Diamond Firetail is a small bird sometimes described as one of the most stunningly coloured birds of the finch family. The top of its body



is ash brown with a crown, forehead and neck grey. The underparts are white with a crimson rump. There is a black band across its neck which continues down the flank to be dotted with white. The bill and eye ring are coral, and the legs and feet are dark grey. The female is similar to the male although sometimes smaller. The juvenile Diamond Firetail has a black bill and is duller in colour. They fly low and flocks travel in long lines. Their average size is 12cm and their average weight is 17 grams. Diamond Firetails are found in open grassy woodland, heath and farmland or grassland with scattered trees.

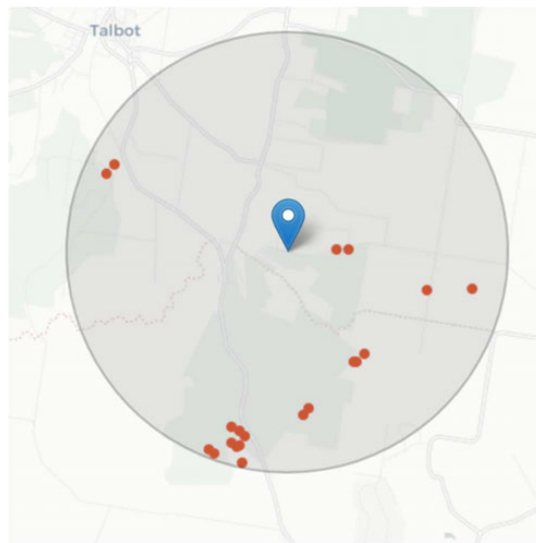


Image 33 recorded sightings of Gang Gangs near the site (Source: Belbin L, Wallis E, Hobern D, Zerger A (2021))

What you need to manage?

- Retain old growth trees on site.
- Control pest animals such as cats and foxes.
- Report any sightings on the Atlas of Living Australia





Mammals Species that rely on this habitat

Phascogale

In Victoria the Brush-tailed Phascogale's distribution is fragmented. The species occurs in the foothills to the east and north-east of Melbourne; central Victoria around Ballarat, Heathcote and Bendigo; north-eastern Victoria from Broadford to Wodonga; the Brisbane Ranges north-east of Geelong; and far western Victoria from Mt Eccles to Apsley.

Phascogales are primarily arboreal, and forage for their diet, which is predominantly large insects, spiders and centipedes, on the trunks and major branches of rough-barked trees and fallen logs. Brush-tailed Phascogales nest in as many as 30 different sites each year. Nests may be in hollows in dead or live trees, under flaking bark, or in tree stumps. Nursery nests require large, secure cavities with small openings; competition for these cavities from other species is often intense. Where natural hollows are scarce, Brush-tailed Phascogales will use nest boxes as shelter and nursery sites. Habitat degradation and fragmentation is still occurring in the species' remaining range because of timber and firewood production, grazing, mining activities and clearing of private land. The relative impact of each of these activities on the species is difficult to assess because the Brush-tailed Phascogale is cryptic and shy, occurs at low densities and is difficult to detect by traditional trapping techniques. Poisoning campaigns using 1080 are targeted at introduced predators such as the Red Fox, which are potential predators of, and competitors with, Brush-tailed Phascogales. The predominantly arboreal foraging behaviour should minimise the likelihood of accidental poisoning, particularly as baits are buried, as required by the NRE Code of Practice. The paucity of hollow-bearing trees is of particular concern for the conservation of the Brush-tailed Phascogale. The loss of hollow-bearing trees from Victorian native forests has been listed as a potentially threatening process on Schedule 3 of the Flora and Fauna Guarantee Act 1988, largely because of the dependence of many vertebrates (including a number of rare species) on this habitat for shelter and nesting.

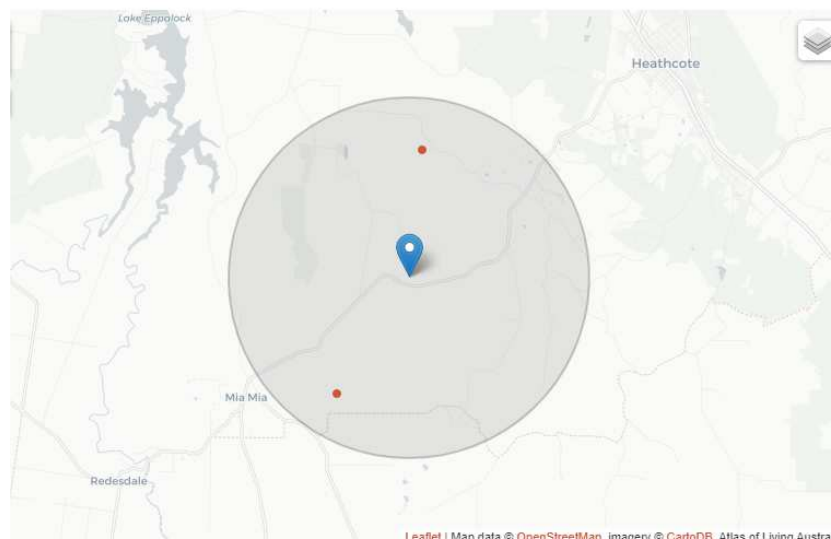


Image.34 recorded sightings of Brush-tailed Phascogale near the site (Source: Belbin L, Wallis E, Hobern D, Zenger A (2021))



Nest box design, installation and management

Box volumes currently in use range from 8 to 16 litres. Entrance holes are placed on the side of the box nearest to trunk, so the animal is less exposed to predators when entering or leaving.

Boxes are hung from a 6-inch nail placed into the tree on a 45-degree angle. Larger diameter trees are selected when available so that the box receives greater thermal buffering from extremes of temperatures experienced in the Bendigo region. Protection from overhead canopy and shading from adjacent trees is carefully considered to provide maximum protection from solar radiation in summer. Best practice tip: install boxes at the time of day when this can be most directly assessed.

Height for placement on trees is between 3-4 metres for practicality. For best phascogale box placement, a tree is selected that has branches or canopy that interconnect with adjacent trees. This allows phascogales to jump across when dispersing so the animal can avoid travelling on the ground in areas immediately surrounding the base of the tree with the box.

Where possible, at least two boxes are installed at each location. The distance between boxes is no more than 5m. This provides adequate boxes for phascogales and sugar gliders otherwise gliders may prevent phascogales from using a box where only one is available. Best case scenario would be to place a cluster of four boxes enabling both winter and summer shelter that caters for changing sun angles/direction during winter and summer seasons and the extremes of seasonal temperature experienced in Mount Glasgow.

What you need to manage?

- Retain old growth trees.
- Construct at least 2 artificial hollows in areas of low hollow availability, utilising appropriate nest boxes and/or chainsaw hollows, the latter of which have the potential to restore degraded habitat and may be used more by arboreal marsupials than nest boxes.
- Control pest animals such as cats and foxes.
- If 1080 is used to control foxes it must be buried to avoid off target impacts
- Report any sightings to DEECA and list up on the Atlas of Living Australia



Reptile List Species that rely on this habitat

Snake-necked Turtle

The south-western snake-necked turtle has been identified as being common in the area and the owner has seen turtles on the sites dams. As the dam is to be improved by removing grazing and placing graminoids around the dam will improve habitat for this species and improve water quality.



Image. 35 Eastern-long necked turtle (Source: Conservation Biology of Freshwater Turtles and Tortoise4s November 2009

This turtle often undertakes overland migration especially during drought periods and the improved dam will be an idea habitat. Foxes are a predator of this species and ongoing monitoring and control of this pest along with rabbits is imperative for the survival of this species.

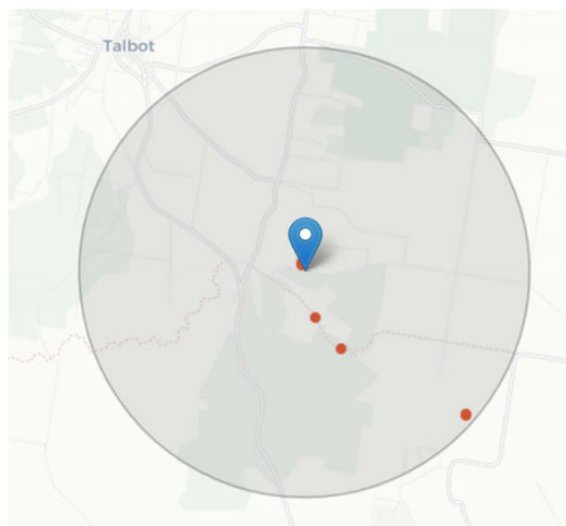


Image.36 Sightings of Snake-necked Turtle (Source: Belbin L, Wallis E, Hobern D, Zenger A 2021)



What you need to manage?

- Retain graminoids around the dam
- Monitor and control of rabbits and foxes on site.
- Keep domestic animals outside this area



Reptile List Species that rely on this habitat

Pobblebonk

The Pobblebonk is a well distributed frog around Victoria found in a range of environments such as woodlands, forests, farmlands to coastal sites, they are often associated with slopes and ranges. They are always found near or in permanent water bodies that are still or slow moving.



Image.37. Pobblebonk (Source: North Central Catchment Management Authority nd)

Threats to this species are salinsation, habitat degradation and degraded water quality.

What you need to manage?

- Retain graminoids around the dam
- Monitor and control of rabbits and foxes on site.
- Keep domestic animals outside this area



On-going Land Use Commitments

This section presents the actions required to implement the management strategy for the zones.

These site are to be managed in perpetuity. Management actions described below are to be implemented on site

- weed cover is managed in perpetuity to ensure it does not increase beyond the level attained at year 10 of management;



- pest animals are controlled in perpetuity to the level attained at year 10 of the management; and,
- the health and condition of large old trees is maintained.
- Protect remnant patches

Any proposed uses or development of the site which conflict with the landowners commitments are not permitted under this plan.

Access Control

Without active management and appropriate fencing, unrestricted access (if required) for zones then this may result in loss of native vegetation cover, soil disturbance and compaction, and weed facilitation.

Access control will proceed in accordance with the following:

- Maintain permanent fences surrounding the remnant and waterway zones. Any new fencing should be permanent post-and-wire fencing and constructed with minimal impact to the remnant patch (i.e. no stock piling of fencing materials or soil during construction); and,
- Fence condition will be monitored on an annual basis with any gaps or holes repaired immediately.

Key Performance Indicators

The following key performance indicator has been provided to measure the success of the access control:

- Permanent fence prevents all unauthorised access to the remnant patch or riparian zones

Pest Animal Control

There is currently evidence of pest animals such as European Rabbit within the site, nevertheless, the occurrence of pest animals and potential habitat should be monitored during management works. Rabbits remain a threat for the regeneration/recruitment of native species throughout western Victoria. All vermin harbour (i.e. burrows) should be removed, without disturbance to native vegetation or significant soil disturbance. The landowner/contractor is to monitor pest animal use of the site whilst undertaking vegetation management works. Any changes in the influences of pest animals may require a change in the management actions.

The following key management actions will be undertaken to ensure success of the pest animal program:

- Monitor the population of pest animals (namely rabbits, hares, Indian Myna Bird feral cats and foxes) during weed control works and adapt management as considered appropriate (i.e.



if an increase in pest animal activity is observed then a targeted pest animal control program should be implemented.).

- Identify potential harbour and burrows, and destroy if soil disturbance can be minimised and all native vegetation retained; and,
- If necessary, undertake a pest animal control program (e.g. baiting, trapping and shooting of foxes, hares, rabbits or feral cats).

Key Performance Indicators

The following key performance indicators have been provided to measure the success of the pest animal management:

- No increase in pest animal activity from approval of this plan; and,
- Minimal soil disturbance and no native vegetation loss from pest animal management activities.
- Upgrade fencing if pest animals are evident in the riparian or remnant areas.

Native Vegetation, Logs and Coarse Woody Debris

Native vegetation, logs and coarse woody debris contribute to the ecological value and character of the remnant patch including providing habitat for native fauna species. Management actions for the site will include the following:

- Ensure all native vegetation, both dead or alive, is retained including standing dead trees, fallen logs, branches and leaf litter;
- Harvesting or collecting timber for fire wood or other uses is not permitted. Removal of exotic trees and shrubs for weed control is permitted.
- Ecological thinning of regenerated canopy trees, or recruits from other species of native vegetation is recommended should the survival of existing individuals be negatively impacted, or if the fire risk within the site is significantly increased from current levels. This would need to be verified by a consultant arborist and with approval of Council.
- Installation of logs is permitted to increase habitat value for fauna, and achieve gains targets specified;
- Fire risk within the site is not increased; and,
- Only weeds or out of balance native species are removed.

Key Performance Indicators

The following key performance indicators have been provided to measure the success of the enhancement of fauna habitat:

- All native vegetation is retained within the site; and,



- Isolated large old growth trees are retained in situ and there is an improvement in health.

Monitoring and Reporting

Monitoring of native vegetation should be undertaken with the use of photopoints on site and reported annually to the council.

If large old growth scattered trees shown on the existing plan show signs of decline in health you will need to consult an arborist to review the issue.

Corrective Action

If monitoring identifies a trending degradation of vegetation and habitat quality within the remnant areas, taking into account seasonal environmental conditions or fluctuations, corrective actions and contingency measures may be required. Such corrective actions may comprise a change in management techniques, timing and/or frequency from those outlined in this plan. Corrective actions should be discussed with the ecological consultants prior to implementation and included in the annual report.

Triggers for corrective action include:

- Management and monitoring of the site is unable to be maintained
- Noxious weed species cover exceeds Year 1 baseline levels or increase in cover is recorded over two consecutive years;
- Pest animal activity exceeds Year 1 baseline levels or an increase in activity is recorded over two consecutive years;
- Unexpected loss of any Large Old Trees within the site.

Reporting

Progress reports will be provided to the responsible authority (Council) if required annually for a 10 year period. Information to be provided in the progress report includes:

- A copy of the Management Actions Table.1 detailing actions completed during the reporting period;
- Landowner monitoring and reporting forms;
- Image from Photopoints
- Results of weed and pest animal control work;
- Successful management tools (i.e. techniques used to control weed species, protection of new recruits, monitoring technique, etc.);
- Any problems or issues experienced (i.e. new infestation of weed species, etc.);and,



Rationale for adaptive management on site

It is imperative that the site be managed on an ongoing adaptive basis where there is the ability to monitor and control risks. The current owner is currently living remote to the site and is currently limited due to the tyranny of distance to only occasional visits. The restoration along with management will require a lot of time on site including planting, watering, and protecting recruitment from predation. Control of pest species such as rabbits is limited to diurnal control due to their habit of coming out at dusk and wreaking havoc during the night. Shooting is the preferred control and night management from several hundred kilometers away is impossible and re-infestations are only noted on an ad hoc basis. Responding to rain events and preparing for planting along with monitoring and replacing lost plants is again not considered to be best practice on an ad hoc basis and must be on site to be adaptive.

The restoration of habitat has strong socio-economic benefits for threatened trees and birds that rely on this habitat. The Clunes State Park across the road is regularly entered for illegal firewood and a dwelling in the area is a great deterrent against this. Currently the lack of dwellings makes this theft more possible and the threatened species *Eucalyptus baxteri* is on the roadside near the dwelling. The economic benefit of ameliorating salinity has extreme social costs if not ameliorated and this can leave an area void of any vegetation, and this would lead to increased erosion and affect water quality with turbidity. All these land management risks are evident risks, and the works proposed will stabilise the area and lead to appropriate land management that requires constant works and adaptive management, all not possible from a remote location. The high prevalence of kangaroos on the site and on adjacent sites makes travelling at night to control pest a hazardous undertaking.

Economic benefits are in the restoration of the biodiversity on site which will increase the condition score and extent that if mapped could demonstrate the actual benefit in monetary terms.

"Biodiversity, the variety of life on Earth, is not just a matter of ecological importance; it also has significant economic implications. Investments in biodiversity conservation and sustainable management are often perceived as expenses rather than strategic investments. However, there could be a case for justifying these investments by considering the potential Return on Investment (ROI) and the long-term benefits they can bring.

The Intrinsic and Extrinsic Value of Biodiversity

To understand the justification for investing in biodiversity, it's essential to recognize the dual value of biodiversity: intrinsic and extrinsic.

Intrinsic Value: Biodiversity has inherent value in its own right. Every species, ecosystem, and genetic diversity contributes to the richness of our planet's life. Biodiversity is a part of the Earth's heritage, and its intrinsic value cannot be underestimated.

Extrinsic Value: Biodiversity also holds significant extrinsic value, which can be translated into economic, social, and cultural benefits. This includes ecosystem services such as pollination, clean air and water, climate regulation, and disease control. It also encompasses recreational, tourism, and research opportunities, which can be quantified and leveraged for ROI.



Economic Benefits of Biodiversity

Investing in biodiversity yields various economic benefits, some of which include:

Ecosystem Services: Biodiverse ecosystems provide essential services that, if disrupted, would require expensive human intervention. For example, wetlands purify water, reducing the costs of water treatment facilities. Forests act as carbon sinks, mitigating climate change and reducing the financial burden of climate adaptation and disaster response.

Agricultural Productivity: Biodiversity is essential for agriculture. Healthy ecosystems ensure pollination, pest control, and nutrient cycling, which are crucial for agricultural productivity. Investments in preserving biodiversity in agricultural landscapes translate into higher crop yields, reduced pesticide use, and ultimately, higher profits for farmers.

Pharmaceutical and Biotech Industry: Many pharmaceuticals and biotechnology products are derived from natural sources. By investing in the preservation of biodiversity, we ensure a rich source of genetic material for the discovery of new medicines and innovations, which can be lucrative for the biotech industry.

Ecosystem-Based Adaptation and Resilience

Biodiversity investments also enhance ecosystem resilience and adaptation in the face of global challenges:

Climate Change: Biodiversity contributes to climate resilience by sequestering carbon and providing natural buffers against extreme weather events. Investments in biodiversity can significantly reduce the economic costs of climate change adaptation.

Disease Control: Biodiverse ecosystems often act as natural buffers against zoonotic diseases. The disruption of these ecosystems can lead to costly disease outbreaks. Investments in biodiversity conservation can mitigate these risks.

Flood Control and Water Management: Ecosystems like wetlands and forests play vital roles in flood control and water purification. Protecting and restoring these ecosystems reduces the costs of flood damage and water treatment.

Measuring Biodiversity ROI

Quantifying the ROI of biodiversity investments can be challenging but is necessary for justifying these expenditures. Methods for measuring ROI may include:

Cost-Benefit Analysis (CBA): CBA compares the costs of biodiversity investments with the economic benefits they generate. The net benefit can be considered as the ROI.

Ecosystem Service Valuation: Assigning monetary values to ecosystem services can help assess the economic returns on investments. For instance, clean water provided by wetlands can be valued based on the cost savings it offers.

Market-Based Approaches: Some biodiversity-related activities generate direct economic returns. For instance, ecotourism or sustainable harvesting of forest products can be quantified as ROI.



Non-Market Valuation: Many biodiversity benefits are not directly bought and sold in markets. Non-market valuation techniques like stated preference surveys or hedonic pricing can be used to assess these values.

The Role of Non-Governmental Organizations (NGOs)

NGOs can facilitate biodiversity investments by partnering with businesses and governments, conducting research, and raising public awareness. They play a crucial role in promoting the importance of biodiversity and creating opportunities for ROI.

To put it briefly, while it may not be simple, supporting biodiversity is an investment in the future. In addition to safeguarding ecosystems and species, we also secure long-term prosperity, economic stability, and resilience against global challenges by protecting and conserving our natural world. Investments in biodiversity are justified by acknowledging the intrinsic and extrinsic qualities of biodiversity, comprehending its economic advantages, reducing risks, taking a long-term view, and applying suitable valuation techniques. To encourage biodiversity investments and build a sustainable and prosperous future for everybody, governments, corporations, and non-governmental organizations must work together. Biodiversity is an investment in both our planet's and our personal well-being, not just a cost.” (Source Addison.G March 2024)

The environmental benefit of the restoration and adaptive management of the site can increase the biodiversity in the existing Box Ironbark Forest to increase the substratum. This has the potential to increase the condition score on site and to provide essential habitat for bird species. Allowing the recruitment of the Alluvial Herb-rich Woodland will also increase cover on site and will create a biolink from the existing patch to the large Clunes State Forest to the south. This will not only unfragment the landscape and allow for closer and a wide genetic base but also a link for fauna in the area.

Risks from no ongoing adaptive management.

Direct loss of species from wood harvesting, loss of species from root zone impacts if vehicles are left in the conservation area, or if grazing continues as has happened in the past. The site to the east contains sheep that often get over the fence or through a broken part often caused by kangaroos and with adhoc management they could chew current regeneration on site setting the restoration back each time.

Loss of habitat and erosion from lack of adaptive control of rabbits.

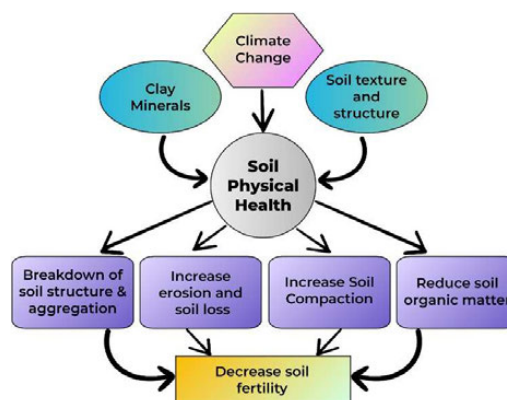


Image. 38 No risk management (Source: Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025)



Greater susceptibility for the existing patch due to lack of connectivity and renewable genetics and trees eventually becoming senescent and being lost.

Loss of soil and soil quality after vegetation loss, heavy rain events and compaction from wandering stock.

Changes in water low and quality, along with decreased water filtration and increased run-off from lack of cover.

Weed invasions that go unchecked, often weed invasions are responsive to climatic changes such as rain. Weeds perpetuating on site can change nutrient levels to a point where native species are lost.

Loss of hollow bearing trees on site from fires, illegal firewood collecting.

Changes in predation such as cats and foxes preying on native species resulting in a severe decline in biodiversity.

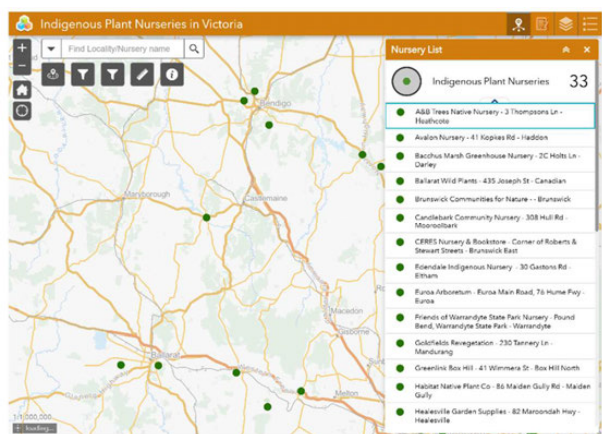
Loss of habitat for common and threatened species in the landscape.

Revegetation

Regeneration in the existing remnant area (known as EVC 61) is devoid of shrubs and over a 10 year proposed 1800 new shrubs will be planted across the area shown on the Farm Management Plan. These can be ordered from any indigenous nursery and will be marked on the regeneration list for EVC 61; the proposed benchmark gives a break down of small and medium shrub percentages.

The regeneration of the east side (known as EVC 67) requires trees to assist with soil stabilisation and to create habitat. This area is constantly monitored for bare areas and erosion especially after heavy and extreme rain events; cover is to be replaced with graminoids (grass like) and ground cover species from the regeneration list for EVC 67

This website highlights the locations across Victoria of the Indigenous plant nurseries you can source stock from <https://www.environment.vic.gov.au/home/indigenous-plant-nurseries-in-victoria>





Landholder experience

The landowner, her mother and daughter have many decades of experience in conservation. [REDACTED] is a qualified horticulturist and will be reapplying for a permit to collect seed stock so that [REDACTED] can grow on plants to be used for regeneration.

Zones

Domestic zone

All domestic buildings, structures and works are to be contained within this zone. All domestic activity is to be limited to this area and any domestic animals contained to this zone using internal fencing or suitable enclosures.

Conservation Zone

The objective of the conservation area is for the protection of the native vegetation and faunal habitat.

Management objectives apply to this area:

- Fencing must be maintained in good order and repaired immediately if necessary.
- No grazing by livestock
- There is no stockpiling/storage, soil disturbance or any vehicles.
- Landowner must maintain and protect all whether live or dead native vegetation and allow for natural regeneration.
- Weeds must be monitored and maintained as they emerge.
- Photo points are to be established and images collected each year to understand how the area is responding to management.
- The landowner must monitor for pest animals and obtain professional advice for the control especially where they are having an impact on soils and native vegetation.
- Landowner to protect this area from domestic and stock animals.
- No removal of material for firewood
- Revegetation to be undertaken and replaced if lost to ensure habitat is maintained.
- No vehicle access



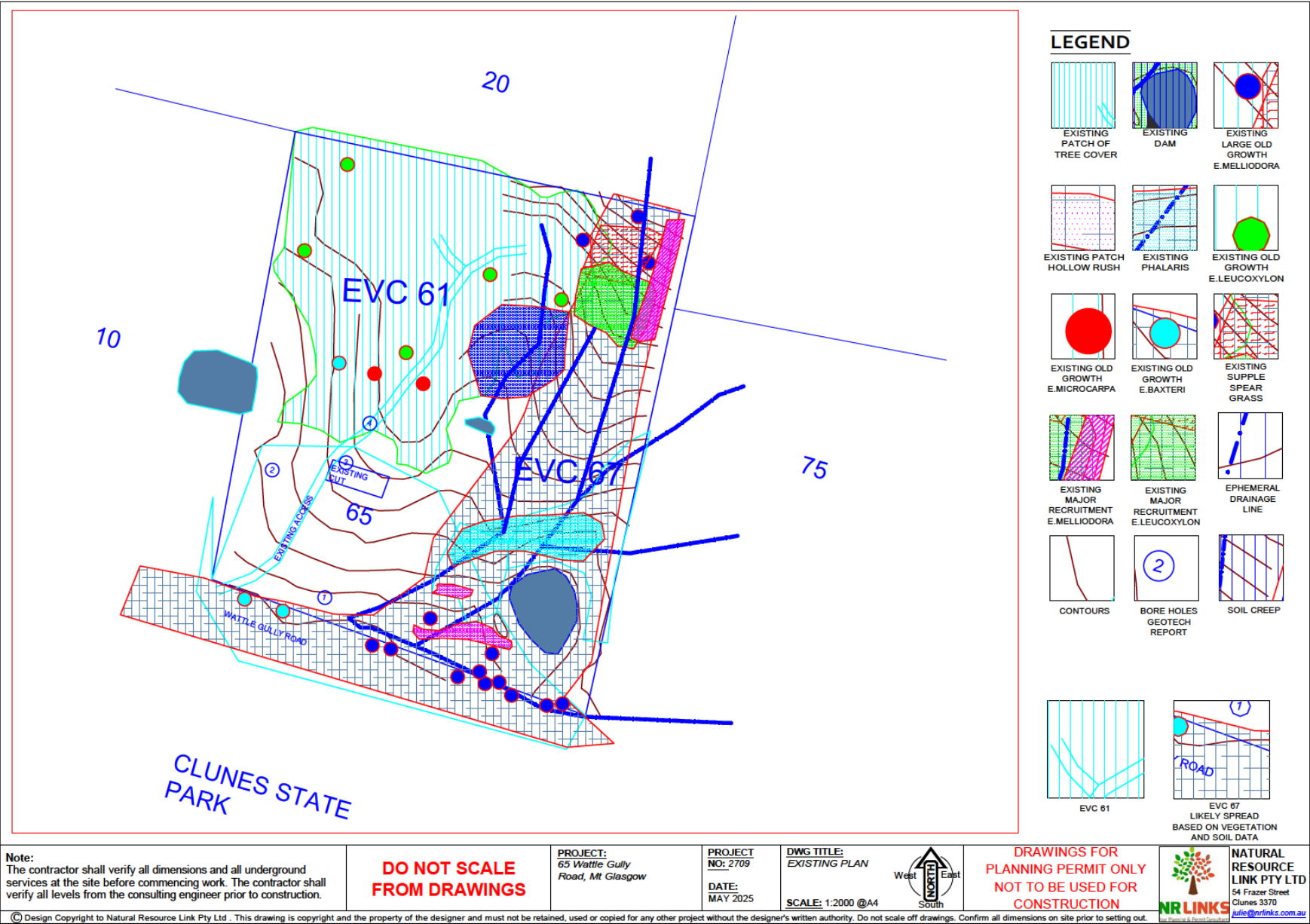
Dam Zone

The objective of the conservation area is for to mitigate erosion, maintain water quality and habitat.

Management objectives apply to this area:

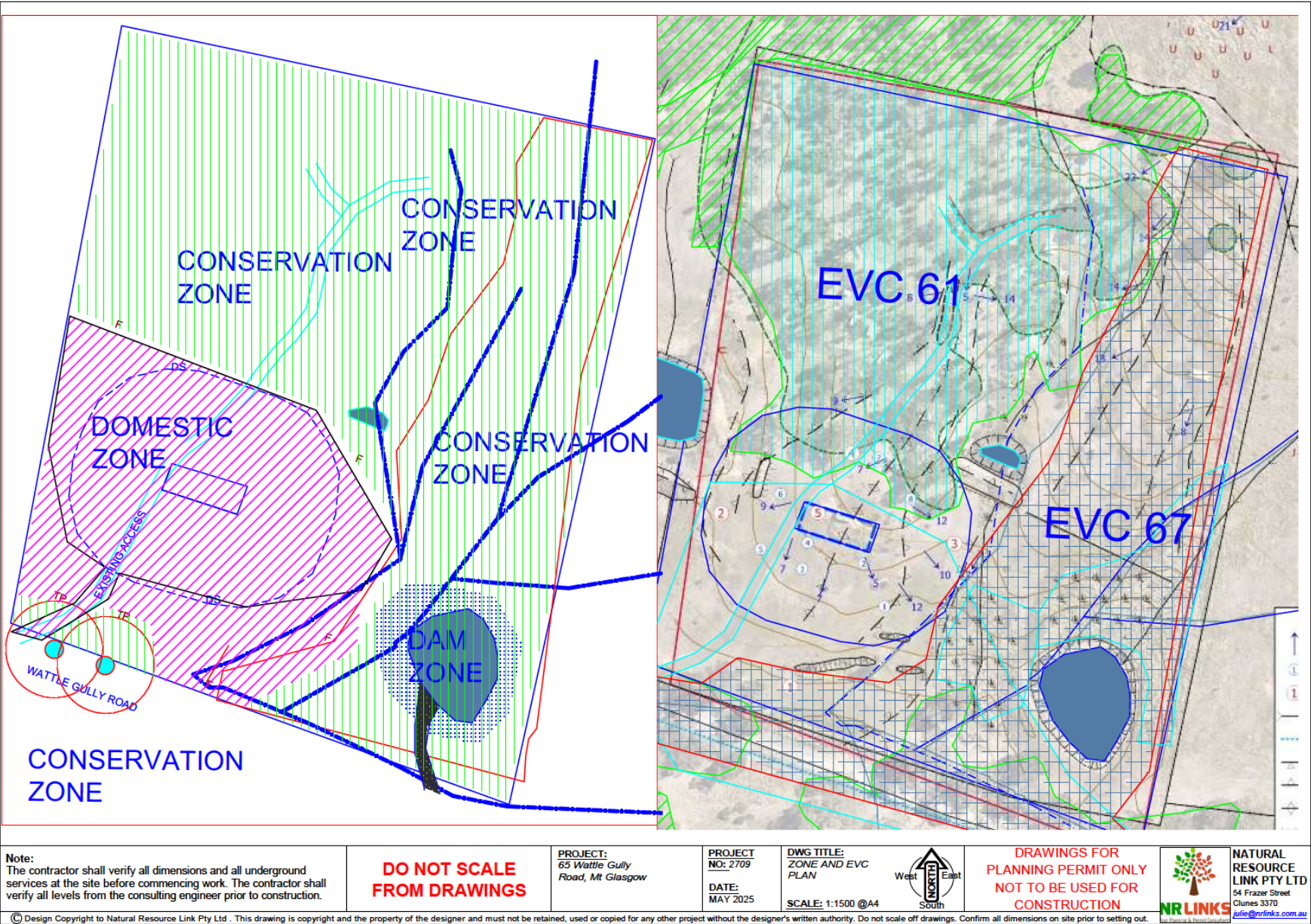
- Fencing must be maintained in good order and repaired immediately if necessary.
- No grazing by livestock
- There is no stockpiling/storage, soil disturbance or any vehicles.
- Landowner must maintain and protect all whether live or dead native vegetation and allow for natural regeneration.
- Weeds must be monitored and maintained as they emerge.
- Photo points are to be established and images collected each year to understand how the area is responding to management.
- The landowner must monitor for pest animals and obtain professional advice for the control especially where they are having an impact on soils and native vegetation.
- Landowner to protect this area from domestic and stock animals.
- No removal of material for firewood
- Revegetation to be undertaken and replaced if lost to ensure habitat is maintained.







Appendix.2 Zone Plan and Fire calculation



Forest, Woodlands & Rainforest

FDI	100		
Vegetation classification	Woodlands		
Surface Fuel Load (t/ha)	15	*1	
Overall Fuel Load (t/ha)	25	*1	
Effective slope under the classified vegetation (degrees)	7	Downslope	
Slope between the site and classified vegetation (degrees)	-7		
Distance of the site from classified vegetation (m)	50		
Flame Width (m)	100	*2	Rate of spread
Flame Temperature (K)	1090	*3	2.917674 (km/h)
Flame Emissivity	0.95	*4	Flame length
Ambient Temperature (K)	308	*4	21.96488 (m)
Relative humidity (%)	25%	*4	Flame angle
Direction	SW		66
Assessment date	2/09/2021		View Factor
Assessment performed by	Julie Lee		0.191081
Site Location	65 Wattle Flat Road Mt Glasgow		Height of Receiver
			16.17219 (m)
			Path length
			45.53304 (m)
			Atmospheric Transmissivity
			0.774707
			Radiant heat flux
			11.26 (kW/m^2)
			BUSHFIRE ATTACK LEVEL
			BAL -12.5

The following may be altered by experienced users only

*1 Fuel loads should only be altered in consultation with relevant fire authorities (see table B1 Appendix B AS-3959)

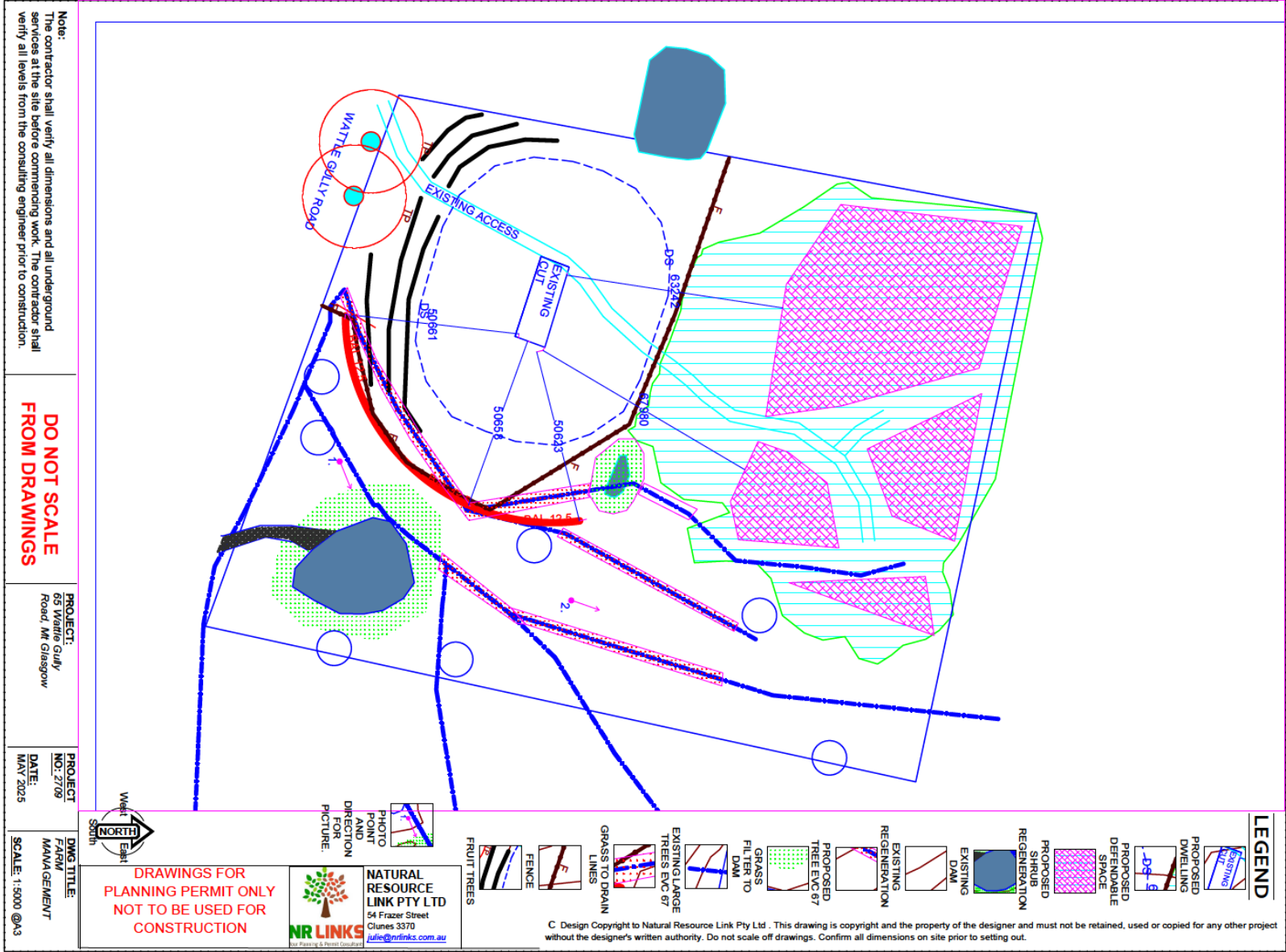
*2 max value is 100m (see B8 Appendix B AS-3959)

*3 Suggested range 1000-1200 (K) (see CB10.2 Appendix B AS-3959)

*4 NOT a variable under AS-3959



Appendix.3 Land Management Plan





Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
1	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
1	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
1	Construct fences to define the domestic zone as shown on the farm management plan	Landowner	Within 30 days of planning approval	
1	Collect seed for regeneration of trees for EVC 67 from local trees	Landowner/Bushland Management Contractor	Post flowering period	
1	Monitor populations of pest animals and conduct control works if required	Landowner	After peak breeding season/late summer/early autumn	
1	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
1	Collect seed from local Eucalyptus microcarpa trees for regeneration. Into EVC 61 area.	Landowner/Bushland Management Contractor	Post flowering period	
1	Work with council engineering to construct rock spill from dam to the drain along the roadside	Landowner	Within 30 days of planning approval	
1	Install post to the 2 photopoints for annual picture reporting	Landowner	Within 30 days of planning approval	
1	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
2	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
2	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
2	Monitor and repair fence if required	Landowner		
2	Install nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
2	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
2	Order graminoides for the dam areas	Landowner	Order autumn from local indigenous nursery	
2	Organise contractor to construct the rubble drain for the dam spillway to road drain	Landowner	Refer to council engineering for design.	
2	Organise tree covers and look to plant at least 10 plants to the EVC 67 section	Landowner	Sourced from grown local seed stock	
2	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
2	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
2	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
3	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
3	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
3	Monitor and repair fence if required	Landowner		
3	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
3	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
3	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
3	Organise tree covers and look to plant at least 10 plants to the EVC 67 section	Landowner	Sourced from grown local seed stock	
3	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
3	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
3	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
4	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
4	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
4	Monitor and repair fence if required	Landowner		
4	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
4	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
4	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
4	Monitor and replace any lost trees to the EVC 67 section	Landowner	Sourced from grown local seed stock	
4	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
4	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
4	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
5	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
5	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
5	Monitor and repair fence if required	Landowner		
5	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
5	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
5	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
5	Monitor and replace any lost trees to the EVC 67 section	Landowner	Sourced from grown local seed stock	
5	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
5	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
5	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
6	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
6	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
6	Monitor and repair fence if required	Landowner		
6	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
6	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
6	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
6	Monitor and replace any lost trees to the EVC 67 section	Landowner	Sourced from grown local seed stock	
6	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
6	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
6	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
7	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
7	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
7	Monitor and repair fence if required	Landowner		
7	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
7	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
7	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
7	Monitor and replace any lost trees to the EVC 67 section	Landowner	Sourced from grown local seed stock	
7	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
7	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
7	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
8	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
8	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
8	Monitor and repair fence if required	Landowner		
8	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
8	Monitor cover on slopes along the east side of the site if any bares areas look to plant ground cover.	Landowner	Monthly and post rain events	
8	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
8	Monitor and replace any lost trees to the EVC 67 section	Landowner	Sourced from grown local seed stock	
8	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
8	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
8	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
9	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
9	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
9	Monitor and repair fence if required	Landowner		
9	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
9	Monitor cover on slopes along the east side of the site.	Landowner	Monthly and post rain events	
9	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
9	Monitor and replace any lost trees to the EVC 67 section	Landowner	Sourced from grown local seed stock	
9	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
9	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
9	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	

Council Meeting Agenda - Wednesday 17 December 2025

Year	Management Action	Responsible Authority	Timing of Action	Date completed
10	Monitor and conduct weed control	Landowner/Bushland Management Contractor	Refer to Land Management Plan to a minimum of each season (4 times a year)	
10	Monitor populations of pest animals and conduct control works if required	Landowner/Pest Animal Contractor	After peak breeding season/late summer/early autumn	
10	Monitor and repair fence if required	Landowner		
10	Monitor and repair any nesting boxes for birds and arboreal mammals	Landowner	Refer to Land Management Plan	
10	Monitor cover on slopes along the east side of the site.	Landowner	Monthly and post rain events	
10	Order more graminoides for the dam areas and commence planting in Spring.	Landowner	Order autumn from local indigenous nursery	
10	Monitor and replace any lost trees to the EVC 67 section	Landowner	Sourced from grown local seed stock	
10	Order at least 200 Shrubs to go back into EVC 61 section	Landowner	Order autumn from local indigenous nursery to plant in spring	
10	Complete form and supply this and photo evidence to council as required	Landowner	To be completed at the end of December each year and submitted to council by the end of January the following year.	
10	Check all plantings and replace any lost stock	Landowner	Check in autumn to replace in spring	



Appendix.5 Landowner reporting form

Annual Landowner Monitoring and Reporting Form		
Landowner of site	[REDACTED]	
Location and address of site	65 Wattle Gully Road, Mount Glasgow	
Site number (Planning Permit)		
Responsible Authority	Central Goldfields Shire	
Actions completed within the site during the management year	Date and details of action	Key performance target met (Y/N)
Signature		
Date		



Appendix. 6 EVC 67

EVC/Bioregion Benchmark for Vegetation Quality Assessment

Goldfields bioregion

EVC 67: Alluvial Terraces Herb-rich Woodland

Description:

Open woodland to 15 m tall on broad alluvial plains and along ephemeral drainage lines. Soils are generally poorly drained duplex soils with sandy loam overlying a heavier clay subsoil. Understorey consists of few, if any shrubs with the striking feature of this EVC being the high species-richness of the ground-layer and the low biomass of this cover, particularly in summer.

Large trees:

Species	DBH(cm)	#/ha
<i>Eucalyptus</i> spp.	70 cm	8 / ha
<i>Allocasuarina</i> spp.	50 cm	

Tree Canopy Cover:

%cover	Character Species	Common Name
15%	<i>Eucalyptus microcarpa</i>	Grey Box
	<i>Eucalyptus melliodora</i>	Yellow Box
	<i>Eucalyptus leucoxylon</i>	Yellow Gum
	<i>Allocasuarina luehmannii</i>	Buloke

Understorey:

Life form	#Spp	%Cover	LF code
Immature Canopy Tree		5%	IT
Understorey Tree or Large Shrub	1	5%	T
Medium Shrub	3	5%	MS
Small Shrub	3	5%	SS
Prostrate Shrub	1	1%	PS
Large Herb	3	5%	LH
Medium Herb	15	30%	MH
Small or Prostrate Herb	5	10%	SH
Large Tufted Graminoid	1	1%	LTG
Medium to Small Tufted Graminoid	12	30%	MTG
Medium to Tiny Non-tufted Graminoid	2	5%	MNG
Ground Fern	1	1%	GF
Bryophytes/Lichens	na	10%	BL
Soil Crust	na	10%	S/C

Recruitment:

Continuous

Organic Litter:

10 % cover

Logs:

15 m/0.1 ha.

EVC 67: Alluvial Terraces Herb-rich Woodland - Goldfields bioregion

LF Code	Species typical of at least part of EVC range	Common Name
MS	<i>Acacia pycnantha</i>	Golden Wattle
MS	<i>Acacia acinacea s.l.</i>	Gold-dust Wattle
MS	<i>Acacia paradoxa</i>	Hedge Wattle
MS	<i>Acacia genistifolia</i>	Spreading Wattle
SS	<i>Lissanthe strigosa ssp. subulata</i>	Peach Heath
SS	<i>Pimelea humilis</i>	Common Rice-flower
SS	<i>Dillwynia cinerascens s.l.</i>	Grey Parrot-pea
PS	<i>Astroloma humifusum</i>	Cranberry Heath
PS	<i>Acrotriche serrulata</i>	Honey-pots
LH	<i>Senecio quadridentatus</i>	Cotton Fireweed
LH	<i>Senecio tenuiflorus</i>	Slender Fireweed
MH	<i>Cynoglossum suaveolens</i>	Sweet Hound's-tongue
MH	<i>Oxalis perennans</i>	Grassland Wood-sorrel
MH	<i>Daucus glochidiatus</i>	Australian Carrot
MH	<i>Cymbonotus preissianus</i>	Austral Bear's-ears
SH	<i>Hydrocotyle laxiflora</i>	Stinking Pennywort
SH	<i>Solenogyne dominii</i>	Smooth Solenogyne
SH	<i>Drosera whittakeri ssp. aberrans</i>	Scented Sundew
SH	<i>Cymbonotus preissianus</i>	Austral Bear's-ear
LTG	<i>Austrostipa mollis</i>	Supple Spear-grass
MTG	<i>Lomandra filiformis</i>	Wattle Mat-rush
MTG	<i>Elymus scaber var. scaber</i>	Common Wheat-grass
MTG	<i>Dianella revoluta s.l.</i>	Black-anther Flax-lily
MTG	<i>Austrostipa scabra</i>	Rough Spear-grass
MNG	<i>Microlaena stipoides var. stipoides</i>	Weeping Grass
TTG	<i>Centrolepis strigosa ssp. strigosa</i>	Hairy Centrolepis
TTG	<i>Centrolepis aristata</i>	Pointed Centrolepis
GF	<i>Cheilanthes austrotenuifolia</i>	Green Rock-fern
SC	<i>Thysanotus patersonii</i>	Twining Fringe-lily

Weediness:

LF Code	Typical Weed Species	Common Name	Invasive	Impact
LH	<i>Sonchus oleraceus</i>	Common Sow-thistle	high	low
LH	<i>Sonchus asper s.l.</i>	Rough Sow-thistle	high	low
MH	<i>Hypochoeris radicata</i>	Cat's Ear	high	low
MH	<i>Hypochoeris glabra</i>	Smooth Cat's-ear	high	low
MH	<i>Arctotheca calendula</i>	Cape Weed	high	low
MH	<i>Anagallis arvensis</i>	Pimpernel	high	low
MH	<i>Trifolium campestre var. campestre</i>	Hop Clover	high	low
MH	<i>Cicendia quadrangularis</i>	Square Cicendia	high	low
MH	<i>Cerastium glomeratum s.l.</i>	Common Mouse-ear Chickweed	high	low
MH	<i>Galium murale</i>	Small Goosegrass	high	low
MH	<i>Petrorhagia velutina</i>	Velvety Pink	high	low
MH	<i>Centaureum erythraea</i>	Common Centaury	high	low
MH	<i>Galium divaricatum</i>	Slender Bedstraw	high	low
LNG	<i>Holcus lanatus</i>	Yorkshire Fog	high	high
MTG	<i>Briza minor</i>	Lesser Quaking-grass	high	low
MTG	<i>Briza maxima</i>	Large Quaking-grass	high	low
MNG	<i>Aira elegantissima</i>	Delicate Hair-grass	high	low
MNG	<i>Juncus capitatus</i>	Capitate Rush	high	low
MNG	<i>Vulpia myuros</i>	Rat's-tail Fescue	high	low
MNG	<i>Vulpia ciliata</i>	Fringed Fescue	high	low
TTG	<i>Cyperus tenellus</i>	Tiny Flat-sedge	high	low

Published by the Victorian Government Department of Sustainability and Environment May 2004

© The State of Victoria Department of Sustainability and Environment 2004

This publication is copyright. Reproduction and the making available of this material for personal, in-house or non-commercial purposes is authorised, on condition that:

- the copyright owner is acknowledged;
- no official connection is claimed;
- the material is made available without charge or at cost; and
- the material is not subject to inaccurate, misleading or derogatory treatment.

Requests for permission to reproduce or communicate this material in any way not permitted by this licence (or by the fair dealing provisions of the *Copyright Act 1968*) should be directed to the Nominated Officer, Copyright, 8 Nicholson Street, East Melbourne, Victoria, 3002.

For more information contact: Customer Service Centre, 136 186

This publication may be of assistance to you but the State of Victoria and its employees do not guarantee that the publication is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this publication.

www.dse.vic.gov.au



Appendix.7 EVC 61

EVC/Bioregion Benchmark for Vegetation Quality Assessment

Goldfields bioregion

EVC 61: Box Ironbark Forest

Description:

Occurs in low rainfall areas on gently undulating rises, low hills and peninsulas on infertile, often stony soils derived from a range of geologies. The open overstorey to 20 m tall consists of a variety of eucalypts, often including one of the Ironbark species. The mid storey often forms a dense to open small tree or shrub layer over an open ground layer ranging from a sparse to well-developed suite of herbs and grasses.

Large trees:

Species	DBH(cm)	#/ha
<i>Eucalyptus</i> spp.	70 cm	15 / ha

Tree Canopy Cover:

%cover	Character Species	Common Name
30%	<i>Eucalyptus microcarpa</i>	Grey Box
	<i>Eucalyptus tricarpa</i>	Red Ironbark
	<i>Eucalyptus polyanthemos</i>	Red Box
	<i>Eucalyptus leucoxylon</i>	Yellow Gum

Understorey:

Life form	#Spp	%Cover	LF code
Immature Canopy Tree		5%	IT
Medium Shrub	7	25%	MS
Small Shrub	4	5%	SS
Prostrate Shrub	2	1%	PS
Medium Herb	9	20%	MH
Large Tufted Graminoid	1	1%	LTG
Medium to Small Tufted Graminoid	8	15%	MTG
Bryophytes/Lichens	na	10%	BL
Soil Crust	na	20%	S/C
Total understorey projective foliage cover		85%	

LF Code	Species typical of at least part of EVC range	Common Name
MS	<i>Acacia pycnantha</i>	Golden Wattle
MS	<i>Cassinia arcuata</i>	Drooping Cassinia
MS	<i>Acacia genistifolia</i>	Spreading Wattle
MS	<i>Acacia acinacea</i> s.l.	Gold-dust Wattle
SS	<i>Hibbertia exaltata</i>	Spiky Guinea-flower
SS	<i>Pultenaea largiflorens</i>	Twiggy Bush-pea
PS	<i>Astroloma humifusum</i>	Cranberry Heath
MH	<i>Senecio tenuiflorus</i>	Slender Fireweed
MH	<i>Xerochrysum viscosum</i>	Shiny Everlasting
MH	<i>Gonocarpus tetragynus</i>	Common Raspwort
MH	<i>Veronica plebeia</i>	Trailing Speedwell
LTG	<i>Austrostipa mollis</i>	Supple Spear-grass
MTG	<i>Joycea pallida</i>	Silvertop Wallaby-grass
MTG	<i>Dianella revoluta</i> s.l.	Black-anther Flax-lily
MTG	<i>Lomandra filiformis</i>	Wattle Mat-rush
MTG	<i>Austrodanthonia setacea</i>	Bristly Wallaby-grass
MTG	<i>Poa sieberiana</i>	Grey Tussock-grass
SC	<i>Thysanotus patersonii</i>	Twining Fringe-lily

EVC 61: Box Ironbark Forest - Goldfields bioregion

Recruitment:

Continuous

Organic Litter:

20 % cover

Logs:

20 m/0.1 ha.

Weediness:

LF Code	Typical Weed Species	Common Name	Invasive	Impact
MH	<i>Hypochoeris glabra</i>	Smooth Cat's-ear	high	low
MH	<i>Hypochoeris radicata</i>	Cat's Ear	high	low
MTG	<i>Briza maxima</i>	Large Quaking-grass	high	low
MTG	<i>Vulpia bromoides</i>	Squirrel-tail Fescue	high	low
MNG	<i>Aira elegantissima</i>	Delicate Hair-grass	high	low
MH	<i>Petrorhagia velutina</i>	Hairy Pink	high	low

Published by the Victorian Government Department of Sustainability and Environment April 2004

© The State of Victoria Department of Sustainability and Environment 2004

This publication is copyright. Reproduction and the making available of this material for personal, in-house or non-commercial purposes is authorised, on condition that:

- the copyright owner is acknowledged;
- no official connection is claimed;
- the material is made available without charge or at cost; and
- the material is not subject to inaccurate, misleading or derogatory treatment.

Requests for permission to reproduce or communicate this material in any way not permitted by this licence (or by the fair dealing provisions of the *Copyright Act 1968*) should be directed to the Nominated Officer, Copyright, 8 Nicholson Street, East Melbourne, Victoria, 3002.

For more information contact: Customer Service Centre, 136 186

This publication may be of assistance to you but the State of Victoria and its employees do not guarantee that the publication is without flaw of any kind or is wholly appropriate for your particular purposes and therefore disclaims all liability for any error, loss or other consequence which may arise from you relying on any information in this publication.

www.dse.vic.gov.au



Appendix.8 Regeneration list for EVC 61

The Goldfields Bioregion Box Ironbark Forest

	20-Jun-2008
█ (this bioEVC)	25-Nov-2008
█s (this bioEVC)	26-Nov-2008
█s (this bioEVC)	25-Nov-2008
█ (this bioEVC)	26-Nov-2008
█ (this bioEVC)	25-Nov-2008

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Acacia acinacea s.l.	Gold-dust Wattle	Medium Shrub	High	3	No	No
Acacia acinacea s.s.	Gold-dust Wattle	Medium Shrub	High	3	No	No
Acacia brachybotrya	Grey Mulga	Medium Shrub	High	4	Yes	No
Acacia difformis	Drooping Wattle	Tree, Medium Shrub	High	1	Yes	No
Acacia euthycarpa	Wallowa	Medium Shrub	High	4	Yes	No
Acacia flexifolia	Bent-leaf Wattle	Medium Shrub	High	3	No	No
Acacia genistifolia	Spreading Wattle	Medium Shrub	High	4	No	No
Acacia implexa	Lightwood	Tree, Small Tree or Large Shrub	High	4	Yes	Yes
Acacia lineata	Streaked Wattle	Medium Shrub	High	3	Yes	No
Acacia montana	Mallee Wattle	Medium Shrub	High	3	No	No
Acacia paradoxa	Hedge Wattle	Medium Shrub	High	3	No	No
Acacia pycnantha	Golden Wattle	Tree, Medium Shrub	High	4	No	No
Acacia verniciflua	Varnish Wattle	Tree, Medium Shrub	High	4	Yes	No
Acacia williamsonii	Whirakee Wattle	Medium Shrub	High	3	Yes	No
Acaena echinata	Sheep's Burr	Medium Herb	High	2	No	No
Acrotriche serrulata	Honey-pots	Prostrate Shrub	High	1	No	No
Actinobole uliginosum	Flannel Cudweed	Small or Prostrate Herb	High	1	No	No
Ajuga australis	Austral Bugle	Large Herb	High	2	No	No
Allocasuarina luehmannii	Buloke	Tree, Small Tree or Large Shrub	High	3	Yes	No
Allocasuarina muelleriana subsp. muelleriana	Slaty Sheoak	Medium Shrub	High	3	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error, we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Amyema linophylla subsp. orientale	Buloke Mistletoe	Epiphyte	High	1	No	No
Amyema miquelii	Box Mistletoe	Epiphyte	High	1	No	No
Amyema miraculosa subsp. boormanii	Fleshy Mistletoe	Epiphyte	High	1	Yes	No
Aphelia pumilio	Dwarf Aphelia	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	Yes
Aristida behriana	Brush Wire-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Arthropodium fimbriatum	Nodding Chocolate-lily	Large Herb	High	2	Yes	No
Arthropodium minus	Small Vanilla-lily	Large Herb	High	2	No	No
Arthropodium strictum s.l.	Chocolate Lily	Large Herb	High	2	No	No
Arthropodium strictum s.s.	Chocolate Lily	Large Herb	High	2	No	No
Asplenium flabellifolium	Necklace Fern	Ground Fern, Epiphyte	High	1	No	Yes
Astroloma conostephioides	Flame Heath	Small Shrub	High	1	Yes	No
Astroloma humifusum	Cranberry Heath	Prostrate Shrub	High	1	No	No
Atriplex semibaccata	Berry Saltbush	Small or Prostrate Herb	High	3	Yes	No
Austrodanthonia auriculata	Lobed Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	Yes	No
Austrodanthonia caespitosa	Common Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	Yes	No
Austrodanthonia carphoides	Short Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrodanthonia eriantha	Hill Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrodanthonia fulva	Copper-awned Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	Yes	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Austrodanthonia geniculata	Kneed Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Austrodanthonia setacea	Bristly Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrodanthonia setacea var. breviseta	Short-bristle Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrodanthonia setacea var. setacea	Bristly Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrodanthonia tenuior	Purplish Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrostipa breviglumis	Cane Spear-grass	Large Non-Tufted Graminoid (Grass-like plant)	High	3	Yes	No
Austrostipa densiflora	Dense Spear-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	Yes	No
Austrostipa mollis	Supple Spear-grass	Large Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrostipa scabra	Rough Spear-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrostipa scabra subsp. falcata	Rough Spear-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrostipa scabra subsp. scabra	Rough Spear-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	4	Yes	No
Billardiera cymosa s.l.	Sweet Apple-berry	Scrambler or Climber	High	2	No	No
Boronia anemonifolia subsp. aurifodina	Goldfield Boronia	Medium Shrub	High	1	Yes	No
Brachyloma daphnoides	Daphne Heath	Medium Shrub	High	1	No	No
Brachyscome debilis s.s.	Weak Daisy	Medium Herb	High	1	Yes	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Brachyscome multifida	Cut-leaf Daisy	Medium Herb	High	2	Yes	No
Brachyscome parvula var. lissocarpa	Coast Daisy	Medium Herb	High	1	No	No
Brachyscome perpusilla	Rayless Daisy	Medium Herb	High	1	No	No
Brunonia australis	Blue Pincushion	Medium Herb	High	2	No	No
Bulbine bulbosa	Bulbine Lily	Medium Herb	High	2	No	No
Burchardia umbellata	Milkmaids	Medium Herb	High	2	No	No
Bursaria spinosa	Sweet Bursaria	Medium Shrub	High	3	No	No
Bursaria spinosa subsp. lasiophylla	Hairy Bursaria	Medium Shrub	High	3	No	No
Bursaria spinosa subsp. spinosa	Sweet Bursaria	Medium Shrub	High	3	No	No
Caesia calliantha	Blue Grass-lily	Large Herb	High	2	No	No
Caladenia carnea s.s.	Pink Fingers	Medium Herb	High	1	No	No
Caladenia carnea sensu Entwistle (1994)	Pink Fingers	Medium Herb	High	1	No	No
Caladenia carnea sensu Willis (1970)	Pink Fingers	Medium Herb	High	1	No	No
Caladenia cucullata	Hood Orchid	Medium Herb	High	1	No	No
Caladenia fulva	Tawny Spider-orchid	Medium Herb	High	1	Yes	No
Caladenia fuscata	Dusky Fingers	Medium Herb	High	1	No	No
Caladenia gracilis	Musk Hood-orchid	Medium Herb	High	1	No	No
Caladenia pusilla	Tiny Pink-fingers	Medium Herb	High	1	Yes	No
Calandrinia calypttrata	Pink Purslane	Small or Prostrate Herb	High	1	No	No
Caleana major	Large Duck-orchid	Medium Herb	High	1	Yes	No
Calochilus robertsonii	Purple Beard-orchid	Medium Herb	High	1	No	No
Calytrix tetragona	Common Fringe-myrtle	Medium Shrub	High	3	No	No
Carex appressa	Tall Sedge	Large Tufted Graminoid (Grass-like plant)	High	3	No	Yes
Carex inversa	Knob Sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Carex tereticaulis	Poong'ort	Large Tufted Graminoid (Grass-like plant)	High	3	No	Yes
Carpobrotus modestus	Inland Pigface	Small or Prostrate Herb	High	3	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Cassinia arcuata	Drooping Cassinia	Medium Shrub	High	4	No	No
Cassinia ozothamnoides	Cottony Cassinia	Medium Shrub	High	3	Yes	No
Cassytha glabella	Slender Dodder-laurel	Epiphyte, Scrambler or Climber	High	1	No	No
Cassytha melantha	Coarse Dodder-laurel	Epiphyte, Scrambler or Climber	High	1	No	No
Centrolepis aristata	Pointed Centrolepis	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	No
Centrolepis strigosa subsp. strigosa	Hairy Centrolepis	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	Yes
Chamaescilla corymbosa var. corymbosa	Blue Stars	Medium Herb	High	2	Yes	No
Chamaesyce drummondii	Flat Spurge	Small or Prostrate Herb	High	2	No	No
Cheilanthes sieberi subsp. sieberi	Narrow Rock-fern	Ground Fern	High	1	No	No
Cheiranthra cyanea var. cyanea	Blue Finger-flower	Small Shrub	High	2	No	No
Chrysocephalum apiculatum s.l.	Common Everlasting	Large Herb	High	2	No	No
Chrysocephalum apiculatum s.s.	Common Everlasting	Large Herb	High	1	No	No
Chrysocephalum semipapposum	Clustered Everlasting	Large Herb	High	3	No	No
Convolvulus erubescens spp. agg.	Pink Bindweed	Small or Prostrate Herb	High	2	Yes	No
Correa glabra var. glabra	Rock Correa	Medium Shrub	High	2	Yes	No
Correa reflexa	Common Correa	Medium Shrub	High	2	Yes	No
Correa reflexa var. reflexa	Common Correa	Medium Shrub	High	2	No	No
Cotula australis	Common Cotula	Medium Herb	High	2	No	No
Craspedia variabilis	Variable Billy-buttons	Medium Herb	High	2	No	No
Crassula colorata	Dense Crassula	Medium Herb	High	1	No	No
Crassula decumbens var. decumbens	Spreading Crassula	Medium Herb	High	2	No	No
Crassula sieberiana s.l.	Sieber Crassula	Small or Prostrate Herb	High	1	No	No
Crassula sieberiana s.s.	Sieber Crassula	Medium Herb	High	1	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Cryptandra amara s.l.	Bitter Cryptandra	Small Shrub	High	2	No	No
Cryptandra tomentosa	Prickly Cryptandra	Small Shrub	High	2	Yes	No
Cyanicula caerulea	Blue Fairy	Medium Herb	High	1	No	No
Cymbonotus preissianus	Austral Bear's-ear	Small or Prostrate Herb	High	2	No	No
Cynoglossum suaveolens	Sweet Hound's-tongue	Medium Herb	High	2	Yes	No
Cyrtostylis reniformis	Small Gnat-orchid	Medium Herb	High	1	No	No
Dampiera dysantha	Shrubby Dampiera	Small Shrub	High	2	Yes	No
Daucus glochidiatus	Australian Carrot	Medium Herb	High	1	No	No
Daviesia benthamii subsp. humilis	Spiny Bitter-pea	Small Shrub	High	2	Yes	No
Daviesia leptophylla	Narrow-leaf Bitter-pea	Medium Shrub	High	3	No	No
Derwentia perfoliata	Digger's Speedwell	Large Herb	High	2	Yes	Yes
Dianella revoluta s.l.	Black-anther Flax-lily	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Dianella revoluta var. revoluta s.l.	Black-anther Flax-lily	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Dichelachne micrantha	Small-seed Plume-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	No	No
Dichelachne sciurea spp. agg.	Short-hair Plume-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Dillwynia cinerascens s.l.	Grey Parrot-pea	Small Shrub	High	2	No	No
Dillwynia hispida	Red Parrot-pea	Small Shrub	High	2	Yes	No
Dillwynia ramosissima	Bushy Parrot-pea	Small Shrub	High	2	No	No
Dillwynia sericea	Showy Parrot-pea	Small Shrub	High	2	No	No
Diuris pardina	Leopard Orchid	Medium Herb	High	1	No	No
Diuris sulphurea	Tiger Orchid	Medium Herb	High	1	No	No
Dodonaea viscosa	Sticky Hop-bush	Medium Shrub	High	4	No	No
Dodonaea viscosa subsp. cuneata	Wedge-leaf Hop-bush	Medium Shrub	High	3	No	No
Drosera glanduligera	Scarlet Sundew	Small or Prostrate Herb	High	1	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Drosera macrantha	Climbing Sundew	Scrambler or Climber	High	1	No	No
Drosera peltata	Pale Sundew	Medium Herb	High	1	No	No
Drosera peltata subsp. auriculata	Tall Sundew	Medium Herb	High	1	No	No
Drosera whittakeri subsp. aberrans	Scented Sundew	Small or Prostrate Herb	High	2	No	No
Einadia hastata	Saloop	Medium Herb	High	3	No	No
Einadia nutans subsp. nutans	Nodding Saltbush	Medium Herb	High	3	No	No
Elymus scaber var. scaber	Common Wheat-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Enchylaena tomentosa var. tomentosa	Ruby Saltbush	Small Shrub	High	3	No	No
Epilobium hirtigerum	Hairy Willow-herb	Large Herb	High	1	No	Yes
Eragrostis brownii	Common Love-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	Yes
Eriochilus cucullatus	Parson's Bands	Medium Herb	High	1	No	No
Eryngium ovinum	Blue Devil	Large Herb	High	2	Yes	No
Eucalyptus behriana	Bull Mallee	Mallee Tree	High	4	Yes	No
Eucalyptus froggattii	Kamarooka Mallee	Tree, Mallee Tree	High	4	Yes	No
Eucalyptus gonicalyx s.l.	Bundy	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus gonicalyx s.s.	Bundy	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus leucoxydon	Yellow Gum	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus leucoxydon subsp. pruinosa	Waxy Yellow-gum	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus macrorhyncha	Red Stringybark	Tree, Small Tree or Large Shrub	High	4	Yes	No
Eucalyptus microcarpa	Grey Box	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus nortonii	Silver Bundy	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus polyanthemus	Red Box	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus polyanthemus subsp. vestita	Red Box	Tree, Small Tree or Large Shrub	High	4	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Eucalyptus polybractea	Blue Mallee	Mallee Tree	High	4	Yes	No
Eucalyptus tricarpa	Red Ironbark	Tree, Small Tree or Large Shrub	High	4	No	No
Eucalyptus viridis	Green Mallee	Mallee Tree	High	4	Yes	No
Euphrasia collina	Purple Eyebright	Large Herb	High	1	Yes	No
Euryomyrtus ramosissima	Rosy Baeckea	Small Shrub	High	2	Yes	No
Eutaxia microphylla	Common Eutaxia	Small Shrub	High	2	No	No
Eutaxia microphylla var. microphylla	Common Eutaxia	Small Shrub	High	2	No	No
Exocarpos cupressiformis	Cherry Ballart	Tree, Small Tree or Large Shrub	High	2	No	No
Gahnia radula	Thatch Saw-sedge	Large Tufted Graminoid (Grass-like plant)	High	1	Yes	No
Galium gaudichaudii	Rough Bedstraw	Medium Herb	High	2	No	No
Geranium sp. 2	Variable Crane's-bill	Medium Herb	High	1	No	No
Glischrocaryon behrii	Golden Pennants	Medium Herb	High	2	Yes	No
Glossodia major	Wax-lip Orchid	Medium Herb	High	1	No	No
Gnaphalium indutum	Tiny Cudweed	Medium Herb	High	2	No	No
Gompholobium huegelii	Common Wedge-pea	Small Shrub	High	2	No	No
Gonocarpus tetragynus	Common Raspwort	Medium Herb	High	2	No	No
Goodenia blackiana	Black's Goodenia	Medium Herb	High	2	Yes	No
Goodenia geniculata	Bent Goodenia	Medium Herb	High	1	Yes	No
Goodenia hederacea subsp. hederacea	Ivy Goodenia	Medium Herb	High	2	No	No
Goodenia pinnatifida	Cut-leaf Goodenia	Medium Herb	High	2	No	No
Goodenia varia	Sticky Goodenia	Small Shrub	High	2	Yes	No
Grevillea alpina	Cat's Claw Grevillea	Medium Shrub	High	2	No	No
Grevillea dryophylla	Goldfields Grevillea	Small Shrub	High	2	Yes	No
Grevillea linearifolia s.l.	Small-flower Grevillea	Medium Shrub	High	2	Yes	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Hakea decurrens subsp. physocarpa	Bushy Needlewood	Medium Shrub	High	3	Yes	No
Hibbertia exutiacies	Spiky Guinea-flower	Small Shrub	High	2	No	No
Hibbertia humifusa	Rising Star Guinea-flower	Small Shrub	High	1	Yes	No
Hibbertia humifusa subsp. humifusa	Rising Star Guinea-flower	Prostrate Shrub	High	1	Yes	No
Hibbertia obtusifolia	Grey Guinea-flower	Small Shrub	High	2	Yes	No
Hibbertia riparia	Erect Guinea-flower	Small Shrub	High	1	No	No
Hovea heterophylla	Common Hovea	Small Shrub	High	2	No	No
Hyalosperma demissum	Moss Sunray	Small or Prostrate Herb	High	1	No	No
Hyalosperma praecox	Mayweed Sunray	Medium Herb	High	1	No	No
Hydrocotyle callicarpa	Small Pennywort	Medium Herb	High	1	No	No
Hydrocotyle capillaris	Thread Pennywort	Medium Herb	High	1	No	No
Hydrocotyle foveolata	Yellow Pennywort	Medium Herb	High	1	Yes	No
Hydrocotyle laxiflora	Stinking Pennywort	Small or Prostrate Herb	High	2	No	No
Hypericum gramineum	Small St John's Wort	Medium Herb	High	2	No	No
Hypoxis glabella s.l.	Yellow star	Medium Herb	High	1	No	No
Hypoxis glabella var. glabella	Tiny Star	Medium Herb	High	1	No	No
Indigofera australis	Austral Indigo	Medium Shrub	Moderate	3	Yes	No
Isolepis inundata	Swamp Club-sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	Yes
Joycea pallida	Silvertop Wallaby-grass	Large Tufted Graminoid (Grass-like plant)	High	2	No	No
Juncus amabilis	Hollow Rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Juncus aridicola	Tussock Rush	Large Tufted Graminoid (Grass-like plant)	Moderate	2	Yes	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Juncus remotiflorus	Diffuse Rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Juncus subsecundus	Finger Rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Kennedia prostrata	Running Postman	Small or Prostrate Herb	High	2	Yes	No
Lachnagrostis aemula s.l.	Leafy Blown-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	Yes	No
Lachnagrostis aemula s.s.	Leafy Blown-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	No	Yes
Lachnagrostis filiformis	Common Blown-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Lachnagrostis filiformis var. 1	Common Blown-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	No	No
Lagenophora huegelii	Coarse Bottle-daisy	Medium Herb	High	2	No	No
Lagenophora stipitata	Common Bottle-daisy	Medium Herb	High	2	No	No
Lepidosperma laterale	Variable Sword-sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Lepidosperma laterale var. laterale	Variable Sword-sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Lepidosperma semiteres	Wire Rapier-sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	No	No
Leptomeria aphylla	Leafless Currant-bush	Medium Shrub	High	1	No	No
Leptorhynchos elongatus	Lanky Buttons	Medium Herb	High	2	Yes	No
Leptorhynchos squamatus	Scaly Buttons	Medium Herb	High	2	No	No
Leptorhynchos squamatus subsp. squamatus	Scaly Buttons	Medium Herb	High	1	No	No
Leptorhynchos tenuifolius	Wiry Buttons	Large Herb	High	2	No	No
Leptospermum myrsinoides	Heath Tea-tree	Medium Shrub	High	3	Yes	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Leucopogon rufus	Ruddy Beard-heath	Small Shrub	High	1	Yes	No
Leucopogon virgatus	Common Beard-heath	Small Shrub	High	1	Yes	No
Levenhookia dubia	Hairy Stylewort	Medium Herb	High	1	No	No
Linum marginale	Native Flax	Large Herb	High	2	No	No
Lissanthe strigosa subsp. subulata	Peach Heath	Small Shrub	High	1	No	No
Lobelia gibbosa s.l.	Tall Lobelia	Large Herb	High	1	No	No
Lomandra filiformis	Wattle Mat-rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Lomandra filiformis subsp. coriacea	Wattle Mat-rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Lomandra filiformis subsp. filiformis	Wattle Mat-rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Lomandra micrantha s.l.	Small-flower Mat-rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	No	No
Lomandra multiflora subsp. multiflora	Many-flowered Mat-rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	No	No
Lomandra sororia	Small Mat-rush	Medium to Small Tufted Graminoid (Grass-like plant)	High	1	Yes	No
Maireana decalvans	Black Cotton-bush	Small Shrub	High	3	Yes	No
Maireana enchylaenoides	Wingless Bluebush	Medium Herb	High	2	Yes	No
Melaleuca decussata	Totem-poles	Medium Shrub	High	4	No	No
Melaleuca uncinata	Broombush	Medium Shrub	High	4	Yes	No
Melaleuca wilsonii	Violet Honey-myrtle	Medium Shrub	High	4	No	No
Melichrus urceolatus	Urn Heath	Small Shrub	High	1	Yes	No
Microlaena stipoides var. stipoides	Weeping Grass	Medium to Tiny Non-Tufted Graminoid (Grass-like pl)	High	3	No	No
Micromyrtus ciliata	Heath-myrtle	Small Shrub	High	2	Yes	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Microseris scapigera spp. agg.	Yam Daisy	Medium Herb	High	2	No	No
Microseris sp. 3	Yam Daisy	Large Herb	High	2	No	No
Microtis arenaria	Notched Onion-orchid	Large Herb	High	1	No	No
Microtis unifolia	Common Onion-orchid	Large Herb	High	1	No	No
Millotia muelleri	Common Bow-flower	Small or Prostrate Herb	High	1	No	No
Millotia perpusilla	Tiny Bow-flower	Small or Prostrate Herb	High	1	No	No
Millotia tenuifolia var. tenuifolia	Soft Millotia	Medium Herb	High	1	No	No
Myriocephalus rhizocephalus	Woolly-heads	Small or Prostrate Herb	High	1	Yes	No
Olearia teretifolia	Cypress Daisy-bush	Medium Shrub	High	2	No	No
Olearia tubuliflora	Rayless Daisy-bush	Medium Shrub	High	2	Yes	No
Opercularia varia	Variable Stinkweed	Small or Prostrate Herb	High	2	No	No
Oxalis perennans	Grassland Woodsorrel	Medium Herb	High	2	No	No
Ozothamnus obcordatus	Grey Everlasting	Medium Shrub	High	3	No	No
Ozothamnus retusus	Rough Everlasting	Medium Shrub	High	2	Yes	No
Pelargonium rodnevanum	Magenta Stork's-bill	Medium Herb	High	2	No	No
Pentapogon quadrifidus var. quadrifidus	Five-awned Spear-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Persicaria prostrata	Creeping Knotweed	Medium Herb	High	3	No	Yes
Persoonia rigida	Hairy Geebung	Medium Shrub	High	1	Yes	No
Phebalium festivum	Dainty Phebalium	Medium Shrub	High	1	Yes	No
Pheladenia deformis	Bluebeard Orchid	Medium Herb	High	1	No	No
Philotheca verrucosa	Fairy Wax-flower	Small Shrub	High	2	Yes	No
Pimelea humilis	Common Rice-flower	Small Shrub	High	2	No	No
Pimelea linifolia	Slender Rice-flower	Medium Shrub	High	2	No	No
Pimelea linifolia subsp. linifolia	Slender Rice-flower	Medium Shrub	High	2	No	No
Plantago varia	Variable Plantain	Medium Herb	High	2	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Poa sieberiana	Grey Tussock-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Poa sieberiana var. hirtella	Grey Tussock-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Poa sieberiana var. sieberiana	Grey Tussock-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Podolepis jaceoides s.s.	Showy Podolepis	Large Herb	High	2	No	No
Poranthera microphylla s.l.	Small Poranthera	Medium Herb	High	1	No	No
Prasophyllum subbisectum	Pomonal Leek-orchid	Medium Herb	High	1	Yes	No
Prostanthera denticulata	Rough Mint-bush	Small Shrub	High	1	No	No
Prostanthera saxicola var. bracteolata	Slender Mint-bush	Medium Shrub	High	2	Yes	No
Pseudognaphalium luteoalbum	Jersey Cudweed	Medium Herb	High	3	No	No
Pterostylis biseta s.l.	Rustyhood	Medium Herb	High	1	Yes	No
Pterostylis boormanii	Sikh's Whiskers	Medium Herb	High	1	Yes	No
Pterostylis cynocephala	Swan Greenhood	Medium Herb	High	1	No	No
Pterostylis maxima	Large Rustyhood	Medium Herb	High	1	Yes	No
Pterostylis nana	Dwarf Greenhood	Medium Herb	High	1	No	No
Pterostylis nutans	Nodding Greenhood	Medium Herb	High	2	Yes	No
Pterostylis parviflora s.l.	Tiny Greenhood	Medium Herb	High	1	No	No
Pterostylis parviflora s.s.	Tiny Greenhood	Medium Herb	High	1	No	No
Pterostylis plumosa s.l.	Bearded Greenhood	Medium Herb	High	1	No	No
Pterostylis pusilla	Small Rustyhood	Medium Herb	High	1	Yes	No
Pterostylis setifera	Bristly Greenhood	Medium Herb	High	1	Yes	No
Pterostylis sp. aff. revoluta	Large Autumn Greenhood	Medium Herb	High	1	No	No
Pultenaea graveolens	Scented Bush-pea	Medium Shrub	High	2	Yes	No
Pultenaea largiflorens	Twiggy Bush-pea	Small Shrub	High	3	No	No
Pultenaea laxiflora	Loose-flower Bush-pea	Small Shrub	High	2	No	No
Pultenaea pedunculata	Matted Bush-pea	Small Shrub	High	2	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Pultenaea prostrata	Silky Bush-pea	Small Shrub	High	2	Yes	No
Ranunculus sessiliflorus	Annual Buttercup	Medium Herb	High	1	No	No
Ranunculus sessiliflorus var. sessiliflorus	Annual Buttercup	Medium Herb	High	1	No	No
Rhodanthe laevis	Smooth Sunray	Medium Herb	High	1	No	No
Rhytidosporum procumbens	White Marianth	Small Shrub	High	2	No	No
Rumex brownii	Slender Dock	Medium Herb	High	3	No	No
Santalum acuminatum	Sweet Quandong	Medium Shrub	High	1	Yes	No
Schoenus apogon	Common Bog-sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Sebaea ovata	Yellow Sebaea	Medium Herb	High	1	No	No
Senecio picridioides	Hawkbit Fireweed	Large Herb	High	3	Yes	No
Senecio quadridentatus	Cotton Fireweed	Large Herb	High	3	No	No
Senecio tenuiflorus spp. agg.	Slender Fireweed	Large Herb	High	2	No	No
Siloxerus multiflorus	Small Wrinklewort	Small or Prostrate Herb	High	1	No	No
Solenogyne dominii	Smooth Solenogyne	Small or Prostrate Herb	High	2	No	No
Stackhousia monogyna	Creamy Stackhousia	Medium Herb	High	2	No	No
Stenopetalum lineare	Narrow Thread-petal	Medium Herb	High	1	No	No
Stuartina muelleri	Spoon Cudweed	Medium Herb	High	2	No	No
Stylidium armeria	Common Triggerplant	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Stylidium inundatum	Hundreds and Thousands	Small or Prostrate Herb	High	1	No	Yes
Thelymitra antennifera	Rabbit Ears	Medium Herb	High	1	No	No
Thelymitra ixioides s.l.	Spotted Sun-orchid	Large Herb	High	1	No	No
Thelymitra megalyptra	Scented Sun-orchid	Medium Herb	High	1	No	No
Thelymitra nuda	Plain Sun-orchid	Medium Herb	High	1	No	No
Thelymitra pauciflora s.l.	Slender Sun-orchid	Medium Herb	High	1	No	No
Thelymitra pauciflora s.s.	Slender Sun-orchid	Medium Herb	High	1	No	No
Thelymitra rubra	Salmon Sun-orchid	Medium Herb	High	1	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Box Ironbark Forest						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
<u>Thelymitra X. macmillanii</u>	<u>Crimson Sun-orchid</u>	Medium Herb	High	1	Yes	No
<u>Thysanotus patersonii</u>	<u>Twining Fringe-lily</u>	Scrambler or Climber	High	2	No	No
<u>Tricoryne elatior</u>	<u>Yellow Rush-lily</u>	Large Herb	High	2	No	No
<u>Triptilodiscus pygmaeus</u>	<u>Common Sunray</u>	Medium Herb	High	1	No	No
<u>Velleia paradoxa</u>	<u>Spur Velleia</u>	Medium Herb	High	2	No	No
<u>Veronica plebeia</u>	<u>Trailing Speedwell</u>	Medium Herb	High	2	No	No
<u>Vittadinia cuneata</u>	<u>Fuzzy New Holland Daisy</u>	Medium Herb	High	3	No	No
<u>Vittadinia cuneata var. cuneata</u>	<u>Fuzzy New Holland Daisy</u>	Medium Herb	High	1	No	No
<u>Wahlenbergia gracilenta s.l.</u>	<u>Annual Bluebell</u>	Medium Herb	High	2	No	No
<u>Wahlenbergia gracilenta s.s.</u>	<u>Hairy Annual-bluebell</u>	Medium Herb	High	1	No	No
<u>Wahlenbergia gracilis</u>	<u>Sprawling Bluebell</u>	Large Herb	High	2	No	No
<u>Wahlenbergia stricta subsp. stricta</u>	<u>Tall Bluebell</u>	Large Herb	High	2	No	No
<u>Westringia crassifolia</u>	<u>Whipstick Westringia</u>	Small Shrub	High	2	Yes	No
<u>Westringia eremicola</u>	<u>Slender Westringia</u>	Medium Shrub	High	2	Yes	No
<u>Wurmbea dioica</u>	<u>Common Early Nancy</u>	Medium Herb	High	2	No	No
<u>Wurmbea dioica subsp. dioica</u>	<u>Common Early Nancy</u>	Medium Herb	High	1	No	No
<u>Xerochrysum viscosum</u>	<u>Shiny Everlasting</u>	Large Herb	High	3	No	No



Appendix.9 Regeneration list for EVC 67- Graminoides

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland

(this bioEVC)

26-Nov-2008

Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Acacia acinacea s.l.	Gold-dust Wattle	Medium Shrub	Very High	3	No	No
Acacia acinacea s.s.	Gold-dust Wattle	Medium Shrub	High	3	No	No
Acacia dealbata	Silver Wattle	Tree, Small Tree or Large Shrub	High	4	No	No
Acacia genistifolia	Spreading Wattle	Medium Shrub	Very High	4	No	No
Acacia implexa	Lightwood	Tree, Small Tree or Large Shrub	High	4	Yes	No
Acacia mearnsii	Black Wattle	Tree, Small Tree or Large Shrub	High	4	No	No
Acacia paradoxa	Hedge Wattle	Medium Shrub	Very High	3	No	No
Acacia provincialis	Wirilda	Tree, Medium Shrub	Very High	4	No	No
Acacia pycnantha	Golden Wattle	Tree, Medium Shrub	Very High	4	No	No
Acacia retinodes s.l.	Wirilda	Tree, Small Tree or Large Shrub	High	4	No	No
Acaena echinata	Sheep's Burr	Medium Herb	High	2	No	No
Acrotriche serrulata	Honey-pots	Prostrate Shrub	Very High	1	No	No
Ajuga australis	Austral Bugle	Large Herb	High	2	No	No
Allocasuarina luehmannii	Buloke	Tree, Small Tree or Large Shrub	Very High	3	No	No
Amyema miquelii	Box Mistletoe	Epiphyte	High	1	No	No
Aphanes australiana	Australian Piert	Medium Herb	High	1	No	No
Aphelia gracilis	Slender Aphelia	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	No
Aphelia pumilio	Dwarf Aphelia	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	No
Arthropodium minus	Small Vanilla-lily	Large Herb	High	2	No	No
Arthropodium strictum s.l.	Chocolate Lily	Large Herb	High	2	No	No
Arthropodium strictum s.s.	Chocolate Lily	Large Herb	High	2	No	No
Astroloma humifusum	Cranberry Heath	Prostrate Shrub	Very High	1	No	No
Austrodanthonia duttoniana	Brown-back Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	Yes

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error, we do not accept

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Austrodanthonia geniculata	Kneed Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Austrodanthonia setacea	Bristly Wallaby-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Austrostipa mollis	Supple Spear-grass	Large Tufted Graminoid (Grass-like plant)	Very High	3	No	No
Austrostipa scabra	Rough Spear-grass	Medium to Small Tufted Graminoid (Grass-like plant)	Moderate	3	No	No
Austrostipa scabra subsp. falcata	Rough Spear-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Banksia marginata	Silver Banksia	Tree, Medium Shrub	High	3	Yes	No
Brachyloma daphnoides	Daphne Heath	Medium Shrub	High	1	No	No
Brachyscome perpusilla	Rayless Daisy	Medium Herb	High	1	No	No
Brunonia australis	Blue Pincushion	Medium Herb	High	2	No	No
Bulbine bulbosa	Bulbine Lily	Medium Herb	High	2	No	No
Burchardia umbellata	Milkmaids	Medium Herb	High	2	No	No
Bursaria spinosa subsp. spinosa	Sweet Bursaria	Medium Shrub	High	3	No	No
Calocephalus citreus	Lemon Beauty-heads	Large Herb	High	3	Yes	No
Carex appressa	Tall Sedge	Large Tufted Graminoid (Grass-like plant)	High	3	No	No
Carex inversa	Knob Sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Carex tereticaulis	Poong'ort	Large Tufted Graminoid (Grass-like plant)	High	3	No	Yes
Cassinia arcuata	Drooping Cassinia	Medium Shrub	High	4	No	No
Centipeda cunninghamii	Common Sneezeweed	Medium Herb	High	2	No	No
Centrolepis aristata	Pointed Centrolepis	Tiny Tufted Graminoid (Grass-like plant)	Very High	1	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Centrolepis fascicularis	Tufted Centrolepis	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	No
Centrolepis glabra	Smooth Centrolepis	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	No
Centrolepis polygyna	Wiry Centrolepis	Tiny Tufted Graminoid (Grass-like plant)	High	1	No	No
Centrolepis strigosa subsp. strigosa	Hairy Centrolepis	Tiny Tufted Graminoid (Grass-like plant)	Very High	1	No	No
Chamaescilla corymbosa var. corymbosa	Blue Stars	Medium Herb	High	2	No	No
Cheilanthes austrotenuifolia	Green Rock-fern	Ground Fern	High	2	No	No
Chloris truncata	Windmill Grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
Chrysocephalum apiculatum s.l.	Common Everlasting	Large Herb	High	2	No	No
Crassula decumbens var. decumbens	Spreading Crassula	Medium Herb	High	2	No	No
Cymbonotus preissianus	Austral Bear's-ear	Small or Prostrate Herb	Very High	2	No	No
Cynoglossum suaveolens	Sweet Hound's-tongue	Medium Herb	Very High	2	No	No
Daucus glochidiatus	Australian Carrot	Medium Herb	Very High	1	No	No
Daviesia leptophylla	Narrow-leaf Bitter-pea	Medium Shrub	Very High	3	No	No
Daviesia ulicifolia	Gorse Bitter-pea	Medium Shrub	High	3	No	No
Deyeuxia quadriseta	Reed Bent-grass	Large Tufted Graminoid (Grass-like plant)	High	2	No	No
Dianella revoluta s.l.	Black-anther Flax-lily	Medium to Small Tufted Graminoid (Grass-like plant)	Very High	2	No	No
Dianella tarda	Late-flower Flax-lily	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	Yes	No
Dichondra repens	Kidney-weed	Small or Prostrate Herb	High	2	No	No
Dillwynia cinerascens s.l.	Grey Parrot-pea	Small Shrub	Very High	2	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
<i>Diuris lanceolata</i> s.l.	Golden Moths	Medium Herb	High	1	No	No
<i>Drosera peltata</i> subsp. <i>auriculata</i>	Tall Sundew	Medium Herb	High	1	No	No
<i>Drosera pygmaea</i>	Tiny Sundew	Small or Prostrate Herb	High	1	No	No
<i>Drosera whittakeri</i> subsp. <i>aberrans</i>	Scented Sundew	Small or Prostrate Herb	Moderate	2	No	No
<i>Finadia hastata</i>	Saloop	Medium Herb	High	3	No	No
<i>Finadia nutans</i> subsp. <i>nutans</i>	Nodding Saltbush	Medium Herb	High	3	No	No
<i>Elymus scaber</i> var. <i>scaber</i>	Common Wheat-grass	Medium to Small Tufted Graminoid (Grass-like plant)	Very High	3	No	No
<i>Fragrostis brownii</i>	Common Love-grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
<i>Eryngium ovinum</i>	Blue Devil	Large Herb	High	2	Yes	No
<i>Eucalyptus camaldulensis</i>	River Red-gum	Tree, Small Tree or Large Shrub	High	4	No	No
<i>Eucalyptus globulus</i> subsp. <i>bicostata</i>	Eurabbie	Tree, Small Tree or Large Shrub	High	4	Yes	No
<i>Eucalyptus leucoxylon</i>	Yellow Gum	Tree, Small Tree or Large Shrub	Moderate	4	No	No
<i>Eucalyptus leucoxylon</i> subsp. <i>connata</i>	Melbourne Yellow-gum	Tree, Small Tree or Large Shrub	High	4	No	No
<i>Eucalyptus melliodora</i>	Yellow Box	Tree, Small Tree or Large Shrub	Very High	4	No	No
<i>Eucalyptus microcarpa</i>	Grey Box	Tree, Small Tree or Large Shrub	Very High	4	No	No
<i>Eucalyptus polyanthemus</i>	Red Box	Tree, Small Tree or Large Shrub	High	4	No	No
<i>Euchiton collinus</i> s.s.	Creeping Cudweed	Medium Herb	High	3	No	No
<i>Eutaxia microphylla</i> var. <i>microphylla</i>	Common Eutaxia	Small Shrub	High	2	No	No
<i>Geranium retrorsum</i> s.l.	Grassland Crane's-bill	Medium Herb	High	2	No	No
<i>Geranium</i> sp. 2	Variable Crane's-bill	Medium Herb	High	1	No	No
<i>Glossodia major</i>	Wax-lip Orchid	Medium Herb	High	1	No	No
<i>Glycine tabacina</i> s.s.	Variable Glycine	Scrambler or Climber	High	1	No	No
<i>Gnaphalium indutum</i>	Tiny Cudweed	Medium Herb	High	2	No	No
<i>Gonocarpus tetragynus</i>	Common Raspwort	Medium Herb	High	2	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Goodenia geniculata	Bent Goodenia	Medium Herb	High	1	No	No
Goodenia pinnatifida	Cut-leaf Goodenia	Medium Herb	High	2	No	No
Hemarthria uncinata var. uncinata	Mat Grass	Medium to Tiny Non-Tufted Graminoid (Grass-like pl	High	2	No	No
Hyalosperma demissum	Moss Sunray	Small or Prostrate Herb	High	1	No	No
Hydrocotyle callicarpa	Small Pennywort	Medium Herb	High	1	No	No
Hydrocotyle foveolata	Yellow Pennywort	Medium Herb	High	1	No	No
Hydrocotyle laxiflora	Stinking Pennywort	Small or Prostrate Herb	Very High	2	No	No
Hypericum gramineum	Small St John's Wort	Medium Herb	High	2	No	No
Hypoxis glabella var. glabella	Tiny Star	Medium Herb	High	1	No	No
Hypoxis vaginata	Yellow Star	Medium Herb	High	1	No	No
Isoetes drummondii	Plain Quillwort	Medium to Small Tufted Graminoid (Grass-like plant	High	1	No	No
Isolepis inundata	Swamp Club-sedge	Medium to Small Tufted Graminoid (Grass-like plant	High	2	No	No
Isotoma fluviatilis subsp. australis	Swamp Isotome	Small or Prostrate Herb	High	2	No	No
Juncus bufonius	Toad Rush	Medium to Small Tufted Graminoid (Grass-like plant	High	2	No	No
Juncus pallidus	Pale Rush	Large Tufted Graminoid (Grass-like plant)	High	3	No	No
Juncus subsecundus	Finger Rush	Medium to Small Tufted Graminoid (Grass-like plant	High	3	No	No
Kennedia prostrata	Running Postman	Small or Prostrate Herb	High	2	No	No
Lagenophora huegelii	Coarse Bottle-daisy	Medium Herb	High	2	No	No
Leptorhynchos squamatus	Scaly Buttons	Medium Herb	High	2	No	No
Leptorhynchos tenuifolius	Wiry Buttons	Large Herb	High	2	No	No
Lissanthe strigosa subsp. subulata	Peach Heath	Small Shrub	Moderate	1	No	No
Lobelia pratioides	Poison Lobelia	Small or Prostrate Herb	High	2	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
<u>Lomandra filiformis</u>	<u>Wattle Mat-rush</u>	Medium to Small Tufted Graminoid (Grass-like plant)	Very High	2	No	No
<u>Luzula meridionalis</u>	<u>Common Woodrush</u>	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
<u>Luzula meridionalis var. densiflora</u>	<u>Common Woodrush</u>	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
<u>Luzula meridionalis var. meridionalis</u>	<u>Common Woodrush</u>	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
<u>Melaleuca parvistaminea</u>	<u>Rough-barked Honey-myrtle</u>	Medium Shrub	Very High	4	No	No
<u>Microlaena stipoides var. stipoides</u>	<u>Weeping Grass</u>	Medium to Tiny Non-Tufted Graminoid (Grass-like pl)	Very High	3	No	No
<u>Microseris scapigera spp. agg.</u>	<u>Yam Daisy</u>	Medium Herb	High	2	No	No
<u>Microseris sp. 3</u>	<u>Yam Daisy</u>	Large Herb	High	2	No	No
<u>Microtis parviflora</u>	<u>Slender Onion-orchid</u>	Medium Herb	High	1	No	No
<u>Millotia tenuifolia var. tenuifolia</u>	<u>Soft Millotia</u>	Medium Herb	High	1	No	No
<u>Muellerina eucalyptoides</u>	<u>Creeping Mistletoe</u>	Epiphyte	High	1	No	No
<u>Oxalis perennans</u>	<u>Grassland Wood-sorrel</u>	Medium Herb	Very High	2	No	No
<u>Pelargonium rodneyanum</u>	<u>Magenta Stork's-bill</u>	Medium Herb	High	2	No	No
<u>Pentapogon quadrifidus var. quadrifidus</u>	<u>Five-awned Spear-grass</u>	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
<u>Phyllangium divergens</u>	<u>Wiry Mitrewort</u>	Small or Prostrate Herb	High	1	No	No
<u>Pimelea humilis</u>	<u>Common Rice-flower</u>	Small Shrub	Very High	2	No	No
<u>Poa sieberiana</u>	<u>Grey Tussock-grass</u>	Medium to Small Tufted Graminoid (Grass-like plant)	High	3	No	No
<u>Poranthera microphylla s.l.</u>	<u>Small Poranthera</u>	Medium Herb	High	1	No	No
<u>Pseudognaphalium luteoalbum</u>	<u>Jersey Cudweed</u>	Medium Herb	High	3	No	No
<u>Pteridium esculentum</u>	<u>Austral Bracken</u>	Ground Fern	High	2	Yes	No
<u>Pterostylis nana</u>	<u>Dwarf Greenhood</u>	Medium Herb	High	1	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
Ranunculus robertsonii	Slender Buttercup	Medium Herb	High	1	No	No
Ranunculus sessiliflorus	Annual Buttercup	Medium Herb	High	1	No	No
Rumex brownii	Slender Dock	Medium Herb	High	3	No	No
Schoenus apogon	Common Bog-sedge	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Selaginella gracillima	Tiny Selaginella	Medium Herb	High	1	No	No
Senecio quadridentatus	Cotton Fireweed	Large Herb	Very High	3	No	No
Senecio tenuiflorus spp. agg.	Slender Fireweed	Large Herb	Very High	2	No	No
Silozerus multiflorus	Small Wrinklewort	Small or Prostrate Herb	High	1	No	No
Solenogyne dominii	Smooth Solenogyne	Small or Prostrate Herb	Very High	2	No	No
Solenogyne gunnii	Hairy Solenogyne	Medium Herb	High	2	No	No
Stylidium calcaratum	Book Triggerplant	Small or Prostrate Herb	High	1	No	No
Stylidium inundatum	Hundreds and Thousands	Small or Prostrate Herb	High	1	No	Yes
Stylidium perpusillum	Slender Triggerplant	Small or Prostrate Herb	High	1	No	No
Swainsona behriana	Southern Swainson-pea	Small or Prostrate Herb	High	2	No	No
Thelymitra antennifera	Rabbit Ears	Medium Herb	High	1	No	No
Thelymitra pauciflora s.l.	Slender Sun-orchid	Medium Herb	High	1	No	No
Themeda triandra	Kangaroo Grass	Medium to Small Tufted Graminoid (Grass-like plant)	High	2	No	No
Thysanotus patersonii	Twining Fringe-lily	Scrambler or Climber	Very High	2	No	No
Tricoryne elatior	Yellow Rush-lily	Large Herb	High	2	No	No
Triglochin turrifera	Turret Arrowgrass	Medium to Tiny Non-Tufted Graminoid (Grass-like pl)	High	1	No	Yes
Velleia paradoxa	Spur Velleia	Medium Herb	High	2	No	No
Veronica calycina	Hairy Speedwell	Medium Herb	High	2	No	No
Veronica plebeia	Trailing Speedwell	Medium Herb	High	2	No	No
Wahlenbergia gracilentia s.l.	Annual Bluebell	Medium Herb	High	2	No	No
Wahlenbergia luteola	Bronze Bluebell	Large Herb	High	2	No	No
Wurmbea dioica	Common Early Nancy	Medium Herb	High	2	No	No

Whilst VicVeg Online project staff have made every effort to ensure that the information provided is free from error we do not accept

The Goldfields Bioregion Alluvial Terraces Herb-rich Woodland						
Scientific Name	Common Name	Life Form	Confidence	Reveg Suitability	Restricted Species	Specialist
<u>Xanthorrhoea minor subsp. lutea</u>	<u>Small Grass-tree</u>	Large Tufted Graminoid (Grass-like plant)	High	2	No	No
<u>Xerochrysum viscosum</u>	<u>Shiny Everlasting</u>	Large Herb	High	3	No	No



Appendix.10 Regeneration plant protection



Treeguard sleeves

Plastic sleeve for plant protection

Description

The perfect treeguard, made from soft plastic (95% recycled) sleeve and requiring three support stakes. Provides plant protection against spray drift, wind and vermin.



Specifier's tip

- The quality of the UV stabiliser sets Treemax treeguards apart.
- The only quality treeguard that incorporates 95% recycled materials.



Benefits

Treeguard sleeves create a micro-climate providing plant protection against spray drift, wind and vermin.

Inexpensive protection for new plants and are easy to install.

A wide range of treeguard dimensions are available to suit your site conditions and environmental pressures.

Our treeguards are reusable and recyclable at the end of their life cycle.

Designed to be used with Surejute Thick and Recycled Fibre weed control mats.

See attached leaflets for 'Weedmats' and 'Stakes' for a range of options.



For more information please call [REDACTED]



Treeguard sleeves

Plastic sleeve for plant protection

Specifications

Material	Plastic polyethylene tube, UV-stabilised		
	95% recycled plastic, 2% virgin plastic, 3% UV-stabiliser – exceeds Australian Standards AS 13261972		
Design	Tube of extruded plastic supported by three (3) stakes or a wire frame. Punched with holes for air circulation		
Colour	Light green tint, with/out logo		
Life expectancies	100um: 18 months 120um: 24 months		
Name	Treeguard sleeves		
Dimensions	Height	Flat Width	Thickness (microns)
Standard printed sleeve (500 units)	450mm	350mm	100um
Tall sleeve (250 units)	600mm	400mm	120um
Standard perforated sleeve roll (200 units)	450mm	350mm	100um
For sleeve support option see Stakes Sheet.			

Note: content of recycled plastic may vary from time to time. Life expectancies may vary due to environmental factors and chemicals applied.



Custom Printing

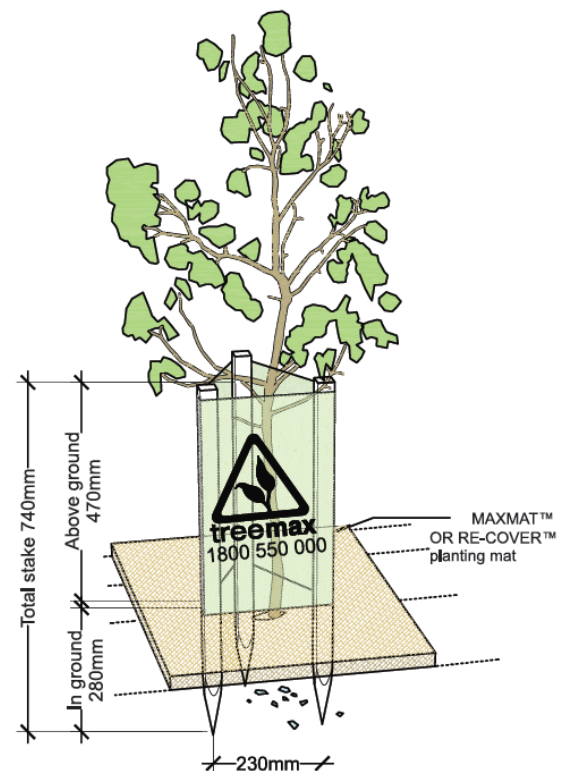
We have the ability to custom print your treeguard with a company logo and text as requested.

This service requires a minimum order and a printing plate to be made.



Field tip

- Τη θαλιτην οφ της Υς σταβιλισηρ σετα Τρεμαξ τρεεγυαρδσ απαρτ.
- Τη ονλψ θαλιτην τρεεγυαρδ τηατ ινχορπορατεσ 95% ρεχψχλεδ.



For more information please call





Appendix.11 Dam best practice



THE farm dam

HANDBOOK





Hawkesbury-Nepean
Catchment Management Authority



Sydney
Catchment
Authority



Primary
Industries



The publishers are pleased to allow material in this publication to be reproduced in whole or part, provided the meaning is unchanged and its source and publisher are acknowledged.

ISBN 978-1-74263-186-8

Published June 2011

Booklet prepared by Margaret Turton, Epacris Environmental Consultants

Illustrations by Fiona Lumsden

Design and printing by Clickmedia Digital Printers

Photography courtesy of the Hawkesbury-Nepean Catchment Management Authority, Sydney Catchment Authority, Department of Primary Industries and Office of the Hawkesbury Nepean.

This publication aims to provide advice on best practice management of farm dams in the Hawkesbury-Nepean and Southern Rivers catchments and Sydney drinking water catchments. Advice on the construction and structural issues of farm dams should be sought from the Office of Water. The publisher is not responsible for any actions taken on the basis of the information provided here or for any errors or omissions.

CONTENTS

INTRODUCTION	2	KEY ISSUES	14-37
YOUR FARM DAM - MANAGEMENT ZONES	3-13	Livestock	14-16
Catchment zone	6	Stock impacts	14
Shade zones	8	Stock health	16
Shelterbelt zone	9	Vegetation	18-23
Filter zone	9	Groundcover	18
Dam zone	10	Paddock trees	20
		Degraded areas	20
		Riparian areas	22
		Planting around your dam	22
		Wildlife	24-27
		Water quality	28-35
		Nutrients, fertilisers and algae	31
		Aquatic weeds	32
		Pesticides	33
		Salinity	34
		Soil erosion	34
		Dam maintenance	36-37
		MORE INFORMATION	38-40
		Landholder Grants	38
		Land Management Courses	39
		Contact Agencies	40
		ACKNOWLEDGEMENTS	41



Introduction

Your farm dam - Management zones



A healthy farm dam is an important resource to keep stock healthy and provide water for farming properties. It also provides a valuable habitat for local wildlife. This book provides advice to help you keep your dam in good condition to enhance the health of your property.

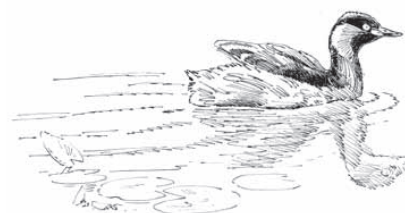
Farm dams:

- provide water for stock, irrigation, and gardens
- provide water for fire management and protection
- provide habitat for wildlife
- increase productivity and property values
- are attractive property features that can also be used for recreation.

What does your farm dam look like? Is the water clean? Do your stock like drinking the water? Are the banks well vegetated and stable? Does it have a stable spillway? Or are there problems like silt, algae, weeds and erosion? A poorly kept dam can cost you money, put your property and stock at risk, and be a risk to neighbours and down-stream users and environments.

On large properties, it may not be practical to follow all of the tips in this book for every farm dam. You can prioritise your dams for different actions such as fencing, by considering how close they are to waterways, how often your stock use them, the size of the dam, and existing environmental features or problems.

To manage your farm dam properly, you need to think not only of the dam, but also its catchment. That includes the land, drainage lines and drainage depressions that flow into the dam. By managing the catchment area of your dam as a whole, the dam will be healthier and have flow on benefits for stock health and farm productivity.

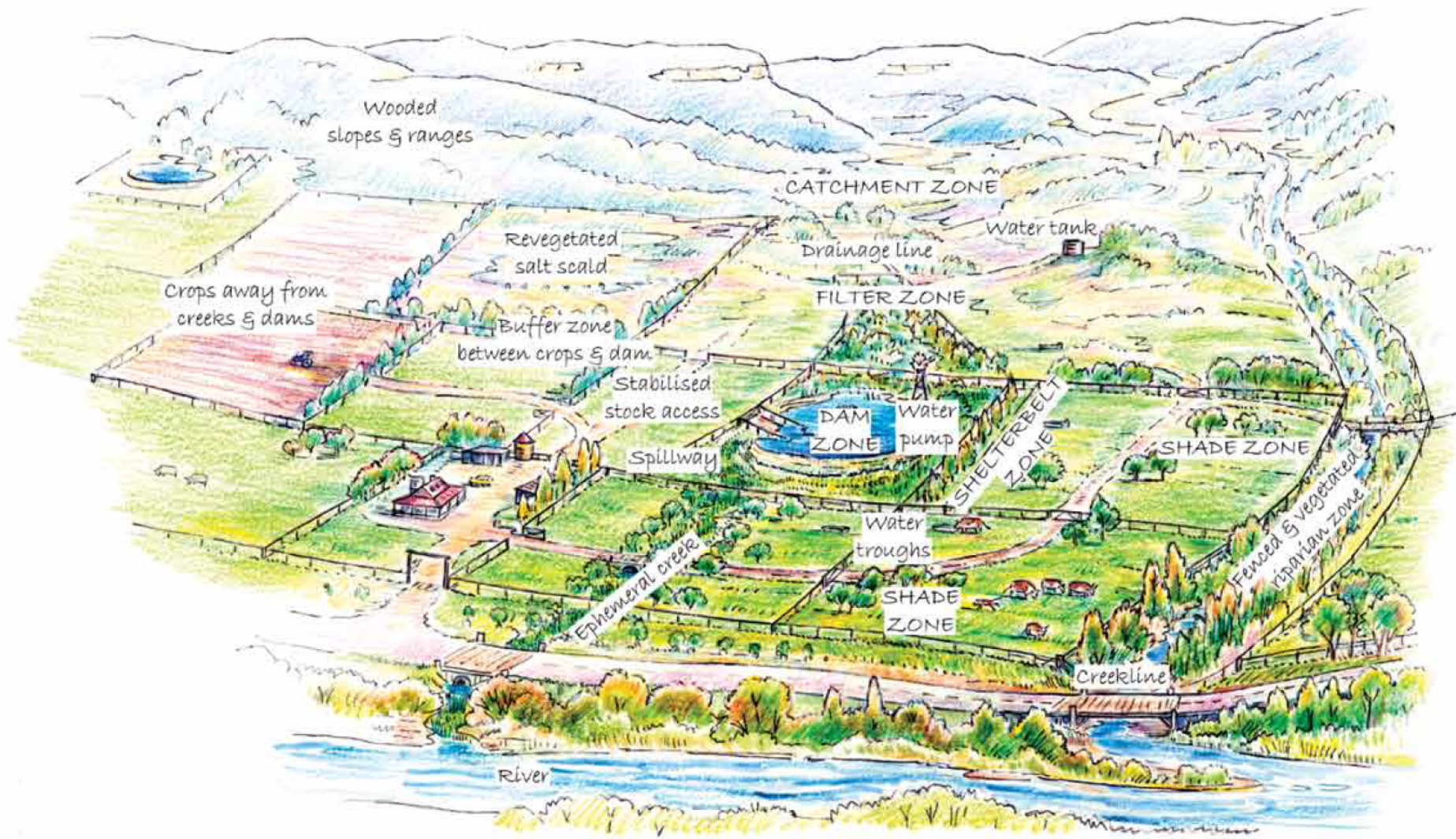


Figures 1 and 2 (pages 4 and 7) show a sample layout for a farm dam and catchment, including important areas for trees and shrubs. Use it as a guide and to think about the layout of your property.

When planning how to manage your dam, it is helpful to think about your property as separate zones: the Catchment Zone, Shade Zone, Shelterbelt Zone, Filter Zone, and Dam Zone.

All of these zones work together to improve farm productivity through better pasture, shelter and shade for stock, and water quality.

Figure 1 - Farm dam management zones



Catchment Zone

The catchment zone is the area of land that captures rainfall that flows into your dam. This area should be well vegetated with at least 80 percent ground cover (ie no more than 20 percent bare ground) and some tree cover. Pasture cover of deep-rooted perennial grasses reduces soil loss, and slows and filters water flows.

It is a good idea to repair any eroding areas, such as gullies and scald areas on hillslopes. If your dam is located on a slope, you can use contour banks and/or well-vegetated strips to slow water flows and reduce erosion and sedimentation.

It is also important to ensure 100 percent groundcover in drainage lines and depressions that flow into the dam. This will help stop soil, nutrients, animal droppings, and other particles reaching your farm dam during rain.



Managing your catchment zone

- Maintain more than 80 percent ground cover with mostly perennial pasture species
- Repair eroding gullies and erosion or scald areas
- Use contour banks and/or vegetation strips to slow water flows coming from hillsides
- Manage pasture to achieve 100 percent ground cover in drainage lines and depressions
- Avoid excessive use of fertilisers or pesticides in the catchment zone, as they will affect the water quality in your dam
- Avoid using any fertiliser near creeks and drainage lines, or in other areas of the catchment zone, if heavy rain is expected as it will run into drainage lines and dams
- Divert run-off from farm stockyards, feed lots, dairies and rich nutrient sources away from farm dams, water courses, and drainage lines to protect water quality.

Figure 2 - The farm dam and its immediate surroundings



Shade Zones

It is a good idea to include clusters of trees and other woody vegetation in paddocks to protect soil and pasture cover. They create 'shade zones' within the wider 'catchment zone'. Trees provide shelter for stock, protect soil stability and improve pasture health by increasing the diversity of invertebrates and micro-organisms in the soil. Trees can also improve pasture growth by reducing wind erosion, increasing the return of soil nutrients, and protecting pasture against frost.

Shade zones are essential to provide shelter and shade for stock. Such vegetation also helps maintain catchment health and stability. Shade zones should generally be located away from the dam itself to discourage stock from gathering around the dam. They should also be located away from drainage lines and waterways. Create several groups of trees to prevent stock from compacting the soil in one area. You can also pipe water from the dam to alternative watering points near these shaded areas to further attract stock away from dams and waterways.

Managing your shade zones

- Check your paddock trees for signs of stress and trees that may be nearing the end of their life. Fence out trees that are showing signs of stress and plant new trees before the existing ones die
- Plant trees and shrubs in several clumps away from farm dams, drainage lines and waterways
- Use local native species that are well adapted to your area
- Protect new plants with fencing and tree-guards while they grow.



Shelterbelt Zones

Shelterbelts are often planted as windbreaks to protect pasture and provide shade and protection for stock. They can also be used to protect your dam if they are located upwind. This helps prevent banks and dam walls from being scoured and damaged by wave action, and decreases evaporation of dam water by protecting the dam from strong winds. Windbreaks can protect areas to a distance of 12 times the height of the trees.

Managing shelterbelt zones

- Position shelterbelts in the direction of strong prevailing winds
- Avoid locating shelterbelts for stock shade along waterways and drainage lines.

Filter Zone

The inflow area of your dam acts as a filter zone or silt trap for water flowing into your dam, improving water quality. Inflow areas should be well covered with grasses, sedges and shrubs to provide 100 percent groundcover. This will help slow down water flowing into the dam, and will catch and retain heavy particles such as soil, small rocks and animal droppings. Reeds and rushes planted at the dam edge will also help trap soil and other particles. Fence your filter zone to protect it from grazing and trampling until plants are well established. Avoid using fertilisers or pesticides in the filter zone to keep them out of your dam water.

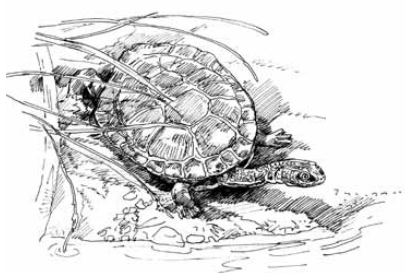
Managing your filter zone

- Provide 100 percent ground cover using grasses, sedges and shrubs
- Do not continually graze this zone. You should only allow selective grazing during strong growing periods such as spring
- Keep fertilizers and pesticides away from the filter zone and the dam
- Fence filter zones at least until vegetation is well established
- Plant reeds and rushes in shallow water at the dam edge to help trap soil and other particles.

Dam Zone

There are three important areas in the dam zone: the dam wall, the spillway and the farm dam itself.

The dam wall holds back the water in your farm dam. Avoid having trees and shrubs with deep roots on the dam wall as these can cause it to seep, leak or even collapse. Mat-forming perennial grass and small shrubs with outward extending fibrous roots on the dam wall will help to keep it strong and minimise erosion. A mat-forming water-tolerant grass species planted on the up-stream side of the wall will also help reduce wave erosion. Check the dam wall area regularly for impacts from burrowing animals.



Spillways that carry water away from the dam during overflows should have 100 percent groundcover. Avoid planting or encouraging trees and shrubs to grow on the spillway as they can block debris and cause erosion and channeling during overflows. Use deep-rooted, perennial grasses that will help to hold the soil and prevent erosion during overflows.

You need to actively manage the dam area itself to provide secure water for stock and other purposes. Limiting direct stock access to your dam is important to keep the water clean and minimise erosion and other damage to the dam. The best solution is to fence the dam and pipe the water to troughs or tanks for stock to drink. Where this is not practical, drinking points can be planned so that stock only have access to limited sections of the dam. In this design, it is important to keep stock away from the inflow, dam wall and spillway areas.

You can also restrict stock access to the dam by only having one entrance where the water is deeper, and fencing off the rest of the dam. The access point should always be away from the inflow, dam wall and spillway areas. You should build a rock, stone or gravel ramp to this access point to prevent erosion and sedimentation. Install a gate at the entrance for more control over stock access to the dam.

This dam zone can be a valuable refuge for wildlife. A dam, with water depths ranging from deep to shallow, helps plant growth and provides a range of habitats for different aquatic invertebrates and other wildlife. Islands in a dam are attractive and provide a predator-free place for birds to nest. Grass and small shrubs planted in this zone help to stabilise soil on dam banks and provide habitat for invertebrates and frogs.

You can use trees and shrubs to shade areas close to the dam to benefit fish, stock, and waterbirds. It will also help reduce evaporation, and the risk of aquatic weeds and algae. When you are planting trees and shrubs, choose areas away from the dam edge and that are downslope from the dam to minimise stock dung being carried into the dam by rain. Avoid planting trees and shrubs in the filter zone (inflow area), or on the spillway and dam wall. Create other accessible shade areas in nearby paddocks so that stock don't gather at the shade area near the dam and pollute the water.

Managing your dam zone

- Manage stock access to the dam through fencing and alternative water (where required) or by designing suitable access points
- Don't plant trees and deep-rooted shrubs on the dam wall. Plant mat-forming perennial species or small shrubs with outward-extending fibrous roots to keep the wall stable
- Plant mat-forming water-tolerant grasses on the up-stream side of the dam wall to help reduce wave erosion
- Regularly check the dam wall for damage from burrowing animals. Repair the wall and control burrowing animals as necessary
- Regularly check trickle pipes in the dam wall to ensure they remain unblocked
- Ensure that the spillway area has 100 percent pasture cover with mostly perennial species. Don't plant trees or shrubs on the spillway
- If you do plant trees and shrubs near the dam, choose small to medium, slow-growing species. Plant them away from the dam edge and downslope from the dam. Avoid planting trees and shrubs in the inflow area, or on the dam wall and spillway.

Farm dams can also be well managed without the need for fences as shown here. The unfenced dam has a grassed bank and spillway but without trees and shrubs. This approach maintains the integrity and function of these structures. Reeds and rushes are present at the inflow area to trap nutrients, sediment, and animal droppings. A small stock shelter (left background) and various shade trees are located away from the dam. This protects water quality by encouraging stock to use shade areas away from the dam itself.



Key Issues

Livestock



Poorly managed farm dams can lead to damage from stock, over-grazing, erosion and aquatic weeds

Stock impacts

Your farm dam is a source of water for your stock, so they naturally gather around it. You need to manage stock access to avoid erosion, pugging (excessive soil disturbance), and damage to the vegetation cover on the banks around the dam. These problems can contribute sediment to the dam and over time they can damage the dam wall and spillway.

Preventing or limiting stock access to the dam is the best long-term answer to maintain clean and reliable water, and to minimise damage to your dam. You can control stock access by fencing around the dam and piping water to other watering points such as troughs or tanks. Where it isn't possible to fence your dam to exclude stock, plan drinking points to allow only limited access at the dam edge. You can use a single access point if it is supported with a hard base made of rock, stone or gravel. However, the inflow, dam wall and spillway areas should be protected from stock access in these designs.

Stock that have easy access to clean water will drink more, be healthier, and be in better condition

Stock impacts on your dam can increase dramatically during dry periods, as they have to move further into the dam as the water level drops. When this happens, animals can also become trapped in the mud at the bottom of the dam. It is especially important at these times to create watering points away from the dam.

By fencing your dam to restrict access, you will also make the area safer for everyone, especially children.

Stock health

Good quality dam water helps keep your stock healthy. This can be achieved by actions that stop stock from directly fouling water, limit dung being lifted and carried into the water, and which minimise the transfer of disease between animals.

Many animal-borne diseases are transmitted through stock dung and carried in water. For example, human and stock infective pathogens such as *Cryptosporidium* and *Giardia* can enter farm dams and waterways during rain and infect healthy stock. Limiting stock access to farm dams, and potentially to the drainage lines that feed into them, minimises the chance of dung reaching the water creating health risks to your stock. These pathogens also die when they are exposed to persistent sunlight. Good pasture cover increases the ability of your paddock to trap pathogens and expose them to sunlight before they reach water. Keeping drainage lines and depressions, and the areas around your farm dam well vegetated helps protect the water quality in your farm dam.

Stockyards, laneways, drought-lots, and other areas where stock are gathered create areas where dung can build up. Locating these away from your farm dams and the drainage lines and depressions that feed into them will help reduce the risk of dung entering your farm dam.

Sick animals, juvenile animals and their lactating mothers shed more pathogens such as *Cryptosporidium* and *Giardia* that can cause disease in stock and people. The best way to prevent water contamination is to have dedicated hospital and maternity paddocks that keep juveniles and sick animals away from farm dams and the drainage lines and depressions that feed into them.

Another animal health issue relevant to farm dams is Liver Fluke *Fasciola hepatica*. Liver fluke are an internal parasite of sheep and cattle that are spread by a host snail (*Lymnaea tomentosa*). Larval stages of fluke infest the snail. After leaving the snail some months later they attach to grasses in wet, snail-infested areas where they are ingested by livestock. You should regularly check your inflow and spillway areas for the presence of snails. Excluding stock from inflow (filter) areas and spillway areas when these areas are wet and particularly when snails are present will help reduce stock being infected.



Key Issues

Vegetation



Maintain good groundcover in the catchment of your dam for better water quality



Groundcover

Groundcover is the layer of grasses, clover, and other plants, including litter, that protect soil from the impact of rain. Good vegetation cover in the catchment area of your dam helps achieve good water quality by keeping soil stable, and minimising the amount of fertiliser, animal droppings and other pollutants from entering your dams.

Good groundcover helps protect against erosion and filters pollutants before they reach your farm dam. It also helps slow rainfall runoff and keep paddock soil moist for pasture growth and productivity. Groundcover of 80 to 100 percent that is mostly perennial pasture species is best.

You can improve pasture cover and longevity by subdividing paddocks and using rotational grazing. This allows paddocks to rest and replenish their pasture cover after grazing.

Encouraging perennial pasture plants helps make your pastures more resilient and provides more consistent stock feed. Maintaining native grass species can be an effective way to do this. You can also encourage perennial pasture species in run down pastures by practising strategic grazing rather than set stocking, and by improving soil fertility.

Perennial pasture species provide better pasture cover during drought and help reduce the amount of soil that is washed into your dam during rain after drought. Develop a drought management plan

to identify the best paddocks and farm dams to use during drought to help minimise its impact on your property.

For more information, talk to your local Department of Primary Industries district agronomist (soil specialist) about soil and pasture management.

Maintain more than 80 percent groundcover in paddocks with mostly perennial pasture species

Paddock trees

Paddock trees provide valuable stock shade. Maintaining and planting paddock trees away from your dam will help to discourage stock from 'camping' or gathering around it. This will help improve dam health. Establishing tree cover as shelterbelts or scattered shade trees also has flow on benefits to your property by protecting pastures from drying winds and frosts, providing wildlife habitat, and overall assisting soil stability, water quality and animal health.

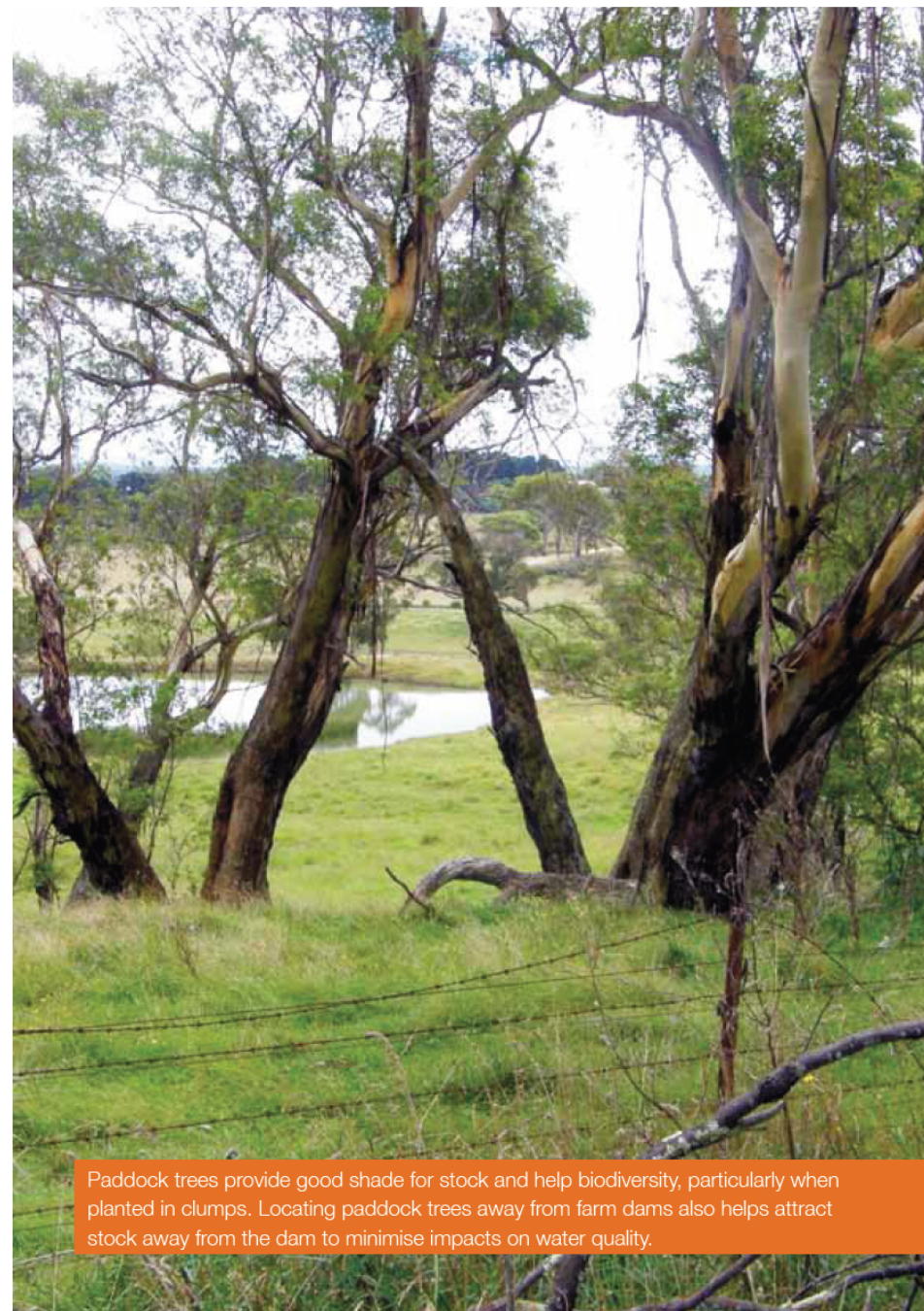
Plant new seedlings to replace old or dying paddock trees. Most Australian trees, such as eucalypts, provide shade all year round. Species that are native to your local area are best as they are adapted to local conditions.



Degraded areas

Degraded areas reduce productivity and can cause erosion and sedimentation in your dam. Fence these areas to exclude stock to help native grass, shrubs and trees to recover and stabilise the soil. You may need to plant introduced grasses until the native plants are properly established. Badly eroded areas may need earthworks before fencing and revegetation. Funding is often available to help with this work.

For more information, contact your local catchment management authority office.



Paddock trees provide good shade for stock and help biodiversity, particularly when planted in clumps. Locating paddock trees away from farm dams also helps attract stock away from the dam to minimise impacts on water quality.

Riparian areas

Riparian areas are lands next to rivers, creeks or streams. This can include the land surrounding gullies and drainage lines. Riparian vegetation can include trees, shrubs and grasses. These areas are important to protect water quality and often provide valuable habitat for native plants and animals.

Riparian vegetation areas are common along waterways downstream of your farm dam. Riparian vegetation can also grow along the drainage lines and depressions feeding into your farm dam.

Fence riparian areas to protect waterways and drainage lines from stock impacts such as water fouling and erosion. You should manage riparian areas to achieve 100 percent groundcover with a mix of grasses, shrubs and trees.

Contact your local catchment management authority for more advice.

Planting around your dam

Vegetation around your dam can help stabilise the banks and improve the longevity and environmental values of your dam. However, care needs to be taken in what plants you choose and where you place them.

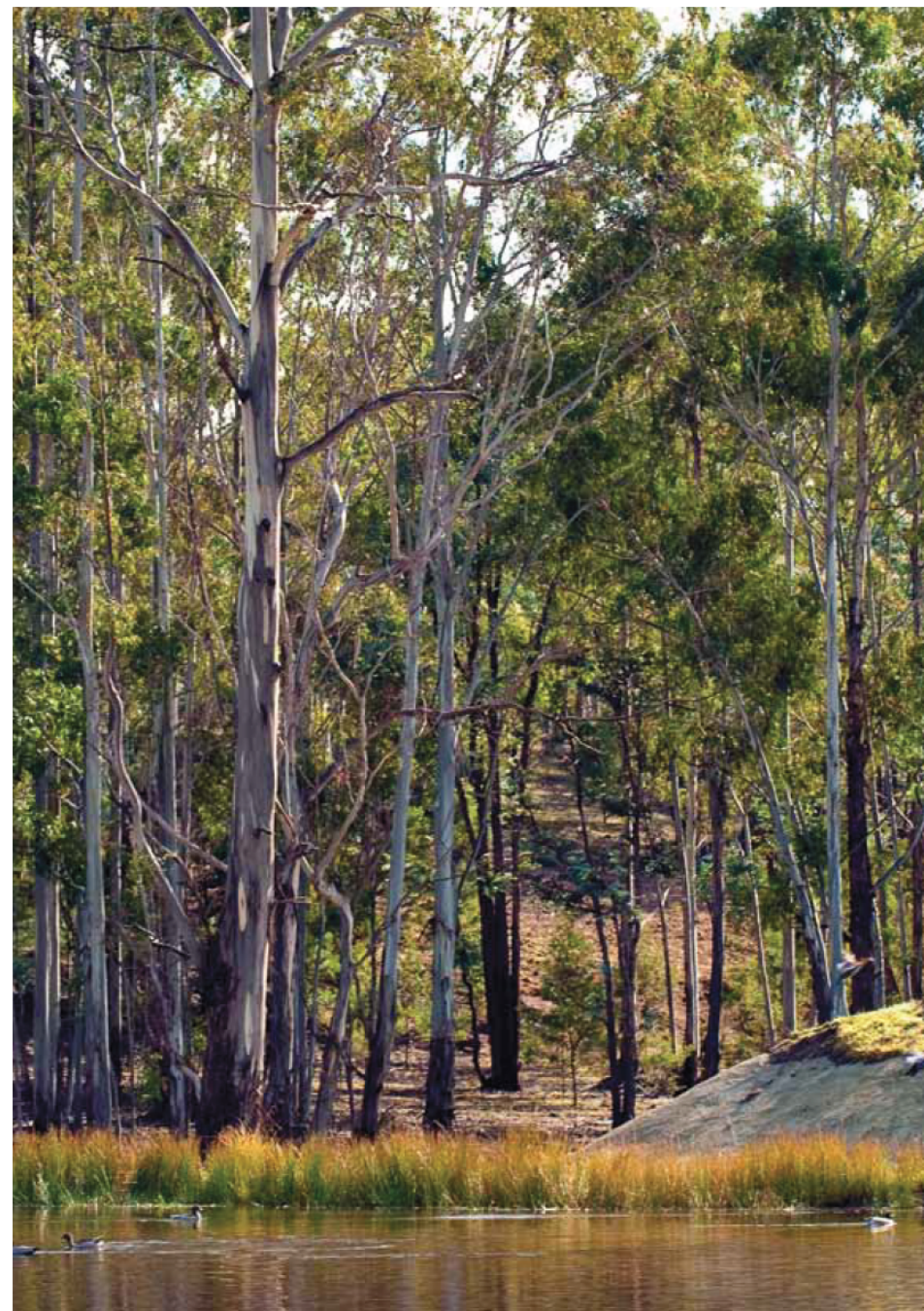
Avoid planting large trees on or close to your dam walls as the roots can cause the dam wall to become unstable.

Mat-forming perennial grass and small shrubs with outward extending fibrous roots are ideal for this area.

It is good to shade some of the water body to keep water cool and reduce evaporation and the chance of algal blooms. Plant shade trees and shrubs near to the water but don't plant them directly on the dam wall, spillway, or in the inflow area (filter zone). Use wetland plants such as reeds and rushes to help control nutrients. Aquatic plants, reeds and sedges can also help control wave action from high winds that can erode banks.

Choose plants carefully to ensure they are suitable for local conditions but not invasive. Plant species that are native to your local area for best results.

Check with your local council or catchment management authority office for a list of plant species suitable for your area.



Key Issues

Wildlife



Making your dam wildlife friendly will benefit the environment and your property. Clean water and natural habitats attract animals such as birds that help control crop damaging insects. A well maintained dam is also attractive and an asset to any property.

Animals you will commonly find in and around your farm dam include waterbirds, frogs, and reptiles like the long-necked turtle. However, larger animals such as kangaroos, wallabies and wombats may also visit your farm dam for water.

Farm dams provide habitat for native wildlife but different animals need different habitats to feed, live and breed. You can improve the biodiversity of your property by providing habitat in the form of clean water, trees, vegetated riparian areas and native grasses. For example, a thick groundcover in the filter zone (inflow) area can provide good habitat for frogs as the area will often stay moist, even during extended dry periods. Sedges and bushes a short distance from the dam edge can provide breeding sites and nesting materials for water birds. Islands within the dam itself provide safe nesting areas that are free from foxes while retaining old hollow trees in your paddocks provides breeding habitat for gliders, possums, owls, parrots, wood ducks, and teal.

Encouraging wildlife provides beneficial 'ecosystem services' to your property including nutrient and waste recycling, shelter for stock, soil formation and soil health, pest control and pollination. Encouraging biodiversity in and around your dam also helps maintain natural balances in the environment that directly benefit farm health and productivity. For example, the common backswimmer and the nymphs of dragonflies and damselflies are aquatic animals that eat mosquito larvae. Adult dragonflies and damselflies also prey on mosquitoes and crop damaging insects such as aphids.

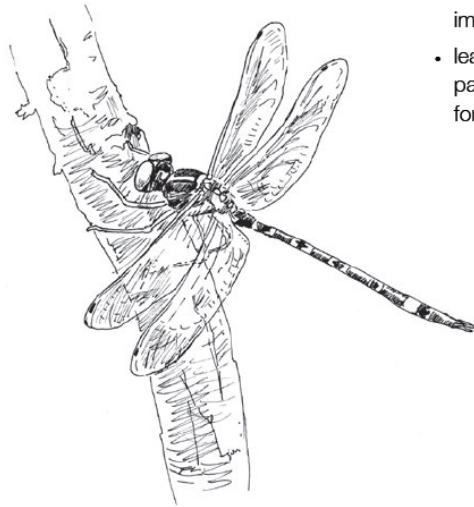
A farm dam can provide habitat for many native species and increases the biodiversity value of the property

Some landholders stock their farm dams with yabbies and fish for angling and domestic consumption. Having fish in your dam can help with mosquito control and may help attract birds to your dam. Use fish and yabbies that are native to your area and avoid the introduction of feral fish such as carp and mosquito fish.

Improving wildlife habitat

To improve the habitat potential of your dam:

- choose native plants that are local to your area
- plant a variety of native plants rather than just one or two species
- create irregular edges around the dam shoreline for habitat variety and to attract birds
- have a few hollow logs around your dam to provide habitat for wildlife
 - half submerged logs also provide perching spots for birds and turtles
- provide rocks and boulders around your dam for reptiles and frogs
- have variable depths of water across the dam
- build islands in your dam for birds and animals to avoid predators
- limit or exclude stock from the shallow water inflow zone
- If you have more than one dam, keep some farm dams free of fish to encourage frogs
- do not stock your dam with fish from other dams, creeks or rivers as they may be exotic species that can impact on native aquatic animals
- leave dead trees with hollows in your paddocks, as this provides habitat for many birds and mammals.



Key Issues

Water Quality



Rain replenishes the water in your farm dam, but the run-off can carry soil, fertilisers, animal dung, pesticides and other pollutants (Figure 3, page 30). These can affect water quality and the general productivity of your farm. Over time, soil deposited as sediment will decrease the water holding capacity of your dam. High nutrient levels from fertiliser and nutrient-rich soils can lead to algal blooms that can affect stock health and encourage aquatic weeds. Pathogens and other diseases carried in animal dung can also affect stock health. During extreme rainfall, your farm dam may overflow and carry pollutants and weeds downstream. This can adversely affect waterways, aquatic habitats, and water quality for downstream users.

Clean water is essential for stock health, pasture productivity, and crop irrigation. It is also important for farm health, long-term viability and productivity.

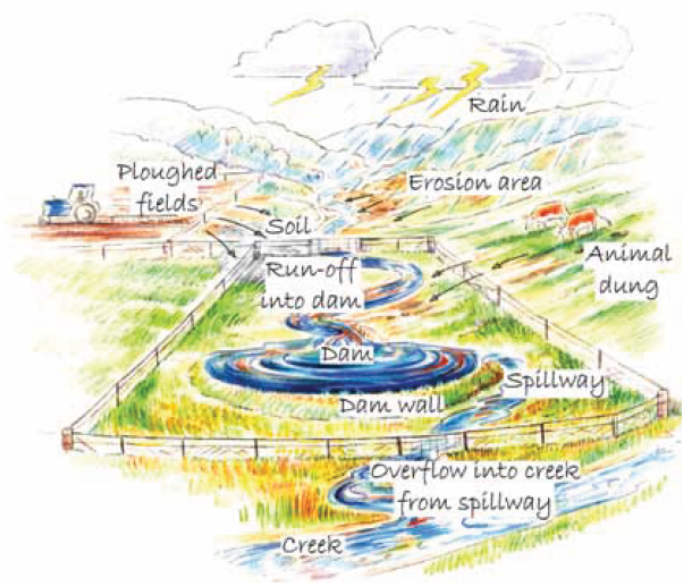
The quality of water flowing into your dam is directly affected by how you manage its catchment. You need to review your ground cover, stock, land management practices, and potential environmental risks that occur upstream or upslope from your farm dam.

To maintain clean dam water, you must actively manage the drainage lines and drainage depressions that feed water into your dam and the wider catchment area

You can assess water quality by physical indicators such as colour, turbidity (whether it is murky or clear), odour, temperature, and the presence of algae. Chemical testing can identify issues with pH, dissolved oxygen, salinity levels, and nutrients. These indicators are a valuable monitoring tool to assess the health of your dam.

The Department of Primary Industries can test your water quality to see if it is suitable and healthy for stock to drink (pH, chloride, turbidity and salinity).

Figure 3 - How run-off enters the farm dam



Nutrients, fertilisers and algae

Nutrients such as phosphorus and nitrogen are important for healthy pastures. However, in high concentrations they can cause algal blooms in farm dams and stock water. Algal blooms lower oxygen levels in water. Blue-green algae can be particularly problematic at high levels as it can cause an unpleasant odour and taste. It can produce toxins that are harmful for stock and people.

Algal blooms can be caused by excessive fouling of water by stock or by poorly applying fertiliser close to farm dams or in their catchments. They can also be caused by nutrient-rich soil being exposed and carried into the farm dam in runoff from rainfall. You can reduce the risk of increased nutrient levels and algal blooms by excluding or managing stock access to your farm dam. However, to minimise these risks you also need to effectively manage the paddocks beside and upstream of your farm dam.



You can use wetland species and reeds along farm dam edges to help with the uptake of nutrients and minimise the movement of nutrients into the farm dam. Algae prefer direct sunlight, so you can discourage algal growth by planting trees and shrubs near the dam to provide shade. Check regularly for aquatic weeds that can indicate high levels of nutrients in the water. Try to encourage frogs to breed in your dam as the tadpoles of many common frog species help control algae.

Try to minimise tillage and soil disturbance in or near upstream drainage lines or depressions, and close to the farm dam. Conduct soil tests on your paddocks to see whether the pastures actually need fertiliser, and to decide the right type and amount of fertiliser you need. Avoid applying fertilisers close to the drainage lines that feed into your farm dam. In particular, avoid applying fertilisers when intense rainfall is expected, such as high intensity summer storms. This will help fertiliser to stay where it is needed and not cause a water quality problem in your dam.



Tertiary Salvinia



Alligator Weed



Water Hyacinth

Aquatic weeds

Plants are an essential part of any ecosystem. Floating and submerged plants provide food, shelter and oxygen for mammals, birds, fish, frogs and invertebrates living in and around your dam.

Choosing plants for your dam is important. You should have partial surface cover to help reduce evaporation and to keep the water cool. The floating native plant *Azolla* should be avoided in farm dams, as it can cover the entire water surface and block sunlight, affecting dissolved oxygen levels. Poorly managed nutrients can cause excessive growth of aquatic plants. These can blanket the water surface, lower water quality, deplete oxygen supplies to animals living in the dam, and make the habitat unattractive for water birds. Aquatic weeds can also block or restrict water inflows and make the dam unattractive.

Specific aquatic plants such as Alligator Weed, Water Hyacinth and Salvinia are declared Noxious Plants and pose a major threat to the Australian environment. Landholders are legally responsible for controlling these plants and stopping them from travelling downstream. There are also regulations about other aquatic plants. Seek immediate advice from your local council weed officer or catchment management authority to identify any unfamiliar aquatic plants in your dam as a first step to manage any negative impacts.

Pesticides

Pesticides are chemicals used to control pest species. Commonly used agricultural pesticides include insecticides (to control insect pests), herbicides (to control weeds), fungicides (to control fungi), and nematicides (to control animal parasites such as through drenching).

If they are not used correctly, pesticides can kill stock, native animals, fish and birds. They often last longer in water than on the ground, so the closer you are to water, the more careful you need to be when using pesticides. Your farm dam provides stock water so you need to ensure that your pesticide does not enter the waterway directly or as runoff into the dam. Never dispose of unwanted pesticides or their containers in or near farm dams, waterways, gullies or drainage lines.

For weeds immediately around your farm dam, you may need to apply herbicides by hand or using a small hand-held sprayer. You may also need to do this along drainage lines and depressions that lead into the dam. Avoid using misters and boom sprayers along drainage lines and depressions that lead into your farm dam or in other areas very close to the dam. Remember that wind can carry pesticides over large distances into your dam.

Avoid applying pesticides before rainfall or storms. Always remember to read the label and use the pesticide as directed. Use personal protective clothing and equipment (PPE) where advised.

The ChemClear program provides for collection and disposal of unwanted agricultural and veterinary chemicals. Call ChemClear on 1800 008 182 for bookings or 02 6230 4799 for more information.

The drumMUSTER program provides for collection and recycling of cleaned, eligible and non-returnable crop production and on-farm animal health chemical containers. Contact your local council or drumMUSTER on 1800 008 707 or 02 6230 6712 for more information.

For more advice about pesticide use and training, contact the Department of Primary Industries on 1800 808 095.

Salinity

This is the one time where crystal clear water may not be a good thing. If your dam water is very clear, it may be a sign of high salinity. Salinity is often caused by removing trees and deep-rooted perennial grasses and shrubs from the landscape, leading to a rising water table that brings salt to the surface. Salinity affects pasture productivity by reducing groundcover which can increase erosion. Salts entering dams make the water more saline, less drinkable for stock, and unproductive for irrigation. Drinking water for livestock should not contain more than 4000 mg/l of total dissolved salt for cattle and 5000mg/l for sheep.

Indicators of salinity include crystal clear water in your dams (dissolved salts settle clay particles), and salt scalds and invasion by salt tolerant plants on your paddocks. Planting deep-rooted perennials and trees in the catchment area of your dam will help control salinity and improve water quality.

For more information about identifying, managing and treating salinity, contact your local catchment management authority or Department of Primary Industries on 1800 808 095.

Soil erosion

Muddy dam water may indicate that erosion is occurring in your dam catchment. Erosion happens when water flows across the ground, moving soil particles and carrying away topsoil. Paddocks with poor vegetation cover or bare soil are particularly susceptible to erosion. Erosion in the catchment can lead to soil washing into your dam causing siltation and turbid water. Muddy water is less palatable for livestock and a problem for irrigation as it can block pipes and pumps. A dam which is collecting silt and other sediment will have less water holding capacity. It will also increase farm management costs over time for dredging and de-silting.

Sediment build-up can also be caused by poor farming techniques or intensive farming close to the drainage lines that feed into your farm dam. Within cropping paddocks, avoid cultivation or soil disturbance in drainage lines and watercourses that lead into your dams. Ensure there is a vegetated buffer with good groundcover between crops and drainage lines. Also avoid directly disturbing, ploughing or spraying drainage lines and depressions to help retain ground cover and minimise sediment entering your farm dam. You can restore eroding areas using revegetation and other techniques.

For advice about rehabilitating eroding areas, contact your local catchment management authority.



A reasonably well maintained farm dam with good groundcover and no trees on the dam wall. But there is some erosion occurring under the shade trees which are close to the dam. Fencing out eroding areas assists revegetation and improves water quality.

Key Issues

Dam Maintenance



A well managed dam and its adjacent catchment zones should need little maintenance. Regularly check your dam for problems such as algae, aquatic weeds and sediment to identify issues arising in the catchment which may need to be managed.

Animals such as wombats and rabbits can burrow into dam walls leading to the wall failing. Other feral animals such as wild pigs and goats can also have an adverse effect on water quality. Feral pigs will wallow in water if not restricted and can cause major issues. You may need to exclude or control these species if this happens.



You may need to dredge or de-silt farm dams that have high amounts of sediment. It is often best to do this during drought when the dam is dry. Temporary sediment stockpiles should be placed away from the spillway and filter zone of the dam, and other drainage lines or depressions. They should also be protected with a sediment fence on the downslope edge. If you reapply the sediment across your paddocks, it should be thinly spread over well-covered pasture. Alternatively, sediment from the dam can be added to the wall as reinforcement.

For help and advice about repairing damaged or leaking dams, contact your local catchment management authority office.

For advice about managing feral animals, contact the Department of Primary Industries or your local Livestock Health and Pest Authority office.

More Information



Primefacts cover a wide range of topics and are available online from the Department of Primary Industries website:

www.dpi.nsw.gov.au/

The **Grow me instead** website lists alternative plant choices to replace invasive plants:

www.growmeinstead.com.au

To find out more about which weeds pose the greatest threat to your property visit:

www.weeds.org.au/

The publication *Wildlife on Farms* (CSIRO Publishing) has a section about managing farm dams for wildlife and also has information about specific frog species that may inhabit dams.

Landholder Grants

There are many grant opportunities available to help better manage your farm. Talk to your local catchment management authority office who will have a full list of grant funding opportunities.

Grants are also available to pay for attendance at FARMREADY approved courses. Visit www.farmready.gov.au or call **1800 087 670**.

Landcare

Landcare is a voluntary community movement that conducts natural resource management activities. If you are interested in joining landcare, contact your local catchment management authority about groups in your area.

Land Management Courses

There is a full list of courses run by the Department of Primary Industries at: www.dpi.nsw.gov.au/agriculture/profarm/courses

Courses available in Sydney Drinking Water Catchments are listed at: www.sca.nsw.gov.au/the-catchments/sustainable-grazing-program

A few are outlined below:

PROGRAZE™ - provides skills for participants to assess pasture characteristics influencing pasture and animal production and to assess groundcover. Participants also learn to develop pasture and livestock management plans. Landholders in the Tablelands and Southern Highlands of NSW can call: **(02) 4828 6600**

LANDSCAN™ - a course to help farm managers interpret landscapes and soil testing for sustainable farm management. Landholders within the Tablelands and Southern Highlands of NSW can call: **(02) 4828 6600**

Property management planning (PMP) for natural resource management - A course for land managers and farming families interested in natural resource management for sustainable farm production. For details in the Sydney Basin call: **(02) 4640 6333**

Greening Australia also runs courses. For details visit: www.greeningaustralia.org.au

Contact Agencies

Hawkesbury-Nepean Catchment Management Authority

Phone: (02) 4828 6747
Web: www.hn.cma.nsw.gov.au

Department of Primary Industries

Phone: 1800 808 095
Web: www.dpi.nsw.gov.au

Livestock Health and Pest Authority (Central Tablelands)

Phone: (02) 6331 1377
Web: www.lhpa.org.au

Livestock Health and Pest Authority (Cumberland)

Phone: (02) 4655 9165
Web: www.lhpa.org.au

Soil Conservation Service

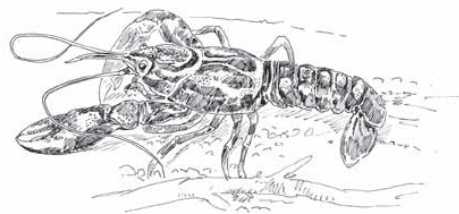
Phone: (02) 8836 5350
Web: www.scs.nsw.gov.au

Southern Rivers Catchment Management Authority

Phone: (02) 4224 9700
(Wollongong Office)
(02) 4842 2594
(Braidwood Office)
Web: www.southern.cma.nsw.gov.au

Sydney Catchment Authority

Phone: 1300 722 468
Web: www.sca.nsw.gov.au



Acknowledgements

This publication has been produced by the Hawkesbury-Nepean Catchment Management Authority in collaboration with the Sydney Catchment Authority and Department of Primary Industries. Agencies and groups contributing towards this handbook include: Southern Rivers Catchment Management Authority, Office of the Hawkesbury-Nepean and Greening Australia.

We gratefully acknowledge Greening Australia for its permission and support to use concepts and text from the Trees at Work publication.

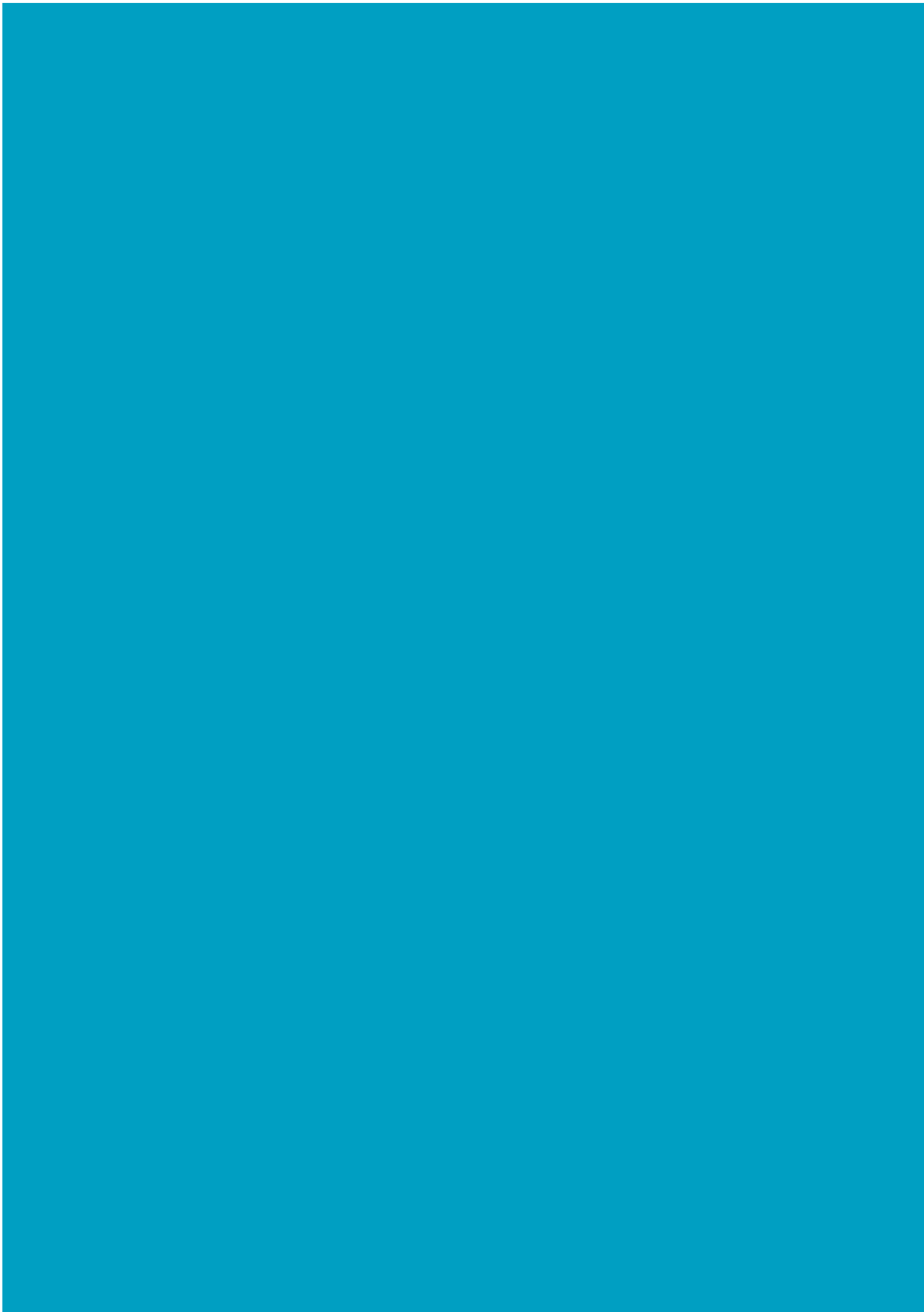
Preparation of the handbook was funded by the NSW Environmental Trust and Sydney Catchment Authority.

Some information and concepts in this handbook have been sourced from the following publications:

- Greening Australia (1991) Trees at Work: Improving Your Farm Dam.
- Hawkesbury-Nepean Catchment Management Trust (1996). Focus on Farm Dams: Protecting and Enhancing your Existing Farm Dam in the Hawkesbury-Nepean Catchment.
- Industry & Investment NSW (2009). Sustainable Land Management Practices for Graziers: Best Management Practices for Grazing in the Tablelands and Southern Highlands of NSW.

Other Reading

- Lindenmeyer, D., Claridge, A., Hazell, D., Michael, D., Crane, M., MacGregor, C., and Cunningham, R. 2003. Wildlife on Farms. CSIRO Publishing, Collingwood, Victoria.
- Mount Lofty Ranges Catchment Program and Environment Protection Agency, Department for Environment, Heritage and Aboriginal Affairs Government of South Australia. (undated). Farm Dams. WaterWise No.5
- NSW Primary Industries (2006). Fish in Farm Dams. Primefact 89, 3rd Edition.
- Parks and Wildlife Service Tasmania (2003). Farm Dams and Waterbirds.





Appendix.12 Fauna, Reptile, Bird and Mammal Lists within 5km of site

Amphibians List within 5km from 65 Wattle Gully Road, Mt Glasgow (Source: ALA)

Species Name	Vernacular Name	Number of records	EPBC Act Threatene	Victoria : Conservation Status
<i>Crinia parinsignifera</i>	Eastern Sign-bearing Froglet	94		
<i>Limnodynastes dumerilii</i>	Eastern Banjo Frog	59		
<i>Limnodynastes tasmaniensis</i>	Spotted Marsh Frog	51		
<i>Crinia signifera</i>	Common Froglet	51		
<i>Litoria ewingii</i>	Brown Tree Frog	35		
<i>Litoria peronii</i>	Peron's Tree Frog	31		
<i>Litoria raniformis</i>	Southern Bell Frog	12	Vulnerable	Vulnerable
<i>Limnodynastes peronii</i>	Striped Marsh Frog	5		
<i>Neobatrachus sudellae</i>	Sudell's Frog	2		

Bird list within 5km of 65 Wattle Gully Road, Mt Glasgow (Source: ALA)

Species Name	Vernacular Name	Number of records	Victoria : Conservation S	Japan-Australia Mig	EPBC Act Threatened Species
<i>Acanthagenys rufogularis</i>	Spiny-cheeked Honeyeater	1			
<i>Acanthiza (Acanthiza) pusilla</i>	Brown Thornbill	199			
<i>Acanthiza (Geobasileus) chrysorrhoa</i>	Yellow-rumped Thornbill	170			
<i>Acanthiza (Geobasileus) reguloides</i>	Buff-rumped Thornbill	343			
<i>Acanthiza (Subacanthiza) lineata</i>	Striated Thornbill	124			
<i>Acanthiza (Subacanthiza) nana</i>	Yellow Thornbill	49			
<i>Acanthorhynchus tenuirostris</i>	Eastern Spinebill	26			
<i>Accipiter (Leucospiza) fasciatus</i>	Brown Goshawk	90			
<i>Accipiter (Paraspizias) cirrocephalus</i>	Collared Sparrowhawk	16			
<i>Acridotheres tristis</i>	Common Myna	114			
<i>Acrocephalus (Acrocephalus) australis</i>	Australian Reed Warbler	38			
<i>Aegotheles (Aegotheles) cristatus</i>	Australian Owlet-nightjar	31			
<i>Alauda arvensis</i>	Eurasian Skylark	143			
<i>Anas (Anas) platyrhynchos</i>	Common Mallard	6			
<i>Anas (Anas) superciliosa</i>	Pacific Black Duck	226			
<i>Anas (Nettion) castanea</i>	Chestnut Teal	80			
<i>Anas gracilis</i>	Grey Teal	218			
<i>Anhinga novaehollandiae</i>	Australasian Darter	12			
<i>Anthochaera (Anellobia) chrysoptera</i>	Little Wattlebird	1			
<i>Anthochaera (Anellobia) lunulata</i>	Western Wattlebird	2			
<i>Anthochaera (Anthochaera) carunculata</i>	Red Wattlebird	831			
<i>Anthus (Anthus) novaeseelandiae</i>	Australian Pipit	196			
<i>Antigone rubicunda</i>	Brolga	106	Endangered		
<i>Aphelocephala leucopsis</i>	Southern Whiteface	50			Vulnerable
<i>Apus (Apus) pacificus</i>	Fork-tailed Swift	2		Listed	
<i>Aquila (Uroaetus) audax</i>	Wedge-tailed Eagle	161			
<i>Ardea alba</i>	Great Egret	51			
<i>Ardea intermedia</i>	Intermediate Egret	2			
<i>Ardea pacifica</i>	White-necked Heron	203			
<i>Artamus (Angroyan) cyanopterus</i>	Dusky Woodswallow	286			
<i>Artamus (Artamus) leucorhynchus</i>	White-breasted Woodswallow	4			
<i>Artamus (Campbellornis) personatus</i>	Masked Woodswallow	36			
<i>Artamus (Campbellornis) superciliosus</i>	White-browed Woodswallow	86			
<i>Aythya (Nyroca) australis</i>	Hardhead	24			
<i>Biziura lobata</i>	Musk Duck	9	Vulnerable		
<i>Botaurus poiciloptilus</i>	Australasian Bittern	1	Critically Endangered		Endangered

Council Meeting Agenda - Wednesday 17 December 2025

Bubulcus ibis	Cattle Egret	18			
Burhinus (Burhinus) grallarius	Bush Stone-curlew	3	Critically Endangered		
Cacatua (Cacatua) galerita	Sulphur-crested Cockatoo	158			
Cacatua (Licmetis) sanguinea	Little Corella	81			
Cacatua (Licmetis) tenuirostris	Long-billed Corella	506			
Cacomantis (Cacomantis) variolosus	Brush Cuckoo	1			
Cacomantis (Vidgenia) flabelliformis	Fan-tailed Cuckoo	59			
Calidris (Ereunetes) ruficollis	Red-necked Stint	3		Listed	
Calidris (Ereunetes) subminuta	Long-toed Stint	3		Listed	
Calidris (Erolia) acuminata	Sharp-tailed Sandpiper	19		Listed	Vulnerable
Calidris (Erolia) ferruginea	Curlew Sandpiper	5	Critically Endangered	Listed	Critically Endangered
Calidris (Erolia) melanotos	Pectoral Sandpiper	7		Listed	
Caligavis chrysops	Yellow-faced Honeyeater	267			
Callocephalon fimbriatum	Gang-gang Cockatoo	1	Endangered		Endangered
Carduelis carduelis	European Goldfinch	76			
Cereopsis novaehollandiae	Cape Barren Goose	1			
Chalcites basalis	Horsfield's Bronze-cuckoo	14			
Chalcites lucidus	Shining Bronze-cuckoo	13			
Chalcites osculans	Black-eared Cuckoo	26			
Charadrius (Charadrius) ruficapillus	Red-capped Plover	1			
Chenonetta jubata	Australian Wood Duck	277			
Chlidonias (Pelodes) hybrida	Whiskered Tern	27			
Chloris chloris	European Greenfinch	13			
Chroicocephalus novaehollandiae	Silver Gull	120			
Cincloramphus (Cincloramphus) cruralis	Brown Songlark	40			
Cincloramphus (Maclellannia) mathewsi	Rufous Songlark	67			
Cincloramphus timoriensis	Tawny Grassbird	19			
Cinclosoma (Cinclosoma) punctatum	Spotted Quail-thrush	1			
Circus approximans	Swamp Harrier	69			
Circus assimilis	Spotted Harrier	3			
Cisticola (Cisticola) exilis	Golden-headed Cisticola	31			
Cladorhynchus leucocephalus	Banded Stilt	3			
Climacteris (Climacteris) picumnus	Brown Treecreeper	437			
Colluricincla (Colluricincla) harmonica	Grey Shrike-thrush	592			
Columba (Columba) livia	Rock Dove	8			
Coracina (Coracina) novaehollandiae	Black-faced Cuckoo-shrike	349			
Coracina (Coracina) papuensis	White-bellied Cuckoo-shrike	32			

Mammals list within 5km radius from 65 Wattle Gully Road, Mt Glasgow (source:ALA)

Species Name	Vernacular Name	Number of records	Victoria : Conservation
<i>Antechinus flavipes</i>	Yellow-footed Antechinus	15	
<i>Lepus capensis</i>	Brown Hare	8	
<i>Macropus fuliginosus</i>	Western Grey Kangaroo	1	
<i>Macropus giganteus</i>	Eastern Grey Kangaroo	19	
<i>Ornithorhynchus anatinus</i>	Duck-billed Platypus	1	Vulnerable
<i>Oryctolagus cuniculus</i>	Rabbit	5	
<i>Ozimops planiceps</i>	South-eastern Free-tailed Bat	1	
<i>Petaurus breviceps</i>	Sugar Glider	4	
<i>Phascogale tapoatafa</i>	Brush-tailed Phascogale	27	Vulnerable
<i>Phascolarctos cinereus</i>	Koala	4	
<i>Rattus fuscipes</i>	Bush Rat	2	
<i>Tachyglossus aculeatus</i>	Short-beaked Echidna	7	
<i>Trichosurus vulpecula</i>	Common Brushtail Possum	3	
<i>Vulpes vulpes</i>	Fox	5	
<i>Wallabia bicolor</i>	Swamp Wallaby	7	

Reptile list within 5km radius of 65 Wattle Gully Road Mount Glasgow (Source: ALA)

Species Name	Vernacular Name	Number of records	EPBC Act Threatened Species
<i>Delma impar</i>	Striped Legless Lizard	7	Endangered
<i>Chelodina (Chelodina) longicollis</i>	Snake-necked Turtle	6	
<i>Tiliqua rugosa</i>	Shingle-back	3	
<i>Pseudonaja textilis</i>	Eastern Brown Snake	2	
<i>Lampropholis guichenoti</i>	Pale-flecked Garden Sunskink	2	
<i>Christinus marmoratus</i>	Marbled Gecko	2	
<i>Ctenotus robustus</i>	Robust Ctenotus	2	
<i>Notechis scutatus</i>	Tiger Snake	1	Vulnerable
<i>Varanus gouldii</i>	Gould's Goanna	1	
<i>Delma inornata</i>	Patternless Delma	1	
<i>Tiliqua scincoides</i>	Eastern Blue-tongue	1	

Council Meeting Agenda - Wednesday 17 December 2025

Corcorax melanorhamphos	White-winged Chough	402			
Cormobates leucophaea	White-throated Treecreeper	462			
Corvus coronoides	Australian Raven	488			
Corvus mellori	Little Raven	545			
Coturnix (Coturnix) pectoralis	Stubble Quail	34			
Coturnix ypsilophora		2			
Cracticus nigrogularis	Pied Butcherbird	1			
Cracticus torquatus	Grey Butcherbird	15			
Cygnus atratus	Black Swan	164			
Dacelo (Dacelo) novaeguineae	Laughing Kookaburra	245			
Daphoenositta (Neositta) chrysoptera	Varied Sittella	149			
Dendrocygna eytoni	Plumed Whistling-duck	5			
Dicaeum (Dicaeum) hirundinaceum	Mistletoebird	116			
Egretta garzetta	Little Egret	2			
Egretta novaehollandiae	White-faced Heron	299			
Elanus axillaris	Black-shouldered Kite	49			
Elseyornis melanops	Black-fronted Dotterel	28			
Entomyzon cyanotis	Blue-faced Honeyeater	23			
Eolophus roseicapilla	Galah	693			
Eopsaltria (Eopsaltria) australis	Eastern Yellow Robin	272			
Epthianura (Epthianura) albifrons	White-fronted Chat	117			
Erythronys cinctus	Red-kneed Dotterel	49			
Falco (Falco) longipennis	Australian Hobby	22			
Falco (Hierofalco) peregrinus	Peregrine Falcon	35			
Falco (Hierofalco) subniger	Black Falcon	9	Critically Endangered		
Falco (Ieracidea) berigora	Brown Falcon	264			
Falco (Tinnunculus) cenchroides	Nankeen Kestrel	77			
Falcunculus frontatus	Crested Shrike-tit	157			
Fulica atra	Eurasian Coot	109			
Gallinago (Gallinago) hardwickii	Latham's Snipe	73		Listed	Vulnerable
Gallinula (Gallinula) tenebrosa	Dusky Moorhen	42			
Gavialis virescens	Singing Honeyeater	6			
Gelochelidon macrotarsa	Australian Gull-billed Tern	1			
Geopelia placida	Peaceful Dove	16			
Gerygone fusca	Western Gerygone	7			
Gerygone olivacea	White-throated Gerygone	2			
Gliciphila melanops	Tawny-crowned Honeyeater	4			

Council Meeting Agenda - Wednesday 17 December 2025

Glossopsitta concinna	Musk Lorikeet	505			
Grallina cyanoleuca	Magpie-lark	477			
Grantiella picta	Painted Honeyeater	86	Vulnerable		Vulnerable
Grus rubicunda	Brolga	3			
Gymnorhina tibicen	Australian Magpie	925			
Haliaeetus (Pontoaetus) leucogaster	White-bellied Sea-eagle	40	Endangered		
Haliastur spheonurus	Whistling Kite	162			
Heteroscenes pallidus	Pallid Cuckoo	99			
Hieraaetus (Hieraaetus) morphnoides	Little Eagle	44	Vulnerable		
Himantopus himantopus	Black-winged Stilt	32			
Hirundapus caudacutus	White-throated Needletail	5	Vulnerable	Listed	Vulnerable
Hirundo (Hirundo) neoxena	Welcome Swallow	553			
Hydroprogne caspia	Caspian Tern	1	Vulnerable	Listed	
Hypotaenidia philippensis	Buff-banded Rail	5			
Ixobrychus dubius	Minute Bittern	2	Endangered		
Lalage (Lalage) tricolor	White-winged Triller	45			
Lathamus discolor	Swift Parrot	31	Critically Endangered		Critically Endangered
Lichenostomus melanops	Yellow-tufted Honeyeater	542			
Lophoictinia isura	Square-tailed Kite	24	Vulnerable		
Malacorhynchus membranaceus	Pink-eared Duck	60			
Malurus (Malurus) cyaneus	Superb Fairy-wren	754			
Manorina (Myzantha) melanocephala	Noisy Miner	441			
Melanodryas (Melanodryas) cucullata	Hooded Robin	48	Vulnerable		
Melithreptus (Eidopsarus) brevirostris	Brown-headed Honeyeater	268			
Melithreptus (Eidopsarus) gularis	Black-chinned Honeyeater	122			
Melithreptus (Melithreptus) lunatus	White-naped Honeyeater	175			
Melopsittacus undulatus	Budgerigar	4			
Merops (Merops) ornatus	Rainbow Bee-eater	29			
Microcarbo melanoleucos	Little Pied Cormorant	166			
Microeca (Microeca) fascians	Jacky Winter	190			
Milvus migrans	Black Kite	28			
Mirafr (Mirafr) javanica	Horsfield's Bushlark	26			
Myiagra (Myiagra) cyanoleuca	Satin Flycatcher	3			
Myiagra (Myiagra) rubecula	Leaden Flycatcher	5			
Myiagra (Seisura) inquieta	Restless Flycatcher	203			
Neochmia (Aegintha) temporalis	Red-browed Finch	74			
Neophema (Neonanolodes) chrysostoma	Blue-winged Parrot	15			Vulnerable

Neophema (Neonanodes) elegans	Elegant Parrot	2	Vulnerable		
Nesoptilotis leucotis	White-eared Honeyeater	55			
Ninox (Hieracoglaux) connivens	Barking Owl	1	Critically Endangered		
Ninox (Ninox) boobook	Southern Boobook	26			
Ninox (Rhabdoglaux) strenua	Powerful Owl	2	Vulnerable		
Numenius (Mesoscolopax) minutus	Little Curlew	6		Listed	
Nycticorax caledonicus	Nankeen Night-heron	6			
Nymphicus hollandicus	Cockatiel	9			
Ocyphaps lophotes	Crested Pigeon	158			
Oreoica gutturalis	Crested Bellbird	38	Endangered		
Oriolus (Mimeta) sagittatus	Olive-backed Oriole	100			
Oxyura australis	Blue-billed Duck	4	Vulnerable		
Pachycephala (Alisteroniis) rufiventris	Rufous Whistler	328			
Pachycephala (Pachycephala) pectoralis	Golden Whistler	195			
Pachycephala (Timixos) inornata	Gilbert's Whistler	4			
Pardalotus (Pardalotinus) striatus	Striated Pardalote	442			
Pardalotus (Pardalotus) punctatus	Spotted Pardalote	451			
Parvipsitta porphyrocephala	Purple-crowned Lorikeet	85			
Parvipsitta pusilla	Little Lorikeet	71			
Passer (Passer) domesticus	House Sparrow	114			
Pelecanus conspicillatus	Australian Pelican	32			
Peltohyas australis	Inland Dotterel	1	Vulnerable		
Petrochelidon (Hylochelidon) nigricans	Tree Martin	82			
Petrochelidon (Petrochelidon) ariel	Fairy Martin	68			
Petroica (Erythrodryas) rodinogaster	Pink Robin	1			
Petroica (Erythrodryas) rosea	Rose Robin	10			
Petroica (Littleria) phoenicea	Flame Robin	124			
Petroica (Petroica) boodang	Scarlet Robin	137			
Petroica (Petroica) goodenovii	Red-capped Robin	25			
Phalacrocorax (Phalacrocorax) carbo	Great Cormorant	32			
Phalacrocorax (Phalacrocorax) sulcirostris	Little Black Cormorant	22			
Phalacrocorax (Phalacrocorax) varius	Pied Cormorant	5			
Phaps (Phaps) chalcopetra	Common Bronzewing	167			
Phaps (Phaps) elegans	Brush Bronzewing	6			
Philemon (Microphilemon) citreogularis	Little Friarbird	2			
Philemon (Tropidornychus) corniculatus	Noisy Friarbird	11			
Phylidonyris (Melornis) novaehollandiae	New Holland Honeyeater	180			

Platalea (Platalea) regia	Royal Spoonbill	10			
Platalea (Platibis) flavipes	Yellow-billed Spoonbill	113			
Platycercus (Platycercus) elegans	Crimson Rosella	66			
Platycercus (Violania) eximius	Eastern Rosella	687			
Plegadis falcinellus	Glossy Ibis	17			
Podargus strigoides	Tawny Frogmouth	25			
Podiceps cristatus	Great Crested Grebe	2			
Poliiocephalus poliocephalus	Hoary-headed Grebe	25			
Pomatostomus (Morganornis) superciliosus	White-browed Babbler	341			
Poodytes gramineus	Little Grassbird	36			
Porphyrio (Porphyrio) porphyrio	Purple Swamphen	150			
Porzana (Porzana) fluminea	Australian Spotted Crane	24			
Psephotus haematotus	Red-rumped Parrot	343			
Ptilotula fusca	Fuscous Honeyeater	422			
Ptilotula ornata	Yellow-plumed Honeyeater	22			
Ptilotula penicillata	White-plumed Honeyeater	552			
Purnella albifrons	White-fronted Honeyeater	3			
Pyrrholaemus sagittatus	Speckled Warbler	34	Endangered		
Recurvirostra novaehollandiae	Red-necked Avocet	4			
Rhipidura (Howeavis) rufifrons	Rufous Fantail	3			
Rhipidura (Rhipidura) albiscapa	Grey Fantail	425			
Rhipidura (Sauloprocta) leucophrys	Willie Wagtail	576			
Rostratula australis	Australian Painted Snipe	13	Critically Endangered		Endangered
Sericornis (Sericornis) frontalis	White-browed Scrubwren	10			
Smicromis brevirostris	Weebill	440			
Spatula querquedula	Garganey	1	Listed		
Spatula rhynchotis	Australasian Shoveler	55	Vulnerable		
Spilopelia chinensis	Spotted Turtle-dove	2			
Stagonopleura (Stagonopleura) guttata	Diamond Firetail	36	Vulnerable		Vulnerable
Stictonetta naevosa	Freckled Duck	3	Endangered		
Stipturus malachurus	Southern Emu-wren	1			
Strepera (Neostrepera) versicolor	Grey Currawong	179			
Strepera (Strepera) graculina	Pied Currawong	2			
Sturnus (Sturnus) vulgaris	Common Starling	263			
Sugomel niger	Black Honeyeater	17			
Synicicus ypsilophora	Brown Quail	24			
Tachybaptus novaehollandiae	Australasian Grebe	65			

Tadorna (Casarca) tadornoides	Australian Shelduck	97			
Taeniopygia guttata	Zebra Finch	7			
Threskiornis moluccus	Australian White Ibis	160			
Threskiornis spinicollis	Straw-necked Ibis	185			
Todiramphus (Todiramphus) sanctus	Sacred Kingfisher	52			
Tribonyx ventralis	Black-tailed Native-hen	50			
Tringa (Glottis) nebularia	Common Greenshank	10	Endangered	Listed	Endangered
Tringa (Rhyacophilus) glareola	Wood Sandpiper	15	Endangered	Listed	
Tringa (Rhyacophilus) stagnatilis	Marsh Sandpiper	4	Endangered	Listed	
Turdus merula	Eurasian Blackbird	60			
Turnix (Alphaturnia) velox	Little Button-quail	3			
Turnix (Austroturnix) varius	Painted Button-quail	17			
Vanellus (Lobipluvia) miles	Masked Lapwing	240			
Vanellus (Lobivanellus) tricolor	Banded Lapwing	4			
Zanda funerea	Yellow-tailed Black-cockatoo	18			
Zapornia pusilla	Bailton's Crane	1			
Zapornia tabuensis	Spotless Crane	19			
Zosterops lateralis	Silvereye	87			



Appendix.13 References

References

Addison.G March 2024, What's the ROI on biodiversity, <https://www.linkedin.com/pulse/whats-roi-biodiversity-addison-goh-iefdc/>

Agriculture Victoria 1996-2025 *Sodosols*,
https://vro.agriculture.vic.gov.au/dpi/vro/wimreg.nsf/pages/natres_soil_sodosols#:~:text=Soil%20Management%20Issues&text=Sodic%20soils%20often%20exhibit%20poor,hardsetting%20and%20crusty%20when%20dry

Australian Government, nd, Consultation Document on Listing Eligibility and Conservation Actions (Callocephalon fimbriatum (Gang Gang Cockatoo)
<https://www.dcceew.gov.au/sites/default/files/env/consultations/eobao86c-5302-4113-af38-9789061e910d/files/consultation-document-callocephalon-fimbriatum.pdf>

Australian Government 23 July 2024, Department of Agriculture, Fisheries and Forestry-National Soil Strategy, <https://www.agriculture.gov.au/agriculture-land/farm-food-drought/natural-resources/soils#:~:text=The%20National%20Soil%20Strategy%20is,The%20strategy's%203%20goals%20are:>

Australian Government Department of Sustainability, Environment, Water, Population and Communities 2012, *Grey Box (Eucalyptus macrocarpa) Grassy Woodlands and Derived Native Grasslands of South-Eastern Australia: A guide to the identification, assessment and management of a nationally threatened ecological community Environment Protection and Biodiversity Conservation Act 1999*, [https://www.agriculture.gov.au/sites/default/files/documents/grey-box-booklet.pdf#:~:text=The%20Grey%20Box%20\(Eucalyptus%20microcarpa\)%20Grassy%20Woodlands,ecological%20community%20listed%20under%20national%20environment%20law.&text=Grey%20Box%20Grassy%20Woodlands%20usually%20occur%20in,and%20rises%20C%20oor%20occasionally%20in%20drainage%20depressions](https://www.agriculture.gov.au/sites/default/files/documents/grey-box-booklet.pdf#:~:text=The%20Grey%20Box%20(Eucalyptus%20microcarpa)%20Grassy%20Woodlands,ecological%20community%20listed%20under%20national%20environment%20law.&text=Grey%20Box%20Grassy%20Woodlands%20usually%20occur%20in,and%20rises%20C%20oor%20occasionally%20in%20drainage%20depressions)

Belbin L, Wallis E, Hobern D, Zerger A (2021) The Atlas of Living Australia: History, current state and future directions. *Biodiversity Data Journal* 9: e65023. <https://doi.org/10.3897/BDJ.9.e65023>.

Cerdi 2025, Visualising Australias Soils, <https://data.soilcrc.com.au/map>

Commonwealth of Australia 2012, *Grey Box (Eucalyptus microcarpa) Grassy Woodlands and Derived Native Grasslands of South-Eastern Australia: A guide to the identification, assessment and management of a nationally threatened ecological community Environment Protection and Biodiversity Conservation Act 1999*, Department of Sustainability, Environment, Water, Population and Communities, GPO Box 787, Canberra, ACT

Conservation Biology of Freshwater Turtles and Tortoise4s November 2009, *Chelodina longicollis* (Shaw 1794)- Eastern Long-Necked Turtle, Common Long-necked Turtle, Common Snake-Necked Turtle. https://iucn-tftsg.org/wp-content/uploads/file/Accounts/crm_5_031_longicollis_v1_2009.pdf

Costello.R.T May 1981, Preliminary Land Capability Study in the Shire of Talbot/Clunes,
[https://vro.agriculture.vic.gov.au/dpi/vro/nthcenreg.nsf/pages/nthcen_landform_talbot_clunes_pdf/\\$FILE/fp_toc.pdf](https://vro.agriculture.vic.gov.au/dpi/vro/nthcenreg.nsf/pages/nthcen_landform_talbot_clunes_pdf/$FILE/fp_toc.pdf)

Council Meeting Agenda - Wednesday 17 December 2025

Department of Agriculture, Water and the Environment (nd), Conservation Advice for *Callocephalon fimbriatum* (Gang-gang Cockatoo)

Department of Energy, Environment and Climate Action, 2023, *Naturekit*,
<https://maps2.biodiversity.vic.gov.au/Html5viewer/index.html?viewer=NatureKit>

Department of Energy, Environment and Climate Action 2025, Bioregion and EVC Benchmarks,
<https://www.environment.vic.gov.au/biodiversity/bioregions-and-evc-benchmarks>

Department of Transport and Planning 6 May 2025, *LASSI-Land Survey and Spatial Information*.
<https://maps.land.vic.gov.au/lassi/>

EPA Victoria 4 May 2021, How to control erosion and sediment from your business,
<https://www.epa.vic.gov.au/for-business/find-a-topic/erosion-and-sediment/advice-for-businesses/controls>

FAO. 2024. Global status of salt-affected soils – Main report. Rome.
<https://doi.org/10.4060/cd3044en>

Google Earth 1.8.2023, 65 Wattle Gully Road, Mount Glasgow, 37°12'53.85"S, 143°44'47.47"E, elevation 289m. 2D map, viewed 7 May 2025, <http://www.google.com/earth/index.htm>

Greening Australia 2006, *Salt tolerant plants of the Western District Ramsar Lakes*, Greening Australia.

Harwood.D Oct 2024, Geotechnical Assessment for 65 Wattle Gully Road, Mount Glasgow, Victoria, AGR Geosciences Pty Ltd, Reference No: 24H1056GTA

Landchecker, nd, Landchecker, <https://app.landchecker.com.au/property/VIC-422611073/info>

Maria Nahin Oishy, Nigar Ahmmad Shemonty, Sadia Islam Fatema, Sadika Mahbub, Ebadunnahar Lukhna Mim, Maimuna Binte Hasan Raisa, Amit Hasan Anik Jan 2025, Unravelling the effects of climate change on the soil-plant-atmosphere interactions: A critical review,
<https://www.sciencedirect.com/science/article/pii/S2949919425000032>

Menkhorst P, Rogers D, Clarke R, Davies J, Marsack P & Franklin K (2017) *The Australian Bird Guide*. CSIRO Publishing, Clayton, South Victoria.

NCCMA, 2025, The Regional Catchment Strategy-Themes,
<https://northcentral.rcs.vic.gov.au/themes/>

North Central Catchment Management Authority nd, Pobblebon-Limnodynastes dumerili,
https://www.nccma.vic.gov.au/media/documents/nccma-10434-pobblebonk_fact_sheet.pdf

Visualising Victoria's Groundwater." (internet data portal). Centre for eResearch and Digital Innovation, Federation University Australia, Mt Helen, Ballarat, Victoria. Retrieved 16/04/2025, from: <https://www.vvg.org.au>.

OFFICIAL



GMW Ref: PP-25-00607
Doc ID: A5486713

Central Goldfields Shire Council
Planning Department
mail@cgoldshire.vic.gov.au

26 August 2025

Dear Sir and/or Madam,

Planning Permit Application - Dwelling

Application No: 035-25
Applicant: NR Links Pty Ltd C/- [REDACTED]
Location: 65 Wattle Gully Road MOUNT GLASGOW VIC 3371
V 9394 F 208 Lot 2 Plan 126149

Thank you for your letter and information received on 31 July 2025 in accordance with Section 55 of the Planning and Environment Act 1987.

Goulburn-Murray Water's (GMW) areas of interest are surface water and groundwater quality, use and disposal. GMW requires that development proposals do not impact detrimentally on GMW's infrastructure and the flow and quality of surface water and groundwater. Applicants must ensure that any required water supplies are available from an approved source.

GMW understands that the applicant is seeking planning permission for a dwelling. The property is zoned RCZ and comprises of ~4ha. The property is located in the Loddon River (Laanecoorie) Special Water Supply Catchment (SWSC) area and subject to the SMO, EMO and BMO. A waterway exists immediately south of the subject site alongside the road, and two drainage lines which discharge into this waterway cross the site. A dam exists in the south-eastern corner of the site, and a dam exists on the property to the west of the site.

Land Capability Assessment (LCA) Report No. 24H1055LCA completed by AGR Geosciences (Dated 13/09/24) was submitted with the application, which provides a comprehensive assessment of the risks and constraints of the site, including: buffer distances, high rainfall, drainage and stormwater issues, landslip, rocky outcrops, slope, vegetation cover of site, and soil features. The LCA recommends advanced secondary treatment (10/10/10) with application to the land via sub-surface irrigation.

The LCA references the superseded EPA Code of Practice EPA 891.4 (2016) throughout. In May 2024, the EPA Guideline for Onsite Wastewater Management (GOWM) and Guideline for Onsite Wastewater Effluent Dispersal and Recycling Systems (GOWEDRS) were released by the EPA. These two documents replace the EPA Code of Practice: On-site wastewater management, Publication 891.4, July 2016. The GOWM outlines a two-tiered risk-based approach to managing onsite wastewater management systems in order to minimise the risks to human health and the

PO Box 165 Tatura Victoria 3616 Australia

reception@gmwater.com.au

1800 013 357

www.gmwater.com.au



ABN: 46 761 336 846

- 1 -

OFFICIAL

environment. In conjunction with the GOWEDRS (which provides technical advice), the GOWM gives guidance on how to meet obligations under the Environment Protection Act 2017 (EP Act) and Environment Protection Regulations 2021 (EP Regulations) in relation to Onsite Wastewater Management Systems (OWMS).

Table 4-10 of the GOWM sets out setback distances that may be applied to OWMS under a Tier 1 approach. For surface waters including waterways located within a SWSC the setback is 100m with no reduction for secondary (or advanced secondary) treatment. The LCA proposes the land application ~50m setback from the waterway immediately south of the site. Furthermore, it is unclear whether the Tier 1 setback of 30m from the neighbouring dam to the west can be achieved.

As the Tier 1 setbacks are not proposed for this site, they will need to be varied with a risk and performance-based approach to determine appropriate alternative setback distances and to demonstrate that the risk to human health and environment has been minimised as far as reasonably practicable.

As a statutory referral authority in accordance with the Planning and Environment Act 1987, GMW must fully understand the Guidance and risk and performance-based assessment when making decisions regarding Onsite Wastewater Management Systems (OWMS) to minimise risk of harm to human health and the environment. GMW must determine whether the setback reductions proposed by the Applicant are sufficiently justified having regard to the two-tiered approach set out in the Guidance, and whether the risks can be appropriately managed by the proposal.

Therefore, before GMW can fully consider this proposal, a Tier 2 assessment as outlined in the EPA Guideline for Onsite Wastewater Management (May 2024) and Guideline for Onsite Wastewater Dispersal and Recycling Systems (May 2024) is required. This should be undertaken in accordance with the relevant Australian Standards as set out in the GOWM and the GOWEDRS.

When assessing a request to vary the setback distances, councils may consider the following:

- Evidence has been provided (for example, a comprehensive LCA) that demonstrates the risk to human health and the environment is minimised so far as reasonably practicable, despite the reduced setback distance. Table 4-11 sets out site constraint risk factors that can be used to justify the reduced setback distance to the council. These risk factors are adapted from Table R2 in AS/NZS 1547:2012.
- The potential impact of nutrients from the proposed OWMS, and the cumulative impact of other existing OWMS in the area can be properly managed and the risk is minimised.
- System failure usually occurs under wet conditions when the soil is saturated. Consequently, any assessment of a reduction to setback distances should consider the cumulative impacts of multiple systems failing during wet weather, including minimising the risk of the cumulative impacts.
- Where a request is to vary setback distances to a waterway in a special water supply catchment area, additional controls should be considered, such as.
 - Wastewater is treated to an appropriate secondary standard.
 - A maintenance and service contract are in place with a service technician accredited by the manufacturer.
 - Additional engineering controls are implemented to minimise the risk to human health and the environment.
 - A compliance program is in place or can be put in place to ensure the system functions as designed.

PO Box 165 Tatura Victoria 3616 Australia

reception@gmwater.com.au

1800 013 357

www.gmwater.com.au

ABN: 46 761 336 846

- 2 -

OFFICIAL

The Guidance recognises that while risk management is inherent to the selection and design process, there may be sites and situations where additional assessment or control measures will be required. One consideration is ongoing maintenance and monitoring for OWMS which require a high level of maintenance and monitoring to avoid system failure and potential impacts to dams/waterways, along with the constraining factors of the site associated with the SMO and EMO..

In summary, Goulburn-Murray Water requires the following information prior to further assessment of this application:

- An updated LCA with a Tier 2 assessment (which is a quantitative and weighted risk and performance based assessment) as outlined in the EPA Guideline for Onsite Wastewater Management (May 2024) and Guideline for Onsite Wastewater Effluent Dispersal and Recycling Systems (May 2024) is required. This should be undertaken in accordance with the relevant Australian Standards as set out in the GOWM and the GOWEDRS.

If you require further information please e-mail propertyservices@gmwater.com.au or contact 1800 013 357.

Yours sincerely

[REDACTED]

STATUTORY PLANNING PARTNERS

Assessing Officer: [REDACTED]



7.5 D022-23 – 3280 Pyrenees Highway, Carisbrook

Author: Coordinator Statutory Planning

Responsible Officer: General Manager Infrastructure Assets and Planning

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to present to Councillors the assessment of Planning Permit Application 022-23 for the use and development of land for a Class B broiler farm accommodating up to 400,000 birds, and a caretaker's house with associated buildings and works at 3280 Pyrenees Highway, Moolort.

Notice of the application was given as the proposal is classified as a Class B broiler farm under the Victorian Code for Broiler Farms 2009 (as amended in 2018). As a result, fifty-six (56) objections and two (2) neutral submissions have been received.

The application has been assessed against all relevant matters that the Responsible Authority must consider under section 60 of the Planning and Environment Act 1987.

RECOMMENDATION

That Council, as the responsible authority and pursuant to section 61 of the Planning and Environment Act 1987, decides to grant a permit subject to conditions and issue a Notice of Decision to Grant a Permit in respect of planning permit application no. 022-23 for the use and development of the land for a Class B broiler farm for up to 400,000 birds and a caretakers house with associated buildings and works at 3280 Pyrenees Highway, Moolort. The following conditions will apply to this permit:

Amended plans required

1. Before the development starts, amended plans to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the plans will be endorsed and then form a part of this permit. The plans must be generally in accordance with the submitted plans, but modified to include each of the following:
 - a. Amendments necessary for consistency with the Landscaping Plan endorsed under condition 8.
 - b. A materials schedule that includes suitably muted and non-reflective materials and colour finishes for all buildings (excluding roofs of the broiler sheds) and silos.
 - c. Details of the internal access track including width and construction methods.
 - d. Locations of biosecurity fencing and gates and signs.
 - e. Location and orientation of floodlighting and/or security lighting and lighting baffles.
 - f. Details of the retention dam layout and spillway.
 - g. The area(s) set aside for vehicle parking including dimensions of parking spaces.
 - h. Design details and cross sections of the storage dam and vegetated swales.
 - i. Removal of the dead bird composting pad and location of dead bird freezers.
 - j. Application material be consolidated and revised to consistently present the proposed farm class and capacity in bird numbers for the purpose of clarity.
 - k. Revise the application materials to address all the Elements, Objectives, Standards and Approved Measures of the *Victorian Code for Broiler Farms 2009 (Plus 2018*

Amendments), that follows the structure as set out in the code, in line with the requirements of Clause 53.09 Poultry Farm.

- l. Show the finished floor level for each shed.
- m. Show dimensions for the energy centre building.
- n. External cladding materials and colour finishes for the caretaker's house.

Layout not altered

- 2. The layout of the site and size of the buildings and works, as shown on the approved endorsed plans must not be altered or modified without the consent in writing of the responsible authority. Any substantive changes, in the opinion of the responsible authority, will require a new application and permit.

Compliance with endorsed plans

- 3. The use and development hereby permitted must at all times be carried out in accordance with the documents endorsed under condition 1 to the satisfaction of the responsible authority.

Broiler farm use must cease

- 4. If the broiler farm use ceases, the caretaker's house must be demolished or rendered uninhabitable to the satisfaction of the responsible authority within 3 months of the date the use ceases.
- 5. The use and development must at all times comply with *the Victorian Code for Broiler Farms 2009 (as amended 2018)* to the satisfaction of the responsible authority.

Maximum number of birds

- 6. The total number of birds in the sheds at any time must not exceed 400,000.

Environmental Management Plan

- 7. Before the broiler farm use starts, an amended Environmental Management Plan (EMP) for the operation of the broiler farm must be submitted to and be to the satisfaction of the responsible authority and Goulburn Murray Water. When approved by the responsible authority and Goulburn Murray Water, the EMP will be endorsed and then form part of this permit. The EMP must be amended to:
 - (a) Deletion of 'Environmental Protection (Vehicle Emission) Regulations 1992' in item 2.3.5 which have been repealed and replacement with relevant current regulations under the *Environment Protection Act 2017* (Vic).
 - (b) In item 4.1, increase the period after which audit documents may be destroyed to ten (10) years.
 - (c) Delete the composting of dead birds on site provide in item 2.9.8 and item 2.9.9 and instead make provision for the freezing of birds and removal from the site to the satisfaction of the responsible authority.
 - (d) Bird pick up trucks which are attending the land between 9.00pm and midday must have broadband reverse beepers.

- (e) No deliveries of feed are to occur between midnight and 7.00am, unless a feed delivery is required outside these hours for the welfare of the birds and is delivered at a time to the satisfaction of the responsible authority.
- (f) Any faulty fans are to be immediately decommissioned and are to be repaired within three (3) business days (unless otherwise agreed by the responsible authority.
- (g) Measures to ensure compliance with the Traffic Management Plan endorsed under condition 46 including information to be provided to drivers to ensure they follow the route required by the Traffic Management Plan.
- (h) Shed clean out must be carried out after 8.00am and before 4.00pm.
- (i) Litter stockpiling or spreading or disposal is not to occur on the land i.e. the whole of 3280 Pyrenees Highway Moolort.
- (j) Litter, dead birds, compost and other waste from other broiler farms is not to be accepted, disposed of, stockpiled on or spread on or over the land.

Any revision to the endorsed Environmental Management Plan must be submitted to and approved by the responsible authority and Goulburn Murray Water. When approved such revised Environmental Management Plan will be endorsed and will then form part of this permit.

Landscaping

8. Before any buildings and works start, a Landscape Plan must be submitted to and be to the satisfaction of the responsible authority. The Landscape Plan must be prepared by a person suitably qualified or experienced in landscape design to ensure substantial visual screening to the satisfaction of the responsible authority. When approved by the responsible authority, the revised Landscape Plan will be endorsed and then form part of this permit. The revised landscape plan must be amended to include:
 - (a) A reduction in the height of the buffer mounds to no more than one metre.
 - (b) The base of the mounds to be wider to facilitate plant growth.
 - (c) Locally indigenous plant and tree species.
 - (d) Increased buffer widths from 10m up to 40m for sensitive interfaces such as the rail reservation and Bald Hill Road.
 - (e) Landscape screening to the site boundaries and internal access track.
9. Before the use starts the landscaping shown on the approved landscape plan must be carried out and completed to the satisfaction of the responsible authority. Once completed the landscaped areas as shown on the endorsed plan(s) must not be used for any other purpose except with the prior written consent of the responsible authority.
10. At all times the landscaping shown on the approved landscape plan must be maintained (including the replacement of any dead, diseased or damaged plants) to the satisfaction of the responsible authority.
11. Before the development starts, a landscape performance bond to the satisfaction of the responsible authority must be established in accordance with approved measure E4 M1.8 of the Broiler Code.

Land capability

12. Before either use starts an amended Land Capability Assessment generally in accordance with the Land Capability Assessment prepared by Provincial Geotechnical Pty Ltd (v1) and dated 4 April 2024 must be submitted to and approved by the responsible authority. It must address:

- (c) The broiler farm operation and impact on land capability to ensure the General Environmental Duty provisions (Section 25) of the *Environment Protection Act 2017* can be satisfactorily met.
- (c) Planning Practice Note PPN55: Planning in open drinking water catchments, to ensure the proposed development will not have a detrimental impact on the open water drinking catchment.

The recommendations of the endorsed Land Capability Assessment, must be implemented to the satisfaction of the responsible authority.

Amenity

The amenity of the area must not be detrimentally affected by the use or development through any of the following:

- (a) Transport of materials, goods or commodities to or from the site.
 - (b) Appearance of any building works or materials. The land shall be kept orderly and tidy to the satisfaction of the responsible authority.
 - (c) Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, wastewater, waste products.
 - (d) The presence of vermin.
 - (e) Dust and particulate matter resulting from deliveries and pick-ups at and from the sheds. Each of paragraphs (a) to (e) must be to the satisfaction of the responsible authority.
13. All security alarms or similar devices installed on the land must be of a silent type in accordance with any current standard published by Standards Australia International Limited and be connected to a security service to the satisfaction of the responsible authority.
14. A biosecurity gate incorporating a truck wheel wash must be installed and used to the satisfaction of the responsible authority.
15. Litter trucks entering and leaving the land must be secured and covered to avoid dust emissions to the satisfaction of the responsible authority and trucks leaving the land must remain secured and covered until entering the land on which the litter is to be delivered or deposited.
16. External lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining land to the satisfaction of the responsible authority.

17. Noise emitted from the premises must not exceed the levels determined in accordance with the EPA Noise Limit and Assessment Protocol (EPA Publication 1826.4) or as amended. If any noise emissions exceed the levels determined in accordance with the EPA Noise Limit and Assessment and Assessment Protocol, external plant and equipment must be acoustically treated, as necessary, to the satisfaction of the responsible authority.
18. Before either use starts, a Noise Management Plan prepared by a suitably qualified acoustic consultant must be submitted to and approved by the responsible authority. The use must be carried out at all times in accordance with the approved Noise Management Plan.
19. Management of farm waste must be managed in accordance with EPA Publication IWRG641 Farm Waste Management June 2009 or as amended.
20. Stormwater contaminated with effluent must not be discharged beyond the boundary of the land.
21. Nuisance dust must not be discharged beyond the boundaries of the land.
22. If the responsible authority receives a written complaint from a person about the operation of the broiler farm that contains the following details:
 - (a) name of the person;
 - (b) the person's email address or telephone number;
 - (c) where the person was located when the person experienced the broiler farm operation that warranted the complaint;
 - (d) the date and time on which the person experienced the broiler farm operation that resulted in the complaint; and
 - (e) the nature and details of the complaint, including whether there is or has been a failure to comply with a condition of this permit or the Broiler Code, the responsible authority must give the broiler farm operator ('operator') a copy of the complaint.

The operator must, without delay, investigate the complaint in accordance with the Environmental Management Plan endorsed under condition 6 and take remedial action as may be required to comply with this permit and/or the Broiler Code.

The operator must also give the responsible authority a written report on when the complaint was investigated and the results of the investigation.
23. If the responsible authority considers that the operator's response to a complaint considered by the grower under condition 22 does not or has not satisfactorily addressed or resolved the complaint, the responsible authority may direct the operator to conduct a special audit in accordance with section 8 of the Broiler Code.
24. The broiler farm sheds and all feed stores must be vermin and bird proof to the satisfaction of the responsible authority.

25. All external lighting must be baffled to prevent the direct emission of light to the satisfaction of the responsible authority.
26. The use of chemicals in association with the use and development of the site must be in accordance with the endorsed EMP to the satisfaction of the responsible authority.
27. The permit holder must implement the approved Odour Environmental Risk Assessment (ERA) and maintain compliance with its recommendations.

Wastewater

28. Before construction of the caretaker's house, sheds, amenities building or any other structures starts, an Application for a Permit to Install Onsite Wastewater Management System must be submitted to and approved by Central Goldfields Shire Council.
29. All domestic wastewater from the caretaker's house and amenities building must be treated to a standard of at least 20mg/L BOD and 30mg/L suspended solids using a package treatment plant or equivalent. The system must have a certificate of conformity issued by the Conformity Assessment Body (or equivalent approval) and be installed, operated and maintained in accordance with the relevant Australian Standard and EPA Guideline for Onsite Wastewater Management.
30. All wastewater from the caretaker's house must be applied to land via pressure-compensating sub-surface irrigation.
31. All wastewater from the amenities buildings must be treated and disposed of using an onsite wastewater management system. The system must have a certificate of conformity issued by the Conformity Assessment Body (or equivalent approval) and be installed, operated and maintained in accordance with the relevant Australian Standards and Permit to Install Onsite Wastewater System conditions issued by the Council Environmental Health Officer.
32. The wastewater management system must be appropriately designed to manage the potential volume of wastewater generated under full occupancy (based on a minimum 4 bedrooms for the caretaker's house and minimum 5 personnel for the amenities building), including an appropriately sized disposal area based on a full water balance specific to the proposal and subject land in accordance with the requirements of the current EPA Guideline for Onsite Wastewater Management.
33. Stormwater must be diverted away from effluent disposal fields to the satisfaction of the responsible authority.

Monitoring and Reporting

34. Records of bird numbers, litter management and environmental monitoring must be kept and made available to the responsible authority upon request.

35. The broiler farm must be audited against the Broiler Code in accordance with the auditing requirements of the Broiler Code and must:

- (a) Assess compliance with the conditions on the planning permit and related endorsed plans.
- (b) Review the Environmental Management Plan (EMP) and associated contingency plans, operational and management practices relating to environmental performance and the management of environmental risk (including emergency response), and other measures to prevent or minimise environmental impacts.
- (c) Evaluate any improvements to the system since the EMP has been in place and confirm that the EMP adequately describes and documents improved management systems.
- (d) Evaluate the grower's response to any verified complaints

Infrastructure

36. Before development starts, the following conditions must be undertaken by the permit holder to the requirements and satisfaction of the responsible authority (alternative requirements may be approved, in writing, by Council's Infrastructure Department). The engineering plans must be in accordance with the Infrastructure Design Manual and will need to be approved by the responsible authority. They must include:

Road

- a. An internal road designed to all-weather condition and to withstand anticipated traffic.
- b. Drainage

- i. A Stormwater Management Strategy detailing all proposed stormwater quality works within the subject land during construction and operation of the broiler farm development must be submitted to and approved by the Responsible Authority prior to the commencement of any drainage works on site.
- ii. All stormwater and surface water drainage from the proposed buildings, hard standing areas, driveways and yards must be designed to be contained within the site and designed for storm water quality and quantity in accordance with the infrastructure design manual and to the satisfaction of the Responsible Authority.
- iii. No effluent or contaminated stormwater may enter the Council drainage system. All stormwater and surface water drainage from the proposed buildings, hard standing areas, driveways and yards is to be collected and discharged to the proposed retention dam on the development.

c. LUAA

- iv. Prior to any works on crown land, the responsible authority will need to conduct a Land User Activity Agreement assessment. If the outcome of the assessment deems that it is a 'Negotiation Activity', the applicant/property owner will need to negotiate with DJAARA and will need to pay for all costs associated with it prior to the commencement of works on crown land.

37. All works constructed or carried out must be in accordance with approved plans and completed to a standard satisfactory to the responsible authority prior to the commencement of use.

Road

38. The segment of internal road that passes through the crown land road reserve will need to be constructed to the satisfaction of the responsible authority. Once constructed, the applicant/property owner will be responsible for the upkeep of this portion of the road passing through the crown land.

Loading and Unloading

39. At all times the loading and unloading of vehicles and the delivery of goods to and from the site must always be undertaken entirely within the boundaries of the site and be so conducted as to cause minimum interference with other traffic to the satisfaction of the Responsible Authority.

41. The surface of parking and loading areas and access roads and lanes must be constructed to the specification and maintained to the satisfaction of the Responsible Authority to prevent dust and drainage run-off causing a loss of amenity to the site or broader area. All such surfaces and roads to be constructed to ensure all-weather use and access.

Waste Disposal

42. The treatment of waste and litter from the operation of the site is to be undertaken in accordance with the endorsed Environmental Management Plan.
43. No stockpiling of waste or litter is to occur on the site; all waste is to be disposed of off-site to the satisfaction of the responsible authority.
44. All waste pick-up vehicles/trucks are to be covered with secure covers, which are used to prevent dust or spillage of waste on departure from the site.

Access

45. All access is to be from Pyrenees Highway.
46. A Traffic Management Plan, prepared by a suitably qualified engineer, must be submitted and endorsed detailing access to and from the broiler farm site. These documents must detail heavy vehicle access (including but not limited to construction vehicles, livestock transport and litter transport) to and from the broiler farm site. Such access must be restricted to access directly to and from Pyrenees Highway and then only along pre-approved heavy vehicle route. This condition does not apply to the delivery of spent litter to land in the locality.
- a. Methods to mitigate the emission of dust particles from trucks such as the covering of loads.
 - b. Before any roadworks start, detailed construction plans must be submitted to and an application made to the Central Goldfields Shire Council and Consent for Works permit granted.

Department of Transport and Planning

- 47. There must only be a single access point from the subject land to the Pyrenees Highway as shown on the plans appended to the application.
- 48. The proposed farm (Farm 10) must utilise the existing access.
- 49. No new access will be permitted.

Goulburn Murray Water

- 50. All construction and ongoing activities must be in accordance with EPA Publication 1834.1 Civil Construction, Building and Demolition Guide (September 2023).
- 51. All domestic wastewater from the dwelling and amenities buildings must be treated and disposed of using an approved system. The system must have a certificate of conformity issued by the Conformity Assessment Body (or equivalent approval) and be installed, operated and maintained in accordance with the relevant Australian Standard and EPA Code of Practice.
- 52. All wastewater disposal areas must be located at least: 100m from any waterways, 40m from any drainage lines, 60m from any dams, and 20m from any bores.
- 53. The development must be undertaken in accordance with the requirements of the Victorian Code for Broiler Farms, 2009 (including 2018 amendments).
- 54. The broiler sheds must be located at least 50m from all waterways/drainage lines.
- 55. The floor of the sheds must be constructed with an impervious surface such as concrete or of clay compacted to achieve a design permeability of 1×10^{-9} m/sec. The shed must be designed to ensure that all litter can be retained within the shed until removal is required.
- 56. Contaminated litter removed from the sheds must be transported off site by an approved contractor to an approved site.
- 57. There must be no spent litter from the sheds stockpiled on the site. Any temporary storage areas for wet litter must have an impermeable base and bunding to ensure contaminated run-off does not discharge from the temporary storage area.
- 58. No land application of contaminated litter is to occur.
- 59. Stormwater and drainage from hard stand areas and the areas around the shed must be directed to a retention dam which must be designed with a capacity and freeboard to enable the run-off from a 1 in 10-year storm to be retained. Any overflow from the dam must not cause erosion. 11. The retention dam must be lined with an impervious liner and if clay is used it must be compacted to a seepage rate of not greater than 1×10^{-9}

m/sec. The dam must be operated to a minimum level to ensure the liner does not dry out and crack. There must be no overflow of water from the dam directed to any waterways.

- 60. All soil removed during construction of the dam must be reused, stabilized or vegetated on-site to ensure that no sediment can be transported off-site.
- 61. All dead birds must be disposed of off-site or managed on-site to the satisfaction of the Environment Protection Authority.
- 62. Any chemicals stored on-site must be kept in accordance with the EPA Publication 1698 Liquid Storage and Handling Guidelines (June 2018)

VicTrack Land

- 63. Prior to the commencement of the development, the owner must enter into a license agreement for access over VicTrack land.

All costs associated with implementation of the license agreement must be borne by the owner and at no cost to VicTrack

- 64. No drainage, effluent, waste, soil or other materials must enter, be stored or be directed to the railway land.

Interpretation

- 65. In this permit:

- a) 'Broiler Code' means the Victorian Code for Broiler Farms 2009 (Plus 2018 Amendments).
- b) 'litter' and 'spent litter' have the same meaning as in the glossary of the Victorian Code for Broiler Farms, 2009 (including 2018 amendments).
- c) 'composting' or 'compost' has the same meaning as 'composting' in the glossary of the Victorian Code for Broiler Farms, 2009 (including 2018 amendments).
- d) 'Contaminated litter' means litter contaminated with bird carcasses not managed with the mortality compost pad or with chemicals.
- e) 'complaint' includes the meaning of 'confirmed complaint' and 'likely complaint' in the glossary of the Victorian Code for Broiler Farms, 2009 (including 2018 amendments).
- f) 'stockpile' or 'stockpiled' has the same meaning as 'stockpile' in the glossary of the Victorian Code for Broiler Farms, 2009 (including 2018 amendments).
- g) 'Waterway' has the same meaning as in the glossary of the Victorian Code for Broiler Farms, 2009 (including 2018 amendments).

Expiry

66. This permit will expire if any of the following applies: -

- a) The use does not start within six (6) years of the date of this permit.
- b) The development of the first shed does not start within four (4) years of the date of this permit.
- c) The development of the final shed is not completed within six (6) years of the date of this permit.

In accordance with section 69 of the Planning and Environment Act 1987, an application may be submitted to the responsible authority for an extension of the periods referred to in this condition.

****** END OF CONDITIONS ******

Permit Notes:

- *Although the LCA has provided that a standard tank and trench system can be used, the LCA also mentions that the second layer of soil starting at approximately 200mm is category 5b and Emerson class rating of this soil layer is 2 (for limiting layer. If the soil when dug represents a poor water retention profile a higher treatment system with sub-surface irrigation is required.*
- *For wastewater management for the amenities building, given potentially low wastewater loading rates, a Standard Tank and Trench System shall be sufficient when constructed as per the recommendations of the LCA (should the applicant choose not to combine the wastewater management from two buildings into a single system.*
- *The Environment Protection Act 2017 imposes duties on individuals and/or businesses undertaking the activity permitted by the permit. If your business engages in activities that may give rise to a risk to human health or the environment for pollution or waste, you must understand those risks and take action to minimise them as far as reasonably practicable.*

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision:

Leading Change

- 4. Good planning, governance, and service delivery.
- 4. Transparent decision making.

Initiative:

Provide infrastructure to meet community needs

This report has been developed in accordance with the *Planning and Environment Act 1987* (the Act), the Central Goldfields Planning Scheme (the Planning Scheme), and the *Victorian Code for Broiler Farms 2009 (plus 2018 amendments)* (the Broiler Code).

REPORT

Proposal

The application proposes the use and development of the land for a Class B broiler farm for up to 400,000 birds and a caretaker's house with associated buildings and works at 3280 Pyrenees Highway, Moolort. Refer to Attachment 1: Proposed plans, Revision J. The applicant is Ian Hurse,

and the contact is Michael Vukadinovic of Pavilion Farms. The proposal is also known as Farm 10 and was accompanied by the following documents that formed the basis of the officer's assessment:

- Planning Report dated November 2024.
- Environmental Management Plan dated November 2024.
- Traffic Engineering Report, prepared by Traffix Group, dated June 2024.
- Odour Environmental Risk Assessment, prepared by GHD, dated 4 December 2024.
- Flora & Fauna Assessment, prepared by Mark Trengrove, dated October 2023.
- Land Capability Assessment, prepared by Provincial Geotechnology, dated 4 April 2024.
- Engineering Plans Revision J
- Landscape Plans dated 5 February 2023.
- Mortality Management Requirements prepared by Scolexia (undated or referenced).

Broiler sheds

Primarily, the proposal is for the construction of six broiler sheds that would house a maximum of 400,000 birds. The sheds are proposed to be 174m long by 25.5m wide with a total area each of 4,437m². The height of each shed will be 2.7m at the eaves with a maximum height of 4.8m at the ridgeline. Each shed will have a useable floor area of 4,222m². The total floor area will be 26,622m², with a total useable floor area of 25,332m². The permitted placement of 400,000 birds results in a density of 15.8 birds per square metre of floor space.

The floor of each shed will be constructed of 100mm thick reinforced concrete laid on a compacted clay pad of 50m². The floor level of each building will be constructed above the surrounding ground surface level as shown on the plans provided in Attachment 1. It is noted that although the shed elevation shows the existing surface, the plan is not dimensioned to show how far above natural ground level the floor shed is. It is considered this can be dealt with via an amended plan condition, should a permit issue.

The sheds will have a 150mm concrete dwarf wall with an above ground height of 150mm. Building walls above the concrete dwarf walls will be constructed of white 50mm fire retardant XFLAM panel. The roofs will be clad with zincalume. There will be exhaust fans on the southern end of the sheds and air inlets on the roof of sheds, but the sheds will be otherwise enclosed.

A ventilation and tunnel cooling system will control ventilation and temperature within the sheds. The ventilation process uses a bank of extractor fans located at one end of each shed which draw fresh air into the sheds. The air is drawn through the length of the shed via roof mounted air inlets and expended by the end wall exhaust fans. The number of fans in operation at any one time depends on the rate of air exchange required for the birds based on their age. Fresh air can also be drawn in with the 28 adjustable vents located along the roof of each shed in 2 lines, with equal separation between each of the roof inlets.

Heating of the sheds is controlled by hot water heaters maintained by a wood chip boiler, with LPG as a standby.

Ventilation, temperature and environment control will be automated with the use of a computerised control facility located in control rooms built adjoining each shed.

Water Pipeline

The proposed development requires the extension of a waterline from an existing waterline that currently serves the Pavilion Farms Farm 10 which is located to the south/east. The waterline extension will comprise a 150mm PVC pipe. The pipeline will include constructed on Lot 3 TP98420 as well as the subject site at Lot 6 LP98420, with both lots forming part of 3280 Pyrenees Highway.

Associated buildings and works

Associated buildings and works include:

- Nine (9) feed silos of approximately 9m high and 3.4m in diameter.
- An amenities building. Dimensions are not shown on the submitted plans, but should a planning permit issued this can form part of an amended plan condition.
- An energy centre building. Dimensions are not shown on the submitted plans, but should a planning permit issued this can form part of an amended plan condition.
- Three (3) water storage tanks and a water settling pond.
- An extension of an existing 150mm PVC water pipeline.
- Extension of an all-weather access road from Pyrenees Highway, currently serving Farm 8.
- A 10m landscape buffer to the north, south, east, and west of the buildings and works.
- No native vegetation is proposed to be removed.

Caretakers' houses

Further, it is proposed to a caretaker's house. This is proposed to house the farm manager and assistant manager, as staff are always required to be available. The caretaker's house is proposed to be located north/east of the sheds and will comprise four (4) bedrooms, two (2) bathrooms, a study and the usual living areas. A merbau deck is also proposed across the meals, kitchen and study rooms.

It has the appearance of an agricultural shed and is constructed of corrugated colourbond walls and roof and colourbond guttering. Colours are not provided on the elevations, but this can be suitably addressed with an amended plan condition requiring external cladding of muted tones, should a planning permit be issued.

Operational arrangements

The broiler farm will operate 24 hours a day, 365 days a year. It is expected that most work and traffic generation will be between 7am and 7pm on weekdays and 7am and 1pm on Saturdays.

Key operational activities of note include:

- Collection of birds for slaughter will generally occur at dark when they are asleep and largely inactive.
- The farm will be operated by 3 FTE staff with a further 2 EFT staff required between batches to clean out manure, wash sheds and prepare bedding and shed equipment for new birds.
- The farm manager is responsible for operations and will be primary contact with regards to management issues or if there are third party complaints.
- The production cycle is a growing period of approximately 7 weeks for each batch of birds.
- A period of approximately 14 days is required between batches to clean, sanitise and prepare the sheds for the next batch.
- There will be approximately 5.7 batches per year.
- Each shed will accommodate up to 66,666 birds.
- Feed for the birds will be kept in silos and delivered to the farm by enclosed delivery trucks. Feed is then distributed to the sheds by an enclosed auger system.
- The occasional spilt feed will be returned to feeding system to avoid access from rodents.
- Rodent control is maintained by the placement of rodent control boxes and baits as outlined in the Environmental Management Plan (EMP).
- Drinking water to the sheds is provided from a dam fed by water from Tullaroop Creek and piped to three (3) storage tanks with a capacity for approximately 1,000,000 litres.
- The above water tanks provide at least seven (7) days backup if there is a failure of water supply from the dam.
- Water is filtered and chlorinated into an automatic drinking system in the sheds, fitted with dripless drinking nipples and cups to provide added protection against moisture affecting

the litter. Cut-of devices are provided to the drinking nipples to ensure birds only get one drop of water every time they peck the nipples.

- Meters are used to gauge consumption and will alert farm management if consumption is outside predetermined levels.
- Chemicals comprising detergents and sanitisers will be stored in the generator/storeroom and are not considered hazardous.
- 3phase power will be connected.
- Shed floors are constructed of concrete and before the introduction of a new batch of birds the whole floor area will be covered in a layer of chopped straw.
- At the end of each batch the litter is removed and replaced with a new layer.
- Litter will not be stockpiled on site.
- The current farming operation involves the spreading of broiler manure and other fertilisers on the land, and this will continue.
- Used litter will also be transported to customer sites where the litter is stockpiled and spread to the land as a fertiliser.

Dead Bird Composting

- Dead birds to be removed from the sheds daily in a front-end loader and transferred to a dead bird composting site which the application states will be 100m from the nearest shed.
- The dead bird composting site is on an impermeable clay pad, included within a bund and elevated to prevent extraneous stormwater run-off from entering the compost site.
- Dead bird compost is to be retained on site and spread to the farm once mature. The compost is not proposed to be spread to land subject to flooding, sloping land, rocky or highly erodible land or highly permeable soils.
- The application states there will be no risk of nutrient run-off to waterways, surrounding land or groundwater.

Access

Access is proposed to be via a 6-metre-wide all-weather access track to be extended from an existing Pavilion Farms Broiler Farm (Farm 8) located at CA 145C, PP3155, 3280 Pyrenees Highway Moolort. The access road would pass on the east side of Farm 8 and head north and then west towards Farm 10.

Farm 8 has an existing approved entrance to the Pyrenees Highway that provides as right turn lane into the property.

The access track will be approximately 1.75km long. All the land between Farm 8 and 10 is owned by the applicant and comprises the following:

- CA 14A2 PP3155
- CA 14A1 PP3144
- Lot 4 TP98420
- Lot 3 TP98420

Landscaping

A Landscape Plan dated 13 September 2023 submitted with the application shows a landscaped 10m buffer around all sides of the sheds, except where it allows for vehicular access. The screened area also includes the ancillary structures such as the water tanks, generator room and energy centre.

The caretaker's house is located outside of this but is provided with a separate landscape screen.

The 16m separation areas between sheds will be grassed and the landscape plan notes this will reduce soil erosion and heat load on the ground.

The landscape buffer is more than 20m from the sheds and the planting density is to be 90 plants per 75 metres.

Elevations produced on the landscape plan do not show the height of the mounds but they are depicted at above half the height of the sheds, which would be approximately 2.4m, with trees planted on top, exceeding the height of the sheds by several metres.

The landscape plan does not show any landscaping around the property boundary or along the internal accessway.

Flora and Fauna

A Flora and Fauna Assessment prepared by Mark Trengrove Ecological Services and dated October 2023 was submitted with the application and is described later in this report.

The application does not propose to remove any native vegetation.

A field survey was conducted on 20 September 2023; records were taken of all indigenous vascular plant and dominant exotic plant species. Observations were made of the existing habitat value; a casual survey was undertaken of vertebrate fauna and vegetation was mapped.

Stormwater

The application states that stormwater is prevented from entering the sheds as the finished floor levels will be at least 0.5m above adjacent open earth drains between the sheds. Further protection is provided with concrete floors and the concrete dwarf walls. It is not anticipated that stormwater will come into contact with any waste materials.

All surface water flows will be directed via table drains to the proposed dam. The topography in the immediate vicinity of the proposed sheds is relatively flat, with low risk of soil erosion. All disturbed areas will be revegetated as soon as practical upon completion.

If a planning permit is to issue it is reasonable to require a Stormwater Management Plan be submitted for Council's approval prior to the commencement of development.

The Broiler Code

Clause 53.09 of the Central Goldfields Planning Scheme applies to Council's consideration of a poultry farm and requires that an application to use or develop land for a broiler farm must comply with the *Victorian Code for Broiler Farms 2009 (plus 2018 amendments)*.

The Broiler Code classifies broiler farms according to different levels of environmental and amenity risk and applies different approval requirements and notification and review rights to planning permit applications. The classification is dependent on the number of birds kept on the farm, the ability to contain the 'separation distance' within the broiler farm boundary, and the proximity to other existing and proposed broiler farms.

The Broiler Code sets out that the 'separation distance' is the distance from the nearest external edge of the new or existing broiler shed to the nearest external edge of the sensitive use (such as a dwelling) on land beyond the broiler farm property. It excludes sensitive uses directly associated with the broiler farm operations, such as dwellings on the broiler farm property. The separation distance is therefore the distance from the new or existing broiler sheds within which no sensitive use is located. The Broiler Code sets out how the separation distance is calculated, which is essentially a function of the capacity of a broiler farm. The Broiler Code states that the separation distance is required to minimise the risk of routine and abnormal odour and dust emissions from the broiler sheds adversely impacting on nearby sensitive uses.

The currently proposed broiler farm is classified as a Class B under the Broiler Code. The Class B classification applies to broiler farm where all of the following apply:

- The farm capacity is between 10,000 and 400,000 birds.
- The development can meet the minimum separation distance requirements (as defined by Formula 1), but this distance is not fully contained within the broiler farm boundary.

Both above requirements have been satisfied and the minimum separation distance for a farm with a capacity of 400,000 birds is 686m.

It is noted that the Broiler Code does not require an Odour Environmental Risk Assessment for a Class B Broiler Farm, although one has been provided by the applicant.

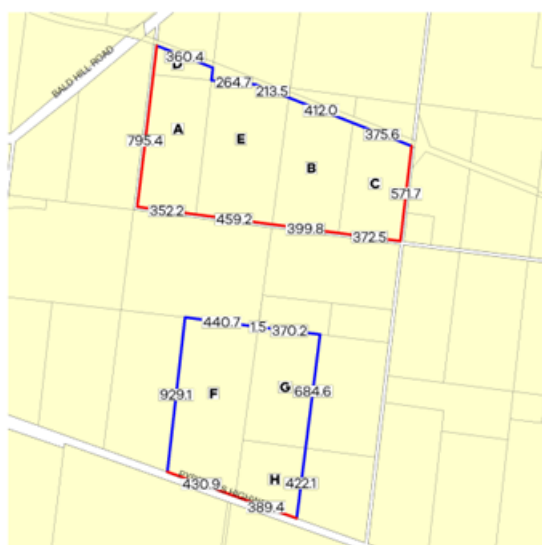
Site and surrounds

The site is located on the north side of the Pyrenees Highway, immediately south of a rail line and comprises eight (8) parcels with the land proposed for the use and development of a broiler farm being Lot 6 TP98420 shown in the extract further below from the Department of Transport Planning (DTP) website as Parcel E. The aerial image below shows the nature of the land use, noting that the land is vacant. All parcels total an area of 202.91ha.



SITE DIMENSIONS

All dimensions and areas are approximate. They may not agree with those shown on a title or plan.



Area: 2029065 sq. m (202.91 ha)

Perimeter: 8494 m

For this property:

— Site boundaries

— Road frontages

Dimensions for individual parcels require a separate search, but dimensions for individual units are generally not available.

2 overlapping dimension labels are not being displayed

Calculating the area from the dimensions shown may give a different value to the area shown above

For more accurate dimensions get copy of plan at

[Title and Property Certificates](#)

PARCEL DETAILS

The letter in the first column identifies the parcel in the diagram above

Lot/Plan or Crown Description	SPI		Lot/Plan or Crown Description	SPI
A Lot 1 TP98420	1\TP98420		PARISH OF MOOLORT	
B Lot 3 TP98420	3\TP98420		F Allot 13C Sec. 4	13C-4\PP3155
C Lot 4 TP98420	4\TP98420		G Allot 14B Sec. 4	14B-4\PP3155
D Lot 5 TP98420	5\TP98420		H Allot 14B1 Sec. 4	14B1-4\PP3155
E Lot 6 TP98420	6\TP98420			

The site is currently used primarily for agricultural purposes for cropping.

Under the Planning Scheme, the site is entirely within the Farming Zone (FZ). There are no overlays on the land.

The surrounds

The surrounding area is characterised by agricultural uses, mainly broad acre cropping and grazing, along with scattered dwellings that are mostly associated with farming.

The closes township is Carisbrook approximately 5.5km to the southwest and Maryborough is approximately 11km west of the subject site.

A broiler farm (not associated with Pavilion Farms) is located approximately 7km southeast of Farm 8 and a quarry is located approximately 3km to the southwest of Farm 8.

Pavilion Farms also operate or have approved broiler farms at the following sites and shown in the aerial image below:

- Farm 7 at 394 Bald Hill Road Carisbrook (existing)
- Farm 8 at 3280 Pyrenees Highway Moolort (existing)
- Farm 9 at 683 Baringhup Road Carisbrook (existing)
- Farm 11 at 705 Baringhup Road Carisbrook (recently approved)

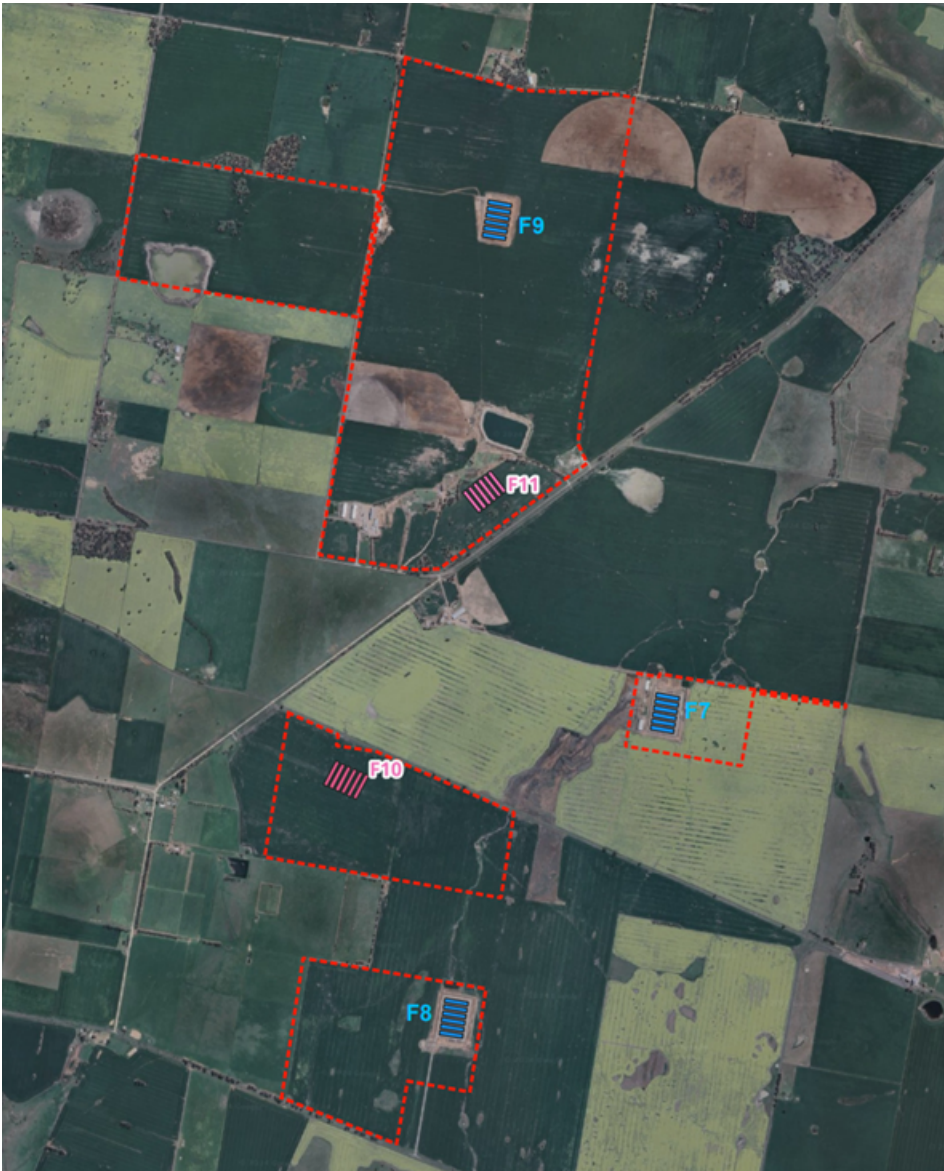


Figure 1 - Location of Pavilion Farms (Source: OERA 4 December 2024)

Apart from any existing or proposed dwellings on the site or in the applicant's ownership, the nearest third-party/off-site dwellings identified as sensitive receptors to the proposed sheds include:

- R1 310 Allans Road Carisbrook
- R2 148 Allans Road Carisbrook
- R3 252 Boundary Road Moolort
- R4 1069 Bald Hill Road Carisbrook
- R5 320 Donovans Road Carisbrook
- R6 128 Bald Hill Road Carisbrook
- R7 160 Bald Hill Road Carisbrook

The sensitive receptors all within 2km of Farm 10 and are identified on the image below. It is evident there are a number of sensitive receptors in close proximity to each other near Mount Moolort (R4, R5, R6 and R7).



Figure 2 - Location of sensitive receptors (Source: OERA 4 December 2024)

Registered Restrictions

Pursuant to section 61(4) of the Act, the responsible authority must refuse to grant a permit if it would authorise anything that would result in a breach of a registered restrictive covenant. The subject land is not affected by any such registered restriction.

There are no restrictive covenants on title.

Permit triggers

Under the Planning Scheme, a permit is required pursuant to the following:

- Clause 35.07-1, a permit is required for a broiler farm as a Section 2 use of the land in the FZ, with the relevant condition being satisfied that the requirements of Clause 53.09 'Poultry farm' must be met.
- Clause 35.07-1, a permit is required for the caretakers' house as a Section 2 use of the land in the FZ, with the relevant condition being satisfied that the requirements of Clause 35.07-2 'Use of land for a dwelling, small second dwelling or rural worker accommodation' must be met.
- Clause 35.07-4, a permit is required to construct a building or carry out works associated with a use in Section 2 of Clause 35.07-1.

Definitions

Clause 73.03 of the Planning Scheme sets out the definitions of various land use terms, including:

- Broiler farm: *Land used to keep broiler chickens for the production of meat.*
- A broiler farm is nested within the land use term of 'poultry farm', which in turn is nested within the land use term of 'animal production', which in turn is nested within the land use term of 'animal husbandry', which in turn is nested within the land use term of 'agriculture'
- Caretaker's house: *A dwelling on the same site as a building, operation, or plant, and occupied by a supervisor of that building, operation, or plant.*
- A caretaker's house is nested within the land use term of 'dwelling', which in turn is nested within the land use term of 'accommodation'.

Planning Scheme considerations

The following lists the relevant clauses of the Planning Scheme and their relevant content, purposes or decision guidelines:

00 Purpose and Vision

02 Municipal Planning Strategy

02.01 Context

- The Shire contains significant areas of remnant vegetation, notably its stands of Box Ironbark Forest. Central Goldfields is located within the heart of the Box Ironbark ecosystem, which provides a habitat for a wide diversity of flora and fauna that is unique to this ecosystem. The Moolort Plains wetlands are a unique wetland complex situated in the Volcanic Plains in the Shire's east.
- The Shire is located south-west from the Loddon River catchment. Several creeks including the Bet Bet, Emu, Timor, Tullaroop and McCallums Creeks, traverse the Shire and the Avoca River forms part of its western boundary with the Pyrenees and Northern Grampians Shires. Other major water features include Lake Cairn Curran and Tullaroop Reservoirs.
- The Shire's productive agricultural land is a finite and important resource. Cropping, grazing, fodder conservation and horticulture are ongoing agricultural activities. Conflicts between farming, industry and residential uses are an ongoing challenge for the Shire. Agricultural uses are further impacted by climate change and soil degradation from erosion, salinity and prior mining activities.
- Central Goldfields Shire has a number of industries that are driving the local economy, such as primary industries and trades; population driven industries; knowledge and public sector industries and tourism. Despite agriculture declining as an employment source, there are opportunities for improving supply chains, increased food manufacturing and diversified farming practices.
- The Shire is part of the Goldfields Tourist Region, which celebrates its gold and mining heritage. There are also significant Aboriginal sites and an emerging arts and culture sector in the Shire which present unique cultural tourism experiences. Central Goldfields is well serviced by a road network, with limited public transport options available. Active transport is emerging as an important resource for the sub-regional centre of Maryborough and within the district towns. The Shire features a diverse array of open space and recreation facilities.

02.02 Vision

- Our vision is "to be a vibrant, thriving, inclusive community" (Council Plan 2017-2021).
- Central Goldfields Shire Council seeks to create a shire that:
 - Has a supported, cohesive community, living a full and healthy life.
 - Has a vibrant local economy which contributes to the municipality's economic prosperity.
 - Celebrates the rich built and natural heritage and a sustainable environment.

02.03 Strategic Directions

02.03-2 Environmental and landscape values

- Landscape
 - Prominent features of the natural landscape include Paddy's Ranges State Park, Mt Bealiba Range, Moolort Plains, the Cairn Curran Reservoir and Talbot's volcanic rises. Several creeks including the Bet Bet, Burnt, Emu, Timor, Tullaroop and McCallums Creeks traverse the Shire and the Avoca River forms part of the western boundary with the Pyrenees and Northern Grampians Shires.
- Biodiversity
 - A rich diversity of plants, animals and habitats exist across the Shire. As part of the north central catchment, the Bealiba/Dalyenong, Moolort Plains and Upper Loddon are recognised as priority biodiversity areas.
 - The Moolort Plains Wetlands is a unique wetland complex located within the Volcanic Plains in the eastern part of the Shire. The catchment of the wetlands is Victoria's only National Biodiversity hotspot and is the habitat for many native animals, particularly waterbirds, and a number of threatened fauna species. The wetlands contain different wetland types, although their precise location, characteristics and biodiversity is not well understood. Recognised threats to the unique wetlands complex situated in the Volcanic Plains are cropping, pest plants and animals. Threatened flora species within the Box Ironbark Forests, include Buloke, Small Milkwort, Clover Glycine and Scented Bush-pea. Threatened fauna species include Swift Parrot, Powerful Owl, Brush-tailed Phascogale and Striped Legless Lizard.
- Council seeks to protect environmental and landscape values by:
 - Support mechanisms to identify and protect the Moolort Wetlands and the Bealiba/Dalyenong area.
 - Protecting the water quality of the Loddon and Avoca Rivers and Bet Bet Creek waterway systems.
 - Protecting the Talbot district volcanic rises and the Cairn Curran Reservoir as significant landscapes.

02.03-3 Environmental risks and amenity

Natural environmental hazards including bushfire, land degradation and flooding present risks and constraints for land use and development in Central Goldfields Shire. Climate change has the potential to have adverse impacts on agriculture, tourism and on economic prosperity and viability in general. The interface between industrial uses and neighbouring residential uses are an ongoing challenge in the Shire. Emerging industries, such as intensive agriculture, greyhound keeping and training, can create amenity conflicts between land uses.

- Council seeks to address environmental risks and amenity by:
 - Minimising the potential impact of development on water pollution, land degradation and risk of salinity and erosion.
 - Ensuring land capability supports land use and development, particularly in areas of environmental risk.

02.03-4 Natural resource management

- Agricultural land
 - Agricultural land in the Shire is a resource that must be maintained for productive use. Viable land in the Shire includes the high riverine plains in the Dunolly, Bealiba and Natte Yallock areas; volcanic plains and rises at the Moolort Plains, Talbot and east of Carisbrook; metamorphic plains and ridges south of Bealiba and west of Dunolly; granite to the south and south-east of Bealiba; and the sedimentary hills and rises around Maryborough, Dunolly and Carisbrook.

- Agricultural industries include cropping, sheep and cattle grazing and fodder conservation. There are emerging specialisations in less traditional agricultural activities such as fruit and vegetable growing, poultry farming, nursery and floriculture, as well as emerging industries such as intensive agriculture and renewable energy production.
- Land use conflict can occur between agriculture and residential land uses. This has the potential to affect the operation of farms and reduce their productive capacity.
- The future of the agricultural industry is dependent on sustainable agricultural practices. Issues such as soil salinity, erosion and maintaining water quality and quantity are threats to agricultural production.
- Intensive agriculture industries have the potential to cause effluent disposal problems and affect the amenity of adjacent land uses and greyhound keeping and training can cause conflict for nearby residential uses.
- Council aims to protect agricultural and environmental values by:
 - ♣ Promoting sustainable agricultural activities and land management practices that minimise adverse impacts on the primary production and environmental values of surrounding land and the catchment.
- Water
 - The Central Goldfields Shire is situated in the Loddon dry land catchment and is part of the wider Avoca Loddon-Campaspe catchment.
 - With a significant area of the Shire situated in the catchment of the Tullaroop and Laanecoorie Reservoirs and Lake Cairn Curran, there is a need for sustainable land management in water supply catchment areas.
 - Protection of water quality and maintaining water supply are priorities. Poor land use planning decisions, illegal and unsafe dams, unplanned incremental change and inadequate land management can influence both water quality and quantity in the catchments.
 - Council aims to protect the viability of natural resources by:
 - ♣ Discouraging the subdivision of land or conversion to land uses that take the land out of productive use.
 - ♣ Promoting alternative cropping, intensive agriculture and value adding enterprises.
 - ♣ Minimising conflicts between agriculture and residential uses to ensure productive agricultural capacity is not reduced.
 - ♣ Supporting emerging agricultural industries that are compatible with existing agricultural practices, including horticulture, intensive animal production, niche agriculture, value adding industries and renewables.
 - ♣ Protecting the environs and water catchments of Tullaroop and Laanecoorie Reservoirs and Lake Cairn Curran.

02.03-7 Economic development

The Central Goldfields Shire's economy is small compared to the Loddon Campaspe region, which is attributed to its lower population base. The main areas of economic activity are primary industries (agriculture, construction, manufacture and transport); population driven industries (retail, hospitality, personal and household services); knowledge and public sector industries (health, education and government agencies) and tourism (accommodation, hospitality, arts and recreation services).

- Rural enterprises
 - Agricultural activities are primarily cropping, sheep and cattle grazing and fodder conservation. Beef and sheep farming are high employers within the sector. There are emerging specialisations in less traditional agricultural activities such as fruit and vegetable growing, poultry farming and nursery and floriculture, as well as a

growing interest in intensive agriculture, horticulture, contributing to supply chain networks and renewable energy production.

- Tourism
 - Tourism is an emerging industry in the Shire, which is part of the Goldfields Tourist Region and on the Golden Way Touring Route between Ballarat and Bendigo. Each of the Shire's towns and hamlets have heritage streetscapes and landscapes which are complemented by environmental features such as the Box Ironbark forests, Moolort Plains, volcanic ridges and Aboriginal assets. The Shire encourages events, emerging arts and cultural initiatives to further strengthen the tourism industry.
- Council seeks to promote economic development by:
 - Facilitating the development of the Shire's tourism industry of small gold towns, goldfields, Aboriginal cultural tourism and environmental assets.

02.03-8 Transport

- Road network
 - Central Goldfields Shire is well served by roads, including the Pyrenees Highway that provides important links to the Calder and Sunraysia Highways. The Wimmera Highway is located in the northern tip of the Shire near Moliagul.
- Active transport
- Active transport is an important transport mode within the towns and as a tourism drawcard, with rail trails an emerging interest.

02.03-9 Infrastructure

- Integrated water management
 - Council recognises the interconnection of water systems, including urban areas, water supply catchments, receiving environments and agricultural water users.

02.04 Central Goldfields Strategic Framework Plans

- Central Goldfields Shire Strategic Framework Plan to Clause 2.04
 - Shows the proposed broiler farm being within an area of 'high quality cropping land', within a 'significant wetland area', and within the Cairn Curran special water supply catchment.
- Central Goldfields Shire Environmental and Landscape Values Plan to Clause 2.04
 - Shows the proposed broiler farm being adjacent to an area of ESO, within a 'significant wetland area', near several waterbodies, and within the Cairn Curran special water supply catchment.
- Central Goldfields Environmental Hazards Plan to Clause 2.04
 - Shows the proposed broiler farm being adjacent to an area of LSIO, adjacent to an area of SMO, and near several waterbodies.
- Central Goldfields Economic Development Plan to Clause 2.04
 - Shows the proposed broiler farm being within an area of 'high quality cropping land' and within the FZ.

10 Planning Policy Framework

12 Environmental and landscape values

12.01-1S Protection of biodiversity

- Objective: To protect and enhance Victoria's biodiversity.
- Strategies:
 - Ensure that decision making takes into account the impacts of land use and development on Victoria's biodiversity, including consideration of:
 - ♣ Cumulative impacts.

- ♣ Fragmentation of habitat.
- ♣ The spread of pest plants, animals and pathogens into natural ecosystems.
- Avoid impacts of land use and development on important areas of biodiversity.
- Consider impacts of any change in land use or development that may affect the biodiversity value of national parks and conservation reserves or nationally and internationally significant sites; including wetlands and wetland wildlife habitat designated under the Convention on Wetlands of International Importance (the Ramsar Convention) and sites utilised by species listed under the Japan-Australia Migratory Birds Agreement (JAMBA), the China-Australia Migratory Birds Agreement (CAMBA), or the Republic of Korea-Australia Migratory Bird Agreement (ROKAMBA).

12.03-1S River and riparian corridors, waterways, lakes, wetlands and billabongs

- Objective: To protect and enhance waterway systems including river and riparian corridors, waterways, lakes, wetlands and billabongs.
- Strategies:
 - Protect the environmental, cultural, landscape values of all waterway systems as significant economic, environmental and cultural assets.
 - Conserve waterway systems and the landscapes and environmental values surrounding them by protecting ecological values, indigenous vegetation, terrestrial and aquatic habitats and encouraging biodiversity.
 - Sensitively design and site development to maintain and enhance the waterway system and the surrounding landscape setting, environmental assets, and ecological and hydrological systems.

12.05-2S Landscapes

- Objective: To protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.
- Strategy:
 - Ensure development does not detract from the natural qualities of significant landscape areas.

13 Environmental risks and amenity

13.01-1S Natural hazards and climate change

- Objective: To minimise the impacts of natural hazards and adapt to the impacts of climate change through risk-based planning.
- Strategy:
 - Site and design development to minimise risk to life, health, property, the natural environment and community infrastructure from natural hazards.

13.02-1S Bushfire planning

- Objective: To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

13.03-1S Floodplain management

- Objective: To assist the protection of:
 - Life, property and community infrastructure from flood hazard, including coastal inundation, riverine and overland flow.
 - The natural flood carrying capacity of rivers, streams and floodways.
 - The flood storage function of floodplains and waterways.
 - Floodplain areas of environmental significance or of importance to river, wetland or coastal health.

13.04-3S Salinity

- Objective: To minimise the impact of salinity and rising water tables on land uses, buildings and infrastructure in rural and urban areas and areas of environmental significance and reduce salt load in rivers.

13.05-1S Noise management

- Objective: To assist the management of noise effects on sensitive land uses.

13.06-1S Air quality management

- Objective: To assist the protection and improvement of air quality.

13.07-1S Land use compatibility

- Objective: To protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential adverse off-site impacts.
- Strategies:
 - Ensure that use or development of land is compatible with adjoining and nearby land uses.
 - Avoid or otherwise minimise adverse off-site impacts from commercial, industrial and other uses through land use separation, siting, building design and operational measures.

14 Natural resource management

14.01-1S Protection of agricultural land

- Objective: To protect the state's agricultural base by preserving productive farmland.
- Strategies:
 - Avoid permanent removal of productive agricultural land from the state's agricultural base without consideration of the economic importance of the land for the agricultural production and processing sectors.
 - Protect productive farmland that is of strategic significance in the local or regional context.
 - Protect productive agricultural land from unplanned loss due to permanent changes in land use.
 - Protect strategically important agricultural and primary production land from incompatible uses.
 - In considering a proposal to use, subdivide or develop agricultural land, consider the:
 - ♣ Desirability and impacts of removing the land from primary production, given its agricultural productivity.
 - ♣ Impacts on the continuation of primary production on adjacent land, with particular regard to land values and the viability of infrastructure for such production.
 - ♣ Compatibility between the proposed or likely development and the existing use of the surrounding land.
 - ♣ The potential impacts of land use and development on the spread of plant and animal pests from areas of known infestation into agricultural areas.
 - ♣ Land capability.
 - Balance the potential off-site effects of a use or development proposal (such as degradation of soil or water quality and land salinisation) against the benefits of the proposal.

14.01-1L Protection of agricultural land - Central Goldfields

- Objective: To protect productive agricultural land and its supporting infrastructure.
- Strategies:
 - Restrict the subdivision and alienation of productive agricultural land as identified in the Strategic Framework Plan and discourage its conversion to land uses that take the land out of productive use.
 - Limit development where it can't be adequately serviced with septic systems without impacting the water catchment and encourage farm consolidation.
 - Locate poultry abattoirs and finished poultry product processing facilities where they do not adversely affect any dwelling or agricultural land.

14.01-2S Sustainable agricultural land use

- Objective: To encourage sustainable agricultural land use.
- Strategies:
 - Ensure agricultural and productive rural land use activities are managed to maintain the long-term sustainable use and management of existing natural resources.
 - Support the development of innovative and sustainable approaches to agricultural and associated rural land use practices.
 - Support adaptation of the agricultural sector to respond to the potential risks arising from climate change.
 - Encourage diversification and value-adding of agriculture through effective agricultural production and processing, rural industry and farm-related retailing.
 - Assist genuine farming enterprises to embrace opportunities and adjust flexibly to market changes.
 - Support agricultural investment through the protection and enhancement of appropriate infrastructure.
 - Facilitate ongoing productivity and investment in high value agriculture.
 - Facilitate the establishment and expansion of cattle feedlots, pig farms, poultry farms and other intensive animal industries in a manner consistent with orderly and proper planning and protection of the environment.
 - Ensure that the use and development of land for animal keeping or training is appropriately located and does not detrimentally impact the environment, the operation of surrounding land uses and the amenity of the surrounding area.

14.01-2L Sustainable agricultural land use - Central Goldfields

- Objective: To encourage ecologically sustainable farm management practices.
- Strategy:
 - Ensure intensive agriculture is located to minimise risks associated with effluent disposal and protect the amenity of adjacent land uses.

14.02-1S Catchment planning and management

- Objective: To assist the protection and restoration of catchments, waterways, estuaries, bays, water bodies, groundwater, and the marine environment.
- Strategies:
 - Ensure the continued availability of clean, high-quality drinking water by protecting water catchments and water supply facilities.
 - Consider the impacts of catchment management on downstream water quality and freshwater, coastal and marine environments.
 - Undertake measures to minimise the quantity and retard the flow of stormwater from developed areas.
 - Require appropriate measures to filter sediment and wastes from stormwater prior to its discharge into waterways, including the preservation of floodplain or other land for wetlands and retention basins.

- Ensure land use and development minimises nutrient contributions to water bodies and the potential for the development of algal blooms.

14.02-2S Water quality

- Objective: To protect water quality.
- Strategies:
 - Protect reservoirs, water mains and local storage facilities from potential contamination.
 - Ensure that land use activities potentially discharging contaminated runoff or wastes to waterways are sited and managed to minimise such discharges and to protect the quality of surface water and groundwater resources, rivers, streams, wetlands, estuaries and marine environments.

14.02-2L Water quality - Central Goldfields

- Objective: Maintain and protect water quality in the Bealiba, Laanecoorie, Tullaroop and Cairn Curran catchments and the Loddon and Avoca Rivers and Bet Bet Creek waterways systems.
- Strategy:
 - Prioritise land capability in the assessment of land use and development applications

15.01 Built environment

15.01-6S Design for rural areas

- Objective: To ensure development respects valued areas of rural character.
- Strategies:
 - Ensure that the siting, scale and appearance of development protects and enhances rural character.
 - Protect the visual amenity of valued rural landscapes and character areas along township approaches and sensitive tourist routes by ensuring new development is sympathetically located.
 - Site and design development to minimise visual impacts on surrounding natural scenery and landscape features including ridgelines, hill tops, waterways, lakes and wetlands.

16 Housing

16.01-3S Rural residential development

- Objective: To identify land suitable for rural residential development.
- Strategy:
 - Manage development in rural areas to protect agriculture and avoid inappropriate rural residential development.

17 Economic development

17.01-1S Diversified economy

- Objective: To strengthen and diversify the economy.

17.04-1S Facilitating tourism

- Objective: To encourage tourism development to maximise the economic, social and cultural benefits of developing the state as a competitive domestic and international tourist destination.

17.04-1L Tourism - Central Goldfields

- Objective: To promote Central Goldfields Shire's natural and cultural heritage tourism assets to maximise social and economic benefits.

18 Transport

18.01-1S Land use and transport integration

- Objective: To facilitate access to social, cultural and economic opportunities by effectively integrating land use and transport.

18.01-3S Sustainable and safe transport

- Objective: To facilitate an environmentally sustainable transport system that is safe and supports health and wellbeing.

18.02-4S Roads

- Objective: To facilitate an efficient and safe road network that integrates all movement networks and makes best use of existing infrastructure.

19 Infrastructure

19.03-3S Integrated water management

- Objective: To sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach.

19.03-3L 07 Integrated water management - Central Goldfields

- Strategies:
 - Ensure effluent disposal systems can be contained within the site.
 - Minimise the potential for pollution if reticulated sewerage is not available by using any recommendations from a land capability assessment and considering conditions of relevant referral authorities.

30 Zones

35.07 Farming zone

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To encourage the retention of productive agricultural land.
- To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.
- To encourage the retention of employment and population to support rural communities.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.
- To provide for the use and development of land for the specific purposes identified in a schedule to this zone.

Decision guidelines

General issues

- The Municipal Planning Strategy and the Planning Policy Framework.
 - The capability of the land to accommodate the proposed use or development, including the disposal of effluent.
 - How the use or development relates to sustainable land management.
 - Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.
 - How the use and development makes use of existing infrastructure and services.
-

- o Agricultural issues and the impacts from non-agricultural uses
- o Whether the use or development will support and enhance agricultural production.
- o Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.
- o The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.
- o The capacity of the site to sustain the agricultural use.
- o The agricultural qualities of the land, such as soil quality, access to water and access to rural infrastructure.

Accommodation issues

- o Whether the dwelling will result in the loss or fragmentation of productive agricultural land.
- o Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation.
- o Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses.
- o The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture.

Environmental issues

- o The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality.
- o The impact of the use or development on the flora and fauna on the site and its surrounds.
- o The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area.
- o The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.

Design and siting issues

- o The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.
- o The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.
- o The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.
- o The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities.
- o Whether the use and development will require traffic management measures.

50 Particular provisions

52.06 Car parking

Purpose

- o To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.

- o To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- o To support sustainable transport alternatives to the motor car.
- o To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- o To ensure that car parking does not adversely affect the amenity of the locality.
- o To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

53.09 Poultry farm

Purpose

- o To facilitate the establishment and expansion of poultry farms, including broiler farms, in a manner that is consistent with orderly and proper planning and the protection of the environment.

Requirement – Broiler farm

- o An application to use land or construct a building or construct or carry out works for a broiler farm must comply with the *Victorian Code for Broiler Farms 2009 (plus 2018 amendments)*.

Decision guidelines

- o The purpose of the relevant zone.
- o The design, height, setback and appearance of the proposed buildings and works.
- o The proposed landscaping.
- o The need to protect amenity of existing uses on adjoining land.
- o The impact of the use of the land on the surrounding area, including from the emission of noise, light, vibration, odour, dust, or waste products.
- o The impact of the proposal on any wetlands, waterways or water bodies.
- o The likely environmental impact on the natural physical features and biodiversity of the land, including consideration of any Nutrient Management Plan submitted with the application.
- o Whether the development will support and enhance agricultural production.

60 General provisions

65.01 Approval of an application or plan

- The matters set out in section 60 of the Act.
- Any significant effects the environment, including the contamination of land, may have on the use or development.
- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the environment, human health and amenity of the area.
- The proximity of the land to any public land.
- Factors likely to cause or contribute to land degradation, salinity or reduce water quality.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The extent and character of native vegetation and the likelihood of its destruction.
- Whether native vegetation is to be or can be protected, planted or allowed to regenerate.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.
- The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.
- The impact the use or development will have on the current and future development and operation of the transport system.

70 Operational provisions

71.01 Operation of the Municipal Planning Strategy

- The Municipal Planning Strategy at Clause 02 provides an overview of important local planning issues in an introductory context, sets out the vision for future use and development in the municipality and establishes strategic directions about how the municipality is expected to change through the implementation of planning policy and the planning scheme.
- A responsible authority must take into account and give effect to the Municipal Planning Strategy when it makes a decision under this planning scheme.

Clause 71.02 Operation of the Planning Policy Framework

- The Planning Policy Framework provides a context for spatial planning and decision making by planning and responsible authorities. The Planning Policy Framework is dynamic and will be built upon as planning policy is developed and refined and changed as the needs of the community change.
- The Planning Policy Framework seeks to ensure that the objectives of planning in Victoria (as set out in section 4 of the Act) are fostered through appropriate land use and development planning policies and practices that integrate relevant environmental, social and economic factors in the interests of net community benefit and sustainable development.
- Victorians have various needs and expectations such as land for settlement, protection of the environment, economic wellbeing, various social needs, proper management of resources and infrastructure. Planning aims to meet these needs and expectations by addressing aspects of economic, environmental and social wellbeing affected by land use and development.
- The Planning Policy Framework operates together with the remainder of the scheme to deliver integrated decision making. Planning and responsible authorities should endeavour to integrate the range of planning policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations. However, in bushfire affected areas, planning and responsible authorities must prioritise the protection of human life over all other policy considerations.
- Planning authorities should identify the potential for regional impacts in their decision making and coordinate strategic planning with their neighbours and other public bodies to achieve sustainable development and effective and efficient use of resources.

Referral

The following table outlines referrals undertaken under section 55 of the Act and clause 66 of the Planning Scheme.

Organisation	Response
Goulburn-Murray Water (GMW) Clause 66.02-5 Determining referral authority	Does not object if the permit is subject to specified conditions (Refer to Attachment 4)
Department of Transport and Planning (DTP) Section 55 Determining referral authority	Does not object if the permit is subject to specified conditions (Refer to Attachment 3)

The application was also referred within the Central Goldfields Shire Council for comments and/or recommended conditions:

Department	Response
Engineering	Recommended conditions
Environmental Health	Recommended conditions

Notice

In accordance with section 52 of the Act, notice of the application was given in the prescribed form. Notice was given by placing a sign at the site, by publishing a notice in the Carisbrook Mercury, and sending it by post. Notice was given to the owners and occupiers of adjoining and surrounding land as well as to the EPA Victoria (as required by Clause 66.05 of the Planning Scheme). Informal notice was also provided to Agriculture Victoria.

As a result, fifty-six (56) objections were received alongside neutral submissions from the EPA Victoria (Refer to Attachment 2) and Agriculture Victoria (Refer to Attachment 1). A summary of the matters raised in the objections are provided immediately below, followed by a summary of the matters raised in the submissions from the EPA Victoria and Agriculture Victoria. The matters raised in both the objections and submissions are addressed in the assessment that follows.

Summary of matters raised in objections

- Impacts from odour.
- Impacts from noise, including from heavy vehicles.
- Impacts from lighting disturbance.
- General proximity to dwellings including visual amenity impacts.
- Cumulative impacts of several broiler farms in an area.
- Impacts on landscape character.
- Ability of roads to safely and efficiently accommodate increased heavy vehicles.
- Dust impacts from heavy vehicles on unsealed local roads
- Impacts of heavy vehicles on road condition and cost of road maintenance.
- Impacts on waterways, including flood events.
- Impacts on water quality, including drinking water.
- Impacts on groundwater, including the wider catchment.
- Impacts on wetlands.
- Impacts on flora and fauna / biodiversity.
- Impacts on air quality.
- High quality agricultural land not suitable for broiler farms.
- Location not suitable for industrial scale agriculture.
- The broiler farm will limit the operation of nearby agricultural uses.
- Biosecurity concerns, including from disease and pests.
- Compliance issues with existing broiler farms.
- Concerns with environmental management measures of broiler farms.
- Proposal not in accordance with the Broiler Code.
- Impacts on proposed Castlemaine-Maryborough Rail Trail
- Castlemaine-Maryborough Rail Trail could not occur within buffer zone.
- Loss of economic, social and environmental benefits of rail trail.
- Concerns about how public notice was given.
- Compliance with existing broiler farms.
- Incompatibility of broiler farms with purpose of the FZ.
- Proposal should be subject to an Environmental Impact Assessment.

- Cultural heritage concerns.
- Impacts on property values.
- Inhumane conditions of broiler farms.
- The necessity for two caretakers' houses.

Summary of EPA Victoria submission

In accordance with Section 52 of the *Planning and Environment Act 1987* notice was given to EPA Victoria. In their response they note they are not a statutory referral authority as the proposal:

- *"Does not require an operating licence or development licence or amendment to a licence.*
- *Is not proposed to be used for an industry, utility installation or warehouse for a purpose listed in the table to Clause 53.10 shown with a threshold distance not specified or for which the threshold distance cannot be met; and*
- *Is not a proposed extractive industry intended to be used at a later date for a landfill".*

They did review the Odour Environmental Risk Assessment (Odour ERA) but did not undertake a technical assessment and beyond that they have no further involvement in the assessment of broiler farms as that is the jurisdiction of Agriculture Victoria.

EPA advised the odour assessment is satisfactory for Council to support the application and that Council could use the conclusions as a guide to potential risks.

They recommended a permit note should a planning permit be issued as follows:

- *The Environment Protection Act 2017 imposes duties on individuals and/or businesses undertaking the activity permitted by this permit. If your business engages in activities that may give rise to a risk to human health or the environment from pollution or waste, you must understand those risks and take action to minimise them as far as reasonably practicable.*

Summary of Agriculture Victoria submission

Agriculture Victoria provided advice relating to:

- The planning context.
- An assessment against the *Victorian Code for Broiler Farms 2009 Plus 2018 Amendments* (the Code).
- A review of the application against the Central Goldfields Planning Scheme strategic objectives.

With respect to the planning context Agriculture Victoria confirm officers' advice in this report that the proposed use is a Section 2 (permit required) use.

Agriculture Victoria provided a detailed response of the proposal against the requirements of the Code. This assessment largely identified that conditions of the Code were met. They did identify some standards and measures that required more detail or a revision and some that had not been addressed.

In the Agriculture Victoria assessment Standards or Approved Measures **not met** include:

Element 1: Location, siting and size - Standard E1 S4 Biosecurity

AM E1 M4.2 Stockpile greater than 100m from a shed

The mortality composting appears to be within 100m of sheds.

Element 5: Waste management

Mortality composting detail and design not provided.

Standard E5 S2 Dead birds

AM E5 M2.2

Dead bird bins and collection vehicles to come in close proximity to sheds.

Detail not addressed.

Disposal by composting of farm. Approved measures E5 M1.1 – 1.4 all apply to meet the standard for this system of dead bird management.

Other Standards or Approved Measures **where more detail/revision is required** include:

Element 1: Location, siting and size.

Resolution of mortalities composting design and construction required.

Standard E1 S5 Future use and development of neighbouring land.

The proposal needs to clarify surrounding land ownership.

Element 2: Farm design, layout and construction

Standard E2 S5 Stormwater Drainage

Agriculture Victoria advised they were not in a position to judge these criteria.

Element 3: Traffic, site access, on-farm roads and parking

Standard E3 S1 Site access

Construction of access points and location of access point at least 30m inside the boundary not shown on the plans.

Lighting design spill not provided.

Element 4: Landscaping

Standard E4 S1 Landscaping

Vegetation plantings only shown directly around the works area. No screening is proposed along roads.

No detail of a landscape bond to be provided.

It is considered the above matters can be addressed by permit conditions requiring some additional detail on the plans for endorsement including the landscape plan and amendments to the Environmental Management Plan.

Overall Agriculture Victoria considers that:

- *The Application addresses the requirements of the Victorian Code for Broiler Farms 2009 (plus 2018 amendments), subject to amendments as per the following:*
 - *022-23 Planning Report – Farm 10, November 2024, is amended to remove reference to Greater Geelong Planning Scheme in contents page 2*
 - *Construction and site plans are amended to include detail and design for dead bird composting and re-use to the satisfaction of Council (noting references to that activity in 022-23 Planning Report – Farm 10, November 2024, and 022-23 Environmental Management Plan (EMP) – Farm 10, November 2024)*
 - *Agriculture Victoria have previously noted the application material provides no detail as to the design and construction of the mortality composting pad or the spreading of compost on the land and this is yet to be addressed.*
 - *Matters raised in Appendix 5: Checklist for planners: Compliance with Code elements as per previous pages.*
- *The proposed shed location would appear to meet the minimum separation distance requirement of 686m for a Class B broiler farm with 400,000 birds to neighbouring sensitive uses (dwellings).*

- *The Environment Protection Authority Victoria will be able to provide comment on the suitability of the Odour Environmental Risk Assessment (OERA) and comments that: sensitive receptors were identified within 2 km of radius from the site as this is generally considered the distance at which sensitive receptors are likely to experience odour nuisance from an odour source. A total of seven receptors have been identified within 2 km of the site boundary to be included in this assessment. (3.3 Sensitive receptors)*

Agriculture Victoria made the following recommendations:

Agriculture Victoria conditionally supports the application 022-23 on LOT 6 TP98420, 3280 Pyrenees Highway, Carisbrook for the use and development of the land for class B broiler farm with a maximum farm capacity of 400,000 birds and recommends that if a permit is granted that:

- *The permit 022-23 for LOT 6 TP98420, 3280 Pyrenees Highway, Carisbrook allows: The use and development of the land for class B broiler farm with a maximum farm capacity of 400,000 birds.*
- *The Odour ERA, Environmental Management Plan and Site Plans are endorsed and form part of any permit issued to the satisfaction of the Responsible Authority.*

Vic Track Submission

VicTrack leases the adjoining rail serve to V/Line. They were made aware of the application by a member of the public but had no objection and recommended that should a permit be issued the following conditions be included in a planning permit.

- No entry to railway land is permitted without the written consent of VicTrack.
- No drainage, effluent, waste, soil or other materials must enter, be stored or be directed to the railway land.

Assessment

Farming zone

As previously discussed in this report both the broiler farm and caretakers house require a planning permit for use under Section 2 of the land use provisions in the FZ. Clause 35.07-4 of the FZ requires a planning permit for the associated buildings and works.

Decision guideline	Response
General issues	
The Municipal Planning Strategy and the Planning Policy Framework.	<p>Neither the MPS nor PPF discourage use of the subject site for a broiler farm.</p> <p>The strategic framework requires regard to environmental and landscape values, protection of agricultural land, promoting economic development, land use compatibility, sustainable agricultural uses, water quality and built form design in rural areas.</p> <p>Many of the objections are directed towards these strategic objectives.</p> <p>The sheds, whilst large, are low profile and views to the sheds can be ameliorated with appropriate screening. Lighting can also be baffled and directed to minimise light glare. Large sheds are not unexpected in a rural</p>

	<p>landscape, and these are setback 688m from the nearest road.</p> <p>As discussed elsewhere in this report the broiler farm is a legitimate agricultural land use and has the potential to increase agricultural productivity from the site. The balance can still be used for cropping.</p> <p>The broiler farm also creates both direct and indirect jobs to support and enhance the local and wider economy.</p> <p>Land use compatibility is a legitimate concern and robust planning permit conditions will be required to minimise any detriment to adjoining or nearby agricultural properties.</p> <p>Neither a stormwater management plan nor hydrology report were submitted with the application, although the application did outline how surface water would be dealt with. This can be further enhanced with the requirement for a stormwater management plan as a condition of planning permit.</p>
The capability of the land to accommodate the proposed use or development, including the disposal of effluent.	A Land Capability Assessment was provided for the caretakers' house based upon a four (4) bedroom dwelling. A disposal area of 150m ² is required and can readily be provided.
How the use or development relates to sustainable land management.	The Environmental Management Plan submitted with the application can be further strengthened to ensure the proposed use results in sustainable land management.
Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.	<p>Clause 71.02-3 of the planning scheme requires integrated decision making. Sometimes conflicting objectives need to be balanced to achieve a net community benefit and sustainable development.</p> <p>On balance the concerns raised by objectors can be addressed by appropriate conditions of a planning permit to protect their concerns, whilst allowing a legitimate agricultural use in the Farming Zone.</p>
How the use and development makes use of existing infrastructure and services.	The broiler farm will need to make use of existing approved heavy vehicle routes. A Traffic Management Plan can require these to be identified and the TMP can become an approved document under a planning permit.

Agricultural issues and the impacts from non-agricultural uses	The proposed use is a legitimate agricultural use and is nested under the definition of 'agriculture' in the planning scheme.
Whether the use or development will support and enhance agricultural production.	As above and it will improve agricultural production from the subject site by increasing the number of birds.
Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.	The concrete pad for the sheds and dwarf walls will protect soil quality and the proposed use is considered an agricultural use so is not removing land from agricultural production. The dam will also require a clay lining to protect soil quality and groundwater.
The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.	Adjoining and nearby uses are generally dryland cropping and grazing. Some of the objectors are nearby farmers and are concerned with biosecurity risks and an increase in weed management as a result of truck movements. Concerns with avian flu have also been raised by objectors. Ways of dealing with some of these concerns are via an Environmental Management Plan and Traffic Management Plan which can form part of a planning approval. Matters such as avian flu are not a consideration for the <i>Planning and Environment Act 1987</i> .
The capacity of the site to sustain the agricultural use.	Compliance with the Broiler Code and an Environmental Management Plan will help ensure the capacity of the site to sustain the use of the site for a broiler farm.
The agricultural qualities of the land, such as soil quality, access to water and access to rural infrastructure.	A private water pipeline fed from Tullaroop Creek is being extended from Farm 8 to Farm 10. It is then piped to three (3) storage tanks to provide at least seven (7) days backup with a storage of 1,000,000 litres. Ensuring the use of roads approved for heavy vehicles can be addressed in a Traffic Management Plan approved under a planning permit.
Accommodation issues	
Whether the dwelling will result in the loss or fragmentation of productive agricultural land.	The caretakers house will reduce the area of productive agricultural land; however, it is

	supporting an agricultural use that is increasing agricultural production.
Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation.	The caretakers' house is likely to be more affected by emissions on the subject site, rather than agricultural activities on adjoining or nearby land.
Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses.	The caretakers' house is not considered likely to affect the operation and expansion of adjoining and nearby agricultural uses.
The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture.	The caretakers' house is the only dwelling proposed and will result in a concentration or proliferation of dwellings in the area.
Environmental issues	
The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality.	<p>The application states that stormwater is prevented from entering the sheds as the finished floor levels will be at least 0.5m above adjacent open earth drains between the sheds. Further protection is provided with concrete floors and the concrete dwarf walls. It is not anticipated that stormwater will come into contact with any waste materials.</p> <p>All surface water flows will be directed via table drains to the proposed dam. The topography in the immediate vicinity of the proposed sheds is relatively flat, with low risk of soil erosion. All disturbed areas will be revegetated as soon as practical upon completion.</p> <p>If a planning permit is to issue it is reasonable to require a Stormwater Management Plan be submitted for Council's approval prior to the commencement of development.</p>
The impact of the use or development on the flora and fauna on the site and its surrounds.	The site is devoid of native vegetation and only one native bird species was identified as a result of the survey that formed the basis of the Flora and Fauna Assessment prepared by Mark Trengrove.
The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property	Refer above.

boundaries and saline discharge and recharge area.	
The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.	There is no nearby water and no native vegetation on site that could be impacted by on-site effluent disposal.
Design and siting issues	
The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.	<p>The buildings are co-located with the sheds and caretakers house, and the balance of the land will continue to be used for cropping purposes.</p> <p>Furthermore, under the planning scheme a 'broiler farm' is ultimately nested in the definition of 'agriculture', so the broiler farm arguably does not remove land for agriculture.</p> <p>The caretakers house does but only takes up a small area and is required to support the broiler farm use of the land.</p>
The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.	<p>The sheds are located 688m from the nearest road (Bald Hill Road), although only located 129m from the railway reserve. The caretaker's house is located approximately midway between the sheds and railway reserve. The mortality composting pad is also located approximately midway between the sheds and the railway reserve.</p> <p>It is reasonable to request external materials and colours to be of muted tones. It is noted the applicant prefers the roof to be zincalume to reflect heat for the bird's welfare. This approach has been accepted in the VCAT decision relating to 705 Baringhup Road.</p> <p>Although the EPA and Agriculture Victoria will accept dead bird composting, Agriculture Victoria required more information and details to ensure the Broiler Code is being met.</p> <p>Alternatively, it is considered more appropriate to use dead bird freezing and removal of dead birds from the site.</p> <p>The setback of the mortality composting pad presents an unacceptable risk to the future use of the railway reserve as a rail trail.</p> <p>The mortality composting pad is not screened from the railway reserve and future users could be subject to odour and witnessing any disposal of the dead birds.</p>

	<p>It is noted that the VCAT decision for 705 Baringhup Road did not consider this a relevant consideration as users would be going by for only a short period of time and any impact from odour would likely be short lived.</p> <p>In this case though we are considering a mortality pad in very close proximity to the railway reserve. For that reason, it is considered appropriate to require its deletion and an alternative method of dead bird disposal such as freezing birds and removing them from site.</p>
<p>The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.</p>	<p>The landscape response is considered inadequate and as discussed elsewhere in this report a revised landscape plan should be required to:</p> <ul style="list-style-type: none"> • Reduce the height of the mound and widen the base to assist plant growth. • Widen the landscape buffers. • Choose locally indigenous plant species.
<p>The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities.</p>	<p>The Castlemaine Maryborough Rail Trail has been supported via various funding sources including:</p> <ul style="list-style-type: none"> • Community (\$20,000) • CGSC (\$6,000) • MACS (\$6,000) • State Gov't (\$120,000)
<p>Whether the use and development will require traffic management measures.</p>	<p>A Traffic Impact Assessment Report prepared by Traffix Group accompanied the application material. It noted that the existing ingress and egress to/from the Pyrenees Highway is satisfactory.</p> <p>DTP provided no objection subject to specific planning permit conditions.</p> <p>A Traffic Management Plan should also be a condition of permit, and this should clearly identify haulage routes for all heavy vehicles visiting the site.</p> <p>Council's engineer did not object subject to conditions being placed on a permit relating to:</p> <ul style="list-style-type: none"> • Internal road design and construction. • Drainage • Land User Activity Agreement over Crown Land • Loading and Unloading

	<ul style="list-style-type: none"> • Waste disposal • Access to be from Pyrenees Highway.
<p>The need to locate and design buildings used for accommodation to avoid or reduce noise and shadow flicker impacts from the operation of a wind energy facility if it is located within one kilometre from the nearest title boundary of land subject to:</p> <ul style="list-style-type: none"> – A permit for a wind energy facility; or – An application for a permit for a wind energy facility; or – An incorporated document approving a wind energy facility; or – A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the Environment Effects Act 1978. 	Not applicable
<p>The need to locate and design buildings used for accommodation to avoid or reduce the impact from vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the Mineral Resources (Sustainable Development) Act 1990 .</p>	Not applicable as the nearest quarry is approximately 2.8km to the south/west

Overlays

There are no planning overlays applicable to the subject site.

Particular Provisions

Clause 53.09 applies to poultry farms and seeks to facilitate the establishment and expansion of poultry farms, including broiler farms, in a manner that is consistent with orderly and proper planning and the protection of the environment.

Clause 53.09-3 requires a broiler farm to comply with the *Victorian Code for Broiler Farms 2009 (plus 2018 amendments)*.

The Department of Agriculture is responsible for the Broiler Code and in their response provided conditional approval and recommendations for some additional details to be provided particularly relating to landscape and the mortality composting pad.

To address both comments from the Department of Agriculture and objections it is considered appropriate to require the removal of the mortality composting pad and to require a more robust landscape outcome.

The relevance of previous VCAT decisions

Planning permit 061-23/VCAT reference no. P270/2025

- A recent VCAT Order dated 16 October 2025 set aside Council's decision to refuse to grant a planning permit and directed that a planning permit be issued for use of the land for a broiler farm, caretakers house, associated buildings and works and to remove, destroy or lop vegetation.
- This was for the Pavilion Farms Farm 11 at 705 Baringhup Road Carisbrook.
- This decision is considered particularly relevant as it was also for a Class B Broiler Farm and has the same operational procedures as proposed for Farm 10.

Key reasons behind the VCAT decision included:

- The farm is classified as a Class B Broiler Farm, not a Cluster Broiler Farm, as the setbacks required under the Broiler Code of Practice are met.
- The relevant considerations are those of the Planning and Environment Act 1987, not other State provisions such as the Environment Protection Act 2017.
- No part of the Planning Policy Framework (PPF) or Municipal Planning Strategy (MPS) of the Central Goldfields Planning Scheme discourages additional broiler farms in the area surrounding Farm 11.
- The broiler farm is an agricultural use that is appropriate in a Farming Zone.
- The settlement plan in the MPS confirms the subject land and its surrounds as a farming area but not as 'high quality cropping land', which applies to land in the Moolort Plans further to the south/east.
- An Odour Environmental Risk Assessment (OERA) is not required by the Broiler Code of Practice for a Class B Broiler Farm, so the Tribunal gave little weight to the OERA.
- Shortfalls in the application such as an inadequate landscape response could be dealt with via planning permit conditions.
- The Tribunal had little to no regard to the cumulative impact of an additional broiler farm as it was a Class B farm and not a Cluster farm.
- Viewlines into the site from the top of Mt Moolort which rises 100m above ground were not considered relevant as these were wholly from privately owned land.
- Compliance issues with other sites are not a relevant consideration.

In this decision the Tribunal also made reference to Farm 10 and gave clear direction that if Council is required to make a decision about Farm 10, that the VCAT decision for Farm 11 is a relevant consideration.

Odour impacts

An Odour ERA was prepared by GHD, dated 4 December 2024. This report address both 3280 Pyrenees Highway Moolort (Farm 10) and the recently approved Farm 11 at 705 Baringhup Road Carisbrook. It took into consideration the impact of existing and proposed farms including:

Farm 7	Existing	394 Bald Hill Road Carisbrook
Farm 8	Existing	3280 Pyrenees Highway Carisbrook
Farm 9	Existing	683 Baringhup Road Carisbrook
Farm 10	Proposed	3280 Pyrenees Highway Carisbrook
Farm 11	Approved	705 Baringhup Road Carisbrook

The Odour ERA was undertaken in accordance with the requirements of EPA *Publication 1883 – Guidance for assessing odour and Agrifutures – Planning and environment guideline for establishing meat chicken farms: Guide 1 – Assessment Guide*.

- The EPA publication 1883 provides three levels of assessment including:
- Level 1 – Gateway assessment of emissions duration, wind direction and cumulative odour sources.
- Level 2 – Source-Pathway-Receptor assessment.

- Level 3 – Detailed risk assessment that could include:
 - Comparisons with similar operations or case studies.
 - Risk assessment using field odour surveillance data.
 - Complaint assessment.
 - Community odour surveys/questionnaires and odour diaries.
 - The use of dispersion modelling.

The GHD report adopted a Level 3 assessment and included:

- Complaint assessment.
- Odour surveys.
- Odour dispersion modelling.

The GHD report identified sensitive receptors, all dwellings, within a 2km radius of the site.

The dispersion modelling was based on the five-odour unit (OU) 99.9th percentile 3-minute average of odour modelling. As stated in the GHD report this *“is generally used to assess the predicted downwind odour concentrations during short time worst-case, poor dispersive meteorological conditions. This 99.9th percentile is generally taken as the level that if the odour is obvious and has an offensive character, it may lead to nuisance and resultant complaint”*.

Of the identified seven (7) sensitive receptors, all were identified as being subject to 99.9th percentile offsite concentrations predicted at above the 5 OU from the current farms and this increased as a result of the proposed farms (Farms 10 and 11).

Table 12 in the GHD report identifies the overall risk of odour impacts from current farms and Table 13 identifies the overall risk of odour impacts from current and proposed farms. Table 12 identifies that R1 is at risk of moderate offensive odour and Table 13 identifies that R1, R5, R6 and R7 are each at risk of moderate offensive odour.

R1 experiences the greatest risk of offensive odour at 24.9 odour units from existing farms and 32.5 odour units from existing and proposed farms. R5 and R7 experience the greatest increase going from 7.8 odour units to 19.8 odour units and 8.8 odour units to 24.9 odour units, respectively.

Moderate risk means a receptor is likely to experience offensive (obvious) odour. Although there may be some residual risk, the GHD report states it is possible it can be practically and effectively managed.

The GHD report goes on to state that odour level needs to almost treble before an increase in perceived intensity is registered.

GHD also recalibrated the dispersion model and compared the modelled results with odour survey observations. They identified the likely modelled odour concentrations that could describe the ‘obvious’ odour experienced by surveyors to be 10 OU. The ‘obvious’ odour was used as the level which may lead to nuisance and complaint. The updated risk assessment indicated that the risk of offensive odour is low at all identified sensitive receptors.

The complaint analysis was based on complaints received at Central Goldfields Shire Council and EPA from 2018 – 2024. The GHD analysis states that during that time Council received 92 complaints in 2019. Of these thirty-two (32) related to other farms and sixty (60) did not specifically allege a source. One (1) complaint in 2020 related to Rodborough Road and two (2) complaints in 2022 related to Baringhup Road Carisbrook.

It was made clear in the recent VCAT decision relating to 705 Baringhup Road that non-compliance or operational issues with other broiler farms was not a relevant consideration.

EPA Victoria were satisfied with the way the GHD report was conducted and its outcomes.

It is considered appropriate to endorse the GHD report under a planning permit so the recommendations can be implemented.

Visual/landscape impacts and landscaping

The proposed 10m landscape buffer around the sheds is considered inadequate. In coming to this conclusion regard was had to the VCAT decision for 705 Baringhup Road Carisbrook (VCAT Ref: P270/2025).

Farm 10 is sited 688m from Bald Hill Road to the west and 129m from the rail reserve to the rear. It is noted that the recently approved Farm 11 at 705 Baringhup Road is setback 176m from Baringhup Road.

The Tribunal recognised that Farm 11 is located within the Moolort Plains which is a relatively flat setting, with large rural landholdings used for grazing or cropping on sites that have been largely cleared for that purpose. The Moolort Plains are identified in the PPF and MPS, however they are not included in a Significant Landscape Overlay (SLO) in the Central Goldfields Planning Scheme. Mount Moolort is a significant topographical feature rising 100m above ground and although it was likely that Farm 11 could be seen from there, the Tribunal was of the view this was not a relevant consideration as this is wholly privately owned land.

The Tribunal felt the impact of Farm 11 on the landscape was acceptable.

The applicant did provide expert landscape evidence from Mr John Patrick. Mr Patrick provided some key advice considered relevant to Farm 10:

- Trees identified on the landscape plan submitted with the application were largely non-indigenous
- Locally indigenous species are preferred and Mr Patrick identified mainly Buloke, with secondary plantings of Yellow Gum, Yellow Box and Grey Box. The screen could also be thickened with shrub planting of wattle varieties.
- Due to compaction and profile, the 3m high bund leads to slow tree growth, tree instability and water shedding.
- Mr Patrick recommended a lower bund of no more than 1m with a broader base to limit water shedding and provide a 'gentle modification' to the Moolort Plains context.
- Buffer widths should vary depending upon the priority. In the instance of Farm 10 the priority interfaces are the rail reserve and Bald Hill Road, so these could be much wider.
- For Baringhup Road Mr Patrick had buffer widths varying between 10m and 40m.

The Tribunal accepted Mr Patrick's evidence and stated that unless the landscape plan was improved, from that submitted with the permit application, they would not be prepared to grant a planning permit.

Noise and other amenity impacts

An Acoustic report has not been submitted with the application, however the Environmental Management Plan submitted with the application and dated November 2024 does address noise at Section 2.5. This includes measures such as:

- Repair of equipment failures resulting in increased off-site noise within one week.
- Drivers to minimise vehicle reversing.
- Use of low noise alarms, house alarms and paging systems.
- Operational measures such as instructing bird pick drives and crews to conduct their business as quietly as possible.
- Compliance with relevant legislation such as the national Environmental management System for the Meat Chicken Industry – Rural Industries Research & Development Corporation Publication No. 03/038.

Should a planning permit be issued conditions can be included relating to:

- Amenity
- Compliance with EPA Regulations
- Submission of an Acoustic Assessment and inclusion of any recommendations in a Noise Management Plan.

The management of runoff and stormwater

A hydrological report was not submitted with the application but if a planning permit is to issue this should be required as a condition of planning permit and should address Planning Practice Note PPN 55: Planning in open drinking water catchments to ensure the proposed development will not have a detrimental impact on the open drinking water catchment

Traffic safety and efficiency

Council engaged a Traffic Engineer (Impact) to prepare a Traffic and Transport Assessment (November 2024) (TTA) to examine the cumulative traffic impacts of the five existing broiler farms and the three proposed broiler farms, including the subject site.

The TTA assessed the impact on the existing road network including:

- Pyrenees Highway.
- Rodborough Road.
- Clarkes Road.
- Locks Lane.
- Moolort-Baringhup Road.
- Baringhup Road.

The Impact report identified Baringhup Road and Pyrenees Highway as pre-approved for haulage and typically a permit is not required to use these roads. Moolort-Baringhup Road is not a pre-approved haulage route, and approval is required for haulage access of 26m B-doubles were to utilise this route for delivery.

The haulage route to the subject site was identified as Bendigo-Maldon Road, Allans Road, Lowther Street, Bridgewater-Maldon Road, Baringhup Road, Moolort Road, Moolort-Baringhup Road.

The peak cumulative traffic volumes were estimated to be 842 movements per batch, assuming a 7-week growing cycle and 2 weeks for preparation for the next batch. This was further broken down to be 20 vehicle movements per day.

Sight distances were assessed at various intersections with Baringhup Road and Bald Hill Road intersection having inadequate sight distances i.e. less than 300m in both directions. The Impact report recommended reducing speeds on the northeast bound approach from 100im/hr to 90 km/hr and for the westbound approach to 70 km/hr.

Additionally installing warning signs such as 'trucks entering, along with rumble strips or solid centrelines near the intersection is recommended to enhance drive awareness and safety.

The applicant also prepared their own Traffic Management Plan and following a request for further information from the Department of Transport and Planning (DTP), they had a Traffic Engineering Assessment prepared by Traffix Group, dated June 2024. The Traffix Group report has been used for the purpose of this report to Council.

The Traffix Group report recognised that the subject site also caters for an existing broiler farm, Farm 8, also operated by Pavilion Farms. Farm 8 also provides six (6) sheds for 400,000 birds.

Vehicle access to Farm 8 and for the proposed Farm 10 is via a single connection with Pyrenees Highway which provides a basic left turn (BAL) treatment and basic right turn (BAR) treatment as shown in the Figure below. These access treatments were required by the Department of Transport and Planning (DTP) for the previous Farm 8 proposal.



Figure 3 - Aerial photograph of existing access (Source: Traffic Engineering Assessment, Traffix Group, June 2024)

Based on existing and proposed traffic movements the anticipated daily traffic movements are shown in the table below, with the Traffix Group report stating that these figures are conservative.

Week	Total Daily Vehicle Movements	Entry Movements	Exit Movements
1	22	11	11
2	18	9	9
3	18	9	9
4	30	15	15
5	30	15	15
6	30	15	15
7	30	15	15
8	18	9	9
9	30	15	15

The Traffix Group report concludes that the existing basic left turn treatment (BAL) and basic right turn treatment (BAR) are adequate when taking into consideration the additional traffic movements of the proposed Farm 10.

To address objector concerns about heavy vehicles and the impact on roads and the amenity of residents it is reasonable that if a planning permit is to issue to require a Traffic Management Plan that addresses matters such as:

- Haulage routes to and from the broiler farm utilising pre-approved heavy vehicle routes.
- Securing of litter loads to prevent dust and particle emissions.

Car parking

The use of land for a broiler farm is not a listed within Table 1: Car Parking Requirements at Clause 52.06-5 of the Planning Scheme. As such, and in accordance with clause 52.06-6, car parking spaces must be provided to the satisfaction of the responsible authority before the use commences.

The application plans do not show the provision of carparking. Considering the proposed number of staff, the nature of the operations, and the proximity of the caretakers' house that provides further car parking, it is considered that this can adequately be addressed by a condition of permit requiring six (6) car parking spaces.

Further, there are areas around the site that may provide informal car parking opportunities, if required, and ample space for trucks to park for deliveries/collections.

Car parking should be constructed to the satisfaction of Council with compacted crushed road and drained.

Land Capability Assessment

A Land Capability Assessment prepared by Provincial Geotechnical P/L and dated 15 January 2024 was submitted with the application to address the needs of the proposed caretaker's house.

This report refers to the subject site as 290 Bald Hill Road Carisbrook, although it does refer to Farm 10. If a planning permit is issued an amended plan condition should require the report to be amended to include the correct address. It is noted that attachments to the report including the property report and aerial image refer to the correct property.

The LCA is based upon a four (4) bedroom dwelling however has no regard to the operation of the broiler farm.

The General Environmental Duty, Section 25, of the Environment Protection Act 2017 applies to households and businesses and any person doing any activity that creates a risk to human health and the environment from waste or pollution.

If a planning permit is to issue the LCA should be updated to address the broiler farm operation and impact on land capability and to ensure that the General Environmental Duty provisions (Section 25) of the *Environment Protection Act 2017* can be satisfactorily met. It should also address Planning Practice Note PPN55: Planning in open drinking water catchments to ensure the proposed development will not have a detrimental impact on the open drinking water catchment.

Biodiversity impacts

A Flora and Fauna Assessment prepared by Mark Trengrove Ecological Services and dated October 2023 was submitted with the application.

A field survey was conducted on 20 September 2023; records were taken of all indigenous vascular plant and dominant exotic plant species. Observations were made of the existing habitat value; a casual survey was undertaken of vertebrate fauna and vegetation was mapped.

The site was assessed on the same day to determine the value of the site for terrestrial vertebrate fauna.

Pre 1750 EVC mapping of the study area undertaken by DEECA indicates that the study area comprised of EVC 803 Plains Woodland, however the current study records no native vegetation that accords with EVC 803 Plains Woodland.

No native vascular plant species were recorded in the study area. The whole site consists of relatively consistent cropping paddocks, sown to wheat that carry no native vegetation.

Only one vertebrate faunal species was sighted, and this was the locally significant Australian Raven.

The Flora and Fauna assessment concluded that no native vegetation was recorded for the study area, only one locally significant bird species, Australian Raven, was sighted and there are no implications under the Commonwealth EPCB Act, Clause 52.17 of the Central Goldfields Planning Scheme or the Flora and Fauna Guarantee Act.

The Broiler Code

The Department of Agriculture have provided their consent and provided a detailed assessment of the proposal against the Broiler Code. There are some deficiencies in the proposal, however nothing that could not be addressed by providing further details.

A review of the Department of Agriculture response is provided earlier in this report, and their response is attached to this report.

Environmental Management Plan

Element 6 (E6): Farm operation and management of the Broiler Code requires an Environmental Management Plan (EMP). It is to include strategies and measures to avoid or minimise environmental risks and contingency actions to manage environmental problems that may arise.

An EMP was submitted with the application material and subsequently provided to Agriculture Victoria for their review.

Agriculture Victoria were satisfied with the submitted EMP and recommended the Odour ERA, EMP and plans form part of any permit to the satisfaction of the responsible authority.

Other matters raised in objections and submissions

Some of the issues raised by objectors such as decreasing property values, compliance with other planning permits and the cumulative impact of broiler farms are not considered a relevant planning consideration.

Decreasing property values has long been held by VCAT not to be a relevant planning consideration.

We can only consider the application before Council and any compliance issues with other planning permits is a potential separate enforcement action for Council to consider.

Cumulative impacts cannot be considered as the proposed broiler farm is classified as a Class B Farm, not a Cluster Farm. This has been confirmed by both the EPA and Department of Agriculture in their respective responses.

Conclusion

Overall and on balance, the proposal is assessed as being an orderly planning outcome that represents net community benefit and sustainable development for the benefit of present and future generations.

It is appropriate to ensure planning permit conditions adequately deal with operational requirements to ensure the above is achieved.

CONSULTATION/COMMUNICATION

As set out earlier within this report, notice of the application was given in the prescribed form in accordance with section 52 of the Act. Notice was given by placing a sign at the site, by publishing a notice in the Carisbrook Mercury, and sending it by post. Notice was given to the owners and occupiers of adjoining and surrounding land as well as to the EPA Victoria, while informal notice was also provided to Agriculture Victoria.

As a result, fifty-six (56) objections were received alongside two (2) neutral submissions from the EPA Victoria and Agriculture Victoria. The matters raised in both the objections and submissions have been addressed in the preceding assessment.

Council's decision on the matter will be communicated to all relevant parties following the Council meeting. Regardless of whether Council decides to grant or refuse a permit, the permit applicant as well as all objectors and submitters will receive a letter advising them of Council's decision and setting out their appeal (or review) rights to VCAT under the Act.

FINANCIAL & RESOURCE IMPLICATIONS

The assessment of planning permit applications is within the normal operational budget of Council.

To assist in the assessment and consideration of both the subject planning permit application and two other applications for proposed broiler farms in the municipality, Council's Planning department commissioned a Traffic and Transport Assessment by Impact Traffic Engineering Pty Ltd. This was prepared and provided for a total cost of \$9,460.00 incl. GST.

Should any party appeal Council's decision to VCAT and a review process occurs, additional costs will be incurred. These situations may arise if:

- Pursuant to section 77 of the Act, the permit applicant applies to VCAT for review of Council's decision to refuse to grant the permit.
- Pursuant to section 79 of the Act, the permit applicant applies to VCAT for review of Council's failure to grant the permit within the prescribed time.
- Pursuant to section 80 of the Act, the permit applicant applies to VCAT for review of any condition in a permit which Council has issued or decided to grant.
- Pursuant to section 82 of the Act, an objector applies to VCAT for review of Council's decision to grant a permit.

RISK MANAGEMENT

This report responds to Council's strategic risks:

Community Well-being - Failure to recognise and manage the impact of changing social and economic conditions on the community by assessing the application under section 60 of the Planning and Environment Act 1987 including giving consideration to amenity impacts, environmental sustainability, and compatibility with surrounding land uses.

Governance - Failure to transparently govern and embrace good governance practices by providing a clear, transparent assessment based on statutory requirements and community input. The report outlines the application details, relevant planning controls, and the rationale for the recommendation, ensuring accountability and informed decision-making.

Legislative compliance - Failure to manage our compliance with relevant legislative requirements by outlining in the report the statutory assessment process, including consideration of all matters required under section 60 of the Act, and documenting public notice and submissions in accordance with legislative requirements.

CONCLUSION

Planning permit application 022-23 seeks approval for the use and development of the land for a Class B broiler farm for up to 400,000 birds and a caretaker's house with associated buildings and works at 3280 Pyrenees Highway Moolort.

A Council resolution/determination is sought on the application as fifty-six (56) objections and two (2) neutral submissions have been received.

The recommendation of this report is that Council, as the responsible authority and pursuant to section 61 of the Planning and Environment Act 1987, decides to grant a permit subject to conditions and issue a Notice of Decision to Grant a Permit in respect of planning permit application no. 022-23 for the use and development of the land for a Class B broiler farm for

up to 400,000 birds and a caretakers house with associated buildings and works at 3280 Pyrenees Highway, Moolort.

ATTACHMENTS

1. 20241220 022-23 Ag Vic submission [7.5.1]
2. 20240509 022-23 EPA submission [7.5.2]
3. 20240701 022-23 DTP referral response conditional consent - 3280 Pyrenees Highway Carisbrook [7.5.3]
4. 20240516 022-23 GMW referral response conditional consent [7.5.4]
5. 20240621 022-23 Plans [7.5.5]



Agriculture Victoria

20 December 2024

Tim Wild
Principal Planner, Statutory Planning
Central Goldfields Shire Council
22 Nolan Street,
MARYBOROUGH, VIC, 3465

Email: mail@cgoldshire.vic.gov.au

Dear Tim,

RE: Planning Permit Application 022-23 Use and development of the land for a class B broiler farm and caretakers house with associated buildings and works and alteration of access to a Transport Zone 2.

**Land at: 3280 Pyrenees Highway CARISBROOK 3464
LOT 6 TP98420**

Reference: 022-23

Thank you for the opportunity to provide comment on further information pursuant to a notice of application under Section 52 of the *Planning and Environment Act, 1987*.

This advice must be read in conjunction with the Agriculture Victoria initial referral response dated 12 November 2024

The advice provided in this letter relates to:

1. Review of updated documents

1. Review of updated documents

OFFICIAL

Agriculture Victoria has reviewed the following provided supporting documentation:

- 022-23 Planning Report – Farm 10, November 2024
- 022-23 Planning Report (markup) – Farm 10, November 2024
- 022-23 Broiler Farm Proposal Summary
- 022-23 Environmental Management Plan (EMP) – Farm 10, November 2024
- Odour Environmental Risk Assessment – 4 December 2024,
- GHD022-23 Land Capability Assessment

Agriculture Victoria has based our assessment on the requirements of the [Victorian Code For Broiler Farms 2009 Plus 2018 Amendments](#) (Broiler Code) with some reference to the following additional sources:

- [Planning and environment guideline for establishing meat chicken farms, Guide 1 Assessment guide, November 2021](#)
- [National Farm Biosecurity Manual poultry production](#)

Agriculture Victoria provides the following summary based on the Broiler Code Appendix 5: Proposal Summary and Application Checklist

Colour key	
Condition/requirement met, adequate detail provided	
More detail/revision required	
Not addressed	
Condition/requirement not met	

Appendix 5: Checklist for planners: Compliance with Code elements

	Yes / No	Comment	
Element 1: Location, siting and size Through the provision of appropriate setback and separation distances, do the location and size of the broiler farm and the siting of the broiler sheds, temporary litter stockpiles, compost piles and litter spreading areas: • minimise the risk of adverse amenity impacts on nearby existing, planned and potential future sensitive uses as a result of odour, dust and noise?	Gaps	Resolution of mortalities composting design and construction required.	

OFFICIAL

• not adversely affect the use and development of nearby land?			
• avoid pollution of ground and surface waters?			
• avoid adverse impacts on the visual quality of the landscape?			
• minimise biosecurity risks?			
Standard E1 S1 Amenity protection	Yes		
AM E1 M1.1 Residential Zone >1000m	Yes		
AM E1 M1.2 RLZ >750 m	Yes		
AM E1 M1.3 Meteorological conditions considered	Yes		
AM E1 M1.4 Farm Boundary >100m	Yes		
AM E1 M1.5 Litter stockpile >300m sensitive use	N/A	No litter stockpile proposed	
AM E1 M1.6 litter spreading >20m farm boundary	N/A	Litter to be removed from site	
AM E1 M1.7 litter spreading >100m sensitive use	N/A	Litter to be removed from site	
Standard E1 S2 Waterway protection			
AM E1 M2.1 Vegetative buffer 30m along waterway	N/A	No Waterway identified	
AM E1 M2.2 20m buffer from shed to vegetative buffer	N/A		
AM E1 M2.3 litter stockpile/spreading distance to waterways	N/A	No stockpile or litter spreading proposed	
Standard E1 S3 Protecting the visual quality of the landscape	Yes		
AM E1 M3.1 B&W not on steep slopes	Yes	Site is not steep	
AM E1 M3.2 B&W orientated to follow contours	Yes	Limited site contours	
AM E1 M3.3 existing ridgeline vegetation maintained	Yes	No vegetation removal proposed	
Standard E1 S4 Biosecurity	Yes		
AM E1 M4.1 Separation from other poultry farms	Yes	686m buffer maintained	
AM E1 M4.2 Stockpile >100m from shed	No	Mortalities composting appears to be within 100m of sheds	
AM E1 M4.3 Litter spreading >20 m from shed	N/A	No litter spreading proposed	
Standard E1 S5 Future use and development of neighbouring land			
AM E1 M5.1 Class B separation <50% of neighbouring property	No	Proposal needs to clarify surrounding land ownership	
AM E1 M5.2 Class B neighbouring property retains building parcel	No	Proposal needs to clarify surrounding land ownership	
Element 2: Farm design, layout and construction			
Is the broiler farm development designed and constructed to minimise the risk of adverse off-site impacts and support the cost-effective operational efficiency of the farm?			
Standard E2 S1 Protecting the visual quality of the landscape	Yes		
AM E2 M1.1 Buildings are constructed in response to the topography of the land	Yes	Screening proposed	
AM E2 M1.2 Sheds clad in non-reflective and natural-coloured materials	Yes		
Standard E2 S2 Efficient farm operation			

OFFICIAL

AM E2 M2.1 Shed orientation and tunnel fan location	Yes		
AM E2 M2.2 Site designed for efficient operation	Yes		
AM E2 M2.3 Site designed to prevent access by wild bird and vermin	Yes		
AM E2 M2.4 Water availability	Yes		
AM E2 M2.5 Water supply backup	Yes		
AM E2 M2.6 Detail of water treatment system	Yes		
AM E2 M2.7 Feed and water system adjusted as birds grow	Yes	The modern systems proposed have this functionality	
AM E2 M2.8 Nipple drinkers used	Yes		
AM E2 M2.9 Systems designed to minimise feed spills	Yes		
Standard E2 S3 Avoiding environmental impacts from broiler sheds	Yes		
AM E2 M3.1 Concrete hard stand at entrance to sheds	Yes		
AM E2 M3.2 Low permeability shed base	Yes		
AM E2 M3.3 Floor level above natural surface level	Yes		
Standard E2 S4 Noise management			
AM E2 M4.1 design and siting to minimise noise	Yes		
Standard E2 S5 Stormwater drainage			
AM E2 M5.1 Clean stormwater areas separated from areas that broiler farm waste may affect	Yes		
AM E2 M5.2 Stormwater from sheds and hard standing apron areas is collected and managed on site in a dam(s) or tanks within the broiler farm boundary	Yes		
AM E2 M5.3 Stormwater table drains with an appropriate gradient are established	Yes		
AM E2 M5.4 Soil erosion mitigation	N/A	Flat site limits erosion potential	
AM E2 M5.5 Stormwater management consistent with stormwater management plan of the responsible authority	UK	Unknown. Agriculture Victoria is not in the best position to judge this criteria	
AM E2 M5.6 Retaining dams are constructed with the capacity to retain run-off from a one-in-ten-year storm.	Yes		
Element 3: Traffic, site access, on-farm roads and parking Do the location, design and construction of farm access points, internal roads and parking areas support the safe and efficient entry and exit to the site, movement of vehicles and operation of the farm? Do the location, design and construction of farm access points, internal roads and parking areas minimise noise and lighting impacts?	Gaps	<ul style="list-style-type: none"> Access point at least 30m inside farm boundary not addressed in materials 	
Standard E3 S1 Site access (Standard 1)	No		
AM E3 M1.1 Access points constructed to appropriate standard	No	Not shown on plans	
AM E3 M1.2 Access point at least 30 metres inside boundary	No	Not shown on plans	

OFFICIAL

Standard E3 S2 Site access (Standard 2)	Yes		
AM E3 M2.1 Vehicle access points are located away from sensitive use	Yes		
AM E3 M2.2 Lighting designed to limit spill	No	No detail provided	
Standard E3 S3 Internal roads and car parking (Standard 1)			
AM E3 M3.1 Internal roads appropriately constructed	Yes	Subject to Council conditions	
AM E3 M3.2 Appropriate parking provided	Yes	Subject to Council conditions	
Standard E3 S4 Internal roads and car parking (Standard 2)			
AM E3 M4.1 Internal roads and parking areas are designed to ensure efficient traffic flow and to reduce the need for vehicles to reverse.	Yes		
AM E3 M4.2 Internal roads and parking areas located away from sensitive use	Yes		
AM E3 M4.3 Lighting baffled	Yes		
Element 4: Landscaping Is landscaping used to minimise the visual impact of broiler sheds and litter storage areas, reduce the risk of light and dust impacts on nearby sensitive uses, and protect, manage and enhance on-farm native vegetation and biodiversity?			
Standard E4 S1 Landscaping			
AM E4 M1.1 Dense vegetation and planting along frontages to public roads and other highly exposed site boundaries to provide screening	No	Vegetation plantings only proposed directly around works area. No screening proposed along roads	
AM E4 M1.2 The landscape plan incorporates a mix of trees and large shrubs	Yes		
AM E4 M1.3 Retains existing trees and native vegetation	Yes	None on the development site	
AM E4 M1.4 Mounds of approximately 2 m high are used if the natural topography and tree planting cannot effectively screen a broiler farm	Yes	Not required in the flat landscape	
AM E4 M1.5 Plantings and vegetation are located no closer than 20 m from the perimeter of the broiler sheds	Yes		
AM E4 M1.6 Unpaved areas around sheds are grassed to prevent soil erosion and minimise the heat load	Yes		
AM E4 M1.7 Ground surfaces that are exposed to erosion are stabilised with ground cover planting	Yes		
AM E4 M1.8 The permit approval requires the establishment of a landscape performance bond, to ensure effective implementation of a landscape plan approved by the responsible authority.	No	No detail provided	
Element 5: Waste management Are measures in place to manage spent litter from the farm operations to minimise odour and dust generation, prevent the pollution of surface water, groundwater and land, and minimise biosecurity risks?	Gaps	<ul style="list-style-type: none"> Mortality composting detail and design not provided 	

OFFICIAL

Are measures in place to manage the disposal of dead birds from the farm operations to minimise odour and dust generation, prevent pollution of surface water, groundwater and land, and minimise biosecurity risks? Are measures in place to manage chemical waste from the farm operations to prevent the pollution of surface water, groundwater and land?			
Standard E5 S1 Spent litter	N/A	None proposed	
AM E5 M1.1 Temporary litter stockpiles/compost piles are not visible/screened	No	No detail provided	
AM E5 M1.2 Stockpiles are located to prevent run-off into sensitive areas	No	None proposed	
AM E5 M1.3 Nutrient-rich run-off stockpiles is collected in a sump or dam	No	None proposed	
AM E5 M1.4 Stockpiles are on an impermeable base	No	None proposed	
AM E5 M1.5 Litter application is not on land subject to conditions where there is any risk of nutrient run-off to waterways, surrounding land or groundwater.	N/A	None proposed	
Standard E5 S2 Dead birds			
AM E5 M2.1 Adequate freezers and space for the freezers are provided	N/A		
AM E5 M2.2 Dead bird bins are not left in public view, and the collection vehicle does not come in close proximity to the broiler sheds	No	Not addressed	
AM E5 M2.3 The collection point so the bins are protected from extreme weather conditions; and the site can be easily cleaned in the event of a spill	N/A		
AM E5 M2.4 Dead bird collection vehicles and all containment systems are leak proof and vermin proof	N/A		
Disposal by composting of farm – Approved measures E5 M1.1-1.4 all apply to meet the standard for this system of dead bird management			
AM E5 M2.5 Incineration of dead birds is only in incinerators built for purpose.	N/A	Not proposed	
AM E5 M2.6 On-site burial of dead birds is undertaken only in an emergency situation and with the approval of the relevant authorities	N/A	EMP proposes on-site and off-site removal from site rather than on-site burial	
Standard E5 S3 Chemical waste			
AM E5 M3.1 Secure sheds, with an impermeable concrete base and appropriate bunding	Yes		
Element 6: Farm operation and management (environmental management plan (EMP)) Are measures in place to ensure best practice management of the farm to avoid or minimise the risk of adverse impacts on the surrounding environment and neighbouring sensitive uses? Does the EMP adequately describe the day-to-day operation and management of the farm, including contingency plans? Does the EMP adequately describe the routine auditing program proposed for the farm?	Yes		

OFFICIAL

Standard E6 S1			
AM E6 M1.1 An environmental management plan (EMP) is developed that is site specific and based on the approved generic EMP	Yes		
AM E6 M1.2 The farm grower / operator maintains and updates (as required) a manual containing the EMP		Not able to be assessed at application stage. A matter for continuing compliance with the Broiler code when farm operational	

OFFICIAL

Conclusion

The Central Goldfields Shire Council as the responsible authority will have to make a determination as to whether the application for the proposal meets the strategic objectives of the Central Goldfields Planning Scheme.

Agriculture Victoria considers that:

- The Application addresses the requirements of the *Victorian Code for Broiler Farms 2009 (plus 2018 amendments)*, subject to amendments as per the following:
 - 022-23 Planning Report – Farm 10, November 2024, is amended to remove reference to Greater Geelong Planning Scheme in contents page 2
 - Construction and site plans are amended to include detail and design for dead bird composting and re-use to the satisfaction of Council (noting references to that activity in 022-23 Planning Report – Farm 10, November 2024, and 022-23 Environmental Management Plan (EMP) – Farm 10, November 2024)
 - Agriculture Victoria have previously noted the application material provides no detail as to the design and construction of the mortality composting pad or the spreading of compost on the land and this is yet to be addressed.
 - Matters raised in Appendix 5: Checklist for planners: Compliance with Code elements as per previous pages.
- The proposed shed location would appear to meet the minimum separation distance requirement of 686m for a Class B broiler farm with 400,000 birds to neighbouring sensitive uses (dwellings).
- The Environment Protection Authority Victoria will be able to provide comment on the suitability of the Odour Environmental Risk Assessment (OERA) and comments that: *sensitive receptors were identified within 2 km of radius from the site as this is generally considered the distance at which sensitive receptors are likely to experience odour nuisance from an odour source. A total of seven receptors have been identified within 2 km of the site boundary to be included in this assessment.* (3.3 Sensitive receptors)

Recommendations

Agriculture Victoria conditionally supports the application 022-23 on LOT 6 TP98420, 3280 Pyrenees Highway, Carisbrook for the use and development of the land for class B broiler farm with a maximum farm capacity of 400,000 birds and recommends that if a permit is granted that:

- The permit 022-23 for LOT 6 TP98420, 3280 Pyrenees Highway, Carisbrook allows: The use and development of the land for class B broiler farm with a maximum farm capacity of 400,000 birds.
- The Odour ERA, Environmental Management Plan and Site Plans are endorsed and form part of any permit issued to the satisfaction of the Responsible Authority.

This letter of advice is provided to Council to assist their assessment of the above planning permit application and any requirement in seeking further information from the applicant as part of its assessment process. The information provided should be considered as advisory in nature to inform Council's determination as the Responsible Authority.

OFFICIAL

Please provide a copy of Council's decision for our records.

Please contact me if you require any further clarification.

Regards



ks

Agriculture Victoria Planning and Advisory Service
Agriculture Victoria | Department of Energy, Environment and Climate Action
255 Ferguson Road, Tatura, Victoria 3616
M: 0436 934 574 | E: agvic.planning@agriculture.vic.gov.au

OFFICIAL

Tim Wild

From: Development Advisory <development.advisory@epa.vic.gov.au>
Sent: Thursday, 9 May 2024 2:59 PM
To: Tim Wild
Subject: EPA Response: planning permit application - 022-23 - 3280 Pyrenees Highway, Carisbrook

[EXTERNAL EMAIL] DO NOT CLICK on links or open attachments in this message unless you recognise the sender and know the contents are safe.

OFFICIAL

Dear Tim,

RE: Planning permit application: 022-23

Proposal: Use and development of the land for a class B broiler farm and caretakers house with associated buildings and works and alteration of access to a Transport Zone 2

Address: 3280 Pyrenees Highway, Carisbrook

Thank you for your correspondence in relation to the above planning permit application, received by Environment Protection Authority (EPA) on 29 April 2024.

EPA is not a statutory referral Authority under Section 55 of the *Planning and Environment Act 1987*, since this proposal:

- a) does not require a licence or works approval or amendment to a licence or works approval;
- b) is not proposed to be used for an industry or warehouse for a purpose listed in the table to Clause 53.10 shown with a threshold distance not specified or for which the threshold distance cannot be met; and
- c) is not a proposed extractive industry intended to be used at a later date for landfill.

The Proposal

EPA understands this permit application is for the use and development of a broiler farm and associated caretaker's residences in a Farming Zone, on Lot 6, TP98420 at 3280 Pyrenees Highway, Carisbrook.

The proposal seeks to use the land for a Class B Broiler farm and associated caretakers residence. The farm will have a maximum capacity of 400,000 birds. Proposed development includes:

- Six (6) broiler sheds.
- A caretakers house.
- 9 feed siloes of approximately 9m in height and 3.4m in diameter.
- An amenities building.
- An energy centre building.
- 3 water storage tanks and a water settling pond.
- An extension of a 150mm PVC water line to the farm from an existing waterline.
- An all weather access road from Pyrenees Highway.

The farm will operate 24 hours a day, 365 days of the year for the primary purpose of growing broilers for chicken meat. The application states that majority of the work and traffic generation will occur between the hours of 7am and 7pm on weekdays, and 7am and 1pm on Saturdays. No information has been provided regarding operations on a Sunday. Bird collection for slaughter will occur during the night, when the birds are asleep and/or largely inactive. Five (5) full time employees will be required to operate the farm.

Based on the information provided, EPA does not object to the proposal. However, Class B broiler farms may pose risks in terms of odour, noise, and dust production. As such, EPA provides the following advice intended to assist Council as the responsible

authority, as well as the proponent, in ensuring the development does not cause harm to the environment, amenity or human health.

Farm classification and recommended minimum separation distances

The “Victorian Code for Broiler Farms 2009 (the Code)” provides a basis for the planning, assessment, and approval of broiler farms in Victoria. Compliance with the Code is mandatory for the establishment of all new broiler farms in Victoria. The Code classifies broiler farms and applies differing assessment requirements, notification, and review rights depending on this classification.

The Code establishes minimum separation distances required between broiler farms and sensitive uses to minimise any off-site impacts of the industry. In accordance with Formula 1 of the Code and a farm capacity of up to 400,000 the required distance for this proposal is calculated to be 686m. This distance is met by the proposal, with the closest sensitive receptors being 1116m to the broiler sheds.

Under the Code, the proposed farm is therefore classified as a Class B Broiler Farm as:

- The proposed farm capacity will not exceed 400,000 birds; and
- The development can meet the minimum separation distance requirement (as defined by Formula 1 of the Victorian Code for Broiler Farms 2009), with this distance not being fully contained within the broiler farm boundary.

Therefore, the farm does not require an Odour Environmental Risk Assessment (Odour ERA) for the development to proceed.

State of Knowledge and Expectations under the General Environmental Duty

EPA advises that the *Environment Protection Act 2017* came into effect on 1 July 2021.

The general environmental duty (GED) forms the centrepiece of the new laws. It describes that all Victorians have an obligation to prevent risks to human health or the environment by understanding those risks and taking reasonably practicable steps to eliminate or minimise them. This includes being familiar with the state of knowledge associated with a practice.

The concept of ‘state of knowledge’ describes the body of accepted knowledge that is known, or ought to be known, about the risks to human health or the environment which a specific practice or industry presents, including any knowledge relating to industry best practice methods of risk minimisation or management.

EPA considers that the publication “Planning and Environment Guideline for Establishing Meat Chicken Farms (2021) (the Guideline)” produced by AgriFutures is key to the current state of knowledge relating to broiler farms:

- Guide 1: Assessment guide (Australian industry standard), <https://agrifutures.com.au/product/planning-and-environment-guideline-forestablishing-meat-chicken-farms-guide-1-assessment-guide/>
- Guide 2: Applicant guide (Australian industry standard), <https://agrifutures.com.au/product/planning-and-environment-guideline-forestablishing-meat-chicken-farms-guide-2-applicant-guide/>

EPA considers it may therefore be appropriate for Council to ensure that the permit applicant is familiar with the publication, and additionally understands and is fully aware of their duties under the GED in the management of their business.

Conclusions and Recommendations

In line with the Victorian Code for Broiler Farms 2009 (plus 2018 amendments), EPA confirms that:

- The proposal is classified as a Class B Broiler Farm.

EPA is working with industry and the community to help them understand how to fulfil their obligations under the amended *Environment Protection Act 2017* and GED, by providing guidance, advice, and other support. Abiding by the GED is vital to proper management of risk in this proposal, both during and after development. Current state of knowledge relating to broiler farms suggests that the proponent may make themselves familiar with the Guideline in addition to the Code, and Council may wish to remind or notify them of their duties under the GED.

Council Meeting Agenda - Wednesday 17 December 2025

EPA advises that the proposal should adhere to any and all requirements set out by AgVic.

Should a permit be issued, EPA recommends the inclusion of the following permit note to ensure that these new duties under the *Environment Protection Act 2017* are understood.

- A. The *Environment Protection Act 2017* came into effect on 1 July 2021 and imposes new duties on individuals and/ or businesses undertaking the activity permitted by this permit. If your business engages in activities that may give rise to a risk to human health or the environment from pollution or waste, you must understand those risks and take action to minimise them as far as reasonably practicable.

For further information on what the laws mean for Victorian businesses go to: <https://www.epa.vic.gov.au/for-business/new-laws-and-your-business>

For further information on what the new laws will mean for individuals and the community go to: <https://www.epa.vic.gov.au/about-epa/laws/new-laws/the-new-act-for-the-community>

General comments & further guidance

EPA is working with industry and the community to help them understand how to fulfil their obligations under the *Environment Protection Act 2017* and the GED, by providing guidance, advice, and other support.

The following guidance material will assist with the application of the environment protection framework:

- EPA Publication 1961: Guideline For Assessing and Minimising Air Pollution <https://www.epa.vic.gov.au/about-epa/publications/1961>
- EPA Publication 1695.1: Assessing and controlling risk: A guide for business provides businesses with a risk management framework that can be applied to help prevent harm to human health and the environment. <https://www.epa.vic.gov.au/about-epa/publications/1695-1>
- Civil construction, building and demolition guide, EPA Publication 1834 <https://www.epa.vic.gov.au/about-epa/publications/1834>
- Guidance of assessing odour, EPA Publication 1883, <https://www.epa.vic.gov.au/about-epa/publications/1883>
- Reasonably practicable, EPA Publication 1856, <https://www.epa.vic.gov.au/about-epa/publications/1856>
- Industry guidance: supporting you to comply with the general environmental duty, EPA Publication 1741.1, <https://www.epa.vic.gov.au/about-epa/publications/1741-1>
- Guide to the Environment Reference Standard, EPA Publication 1992, <https://www.epa.vic.gov.au/about-epa/publications/1992>
- Victorian Code for Broiler Farms 2009 (Plus 2018 amendments), published by the Department of Primary Industries and dated September 2009 <https://agriculture.vic.gov.au/farm-management/planning-and-farm-development/information-for-applicants/broiler-farms>
- General Environment Duty, EPA website, <https://www.epa.vic.gov.au/for-business/new-laws-and-your-business/general-environmental-duty>
- Understanding your environmental obligations, EPA website, <https://www.epa.vic.gov.au/for-business/new-laws-and-your%20business/understanding-your-environmental-obligations>

If you require additional information or would like to discuss this matter, please contact me on 1300 EPA VIC (1300 372 842).

Kind regards,


Planning Advisor
Development Advisory



E 

P 1300 372 842
A 200 Victoria St, Carlton

epa.vic.gov.au



From: Tim Wild [REDACTED]
Sent: Monday, April 29, 2024 2:23 PM
To: Development Advisory <development.advisory@epa.vic.gov.au>
Subject: Non-statutory provision of planning permit application - 022-23 - 3280 Pyrenees Highway, Carisbrook

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear EPA,

We are writing to you regarding a recent planning permit application (ref. 022-23) at 3280 Pyrenees Highway, Carisbrook. The proposal is for a 'Class B' Broiler Farm with related development and up to 400,000 birds at any one time.

As a Class B Broiler Farm, the application is not subject to a strict notice requirement to the EPA under the Central Goldfields Planning Scheme, which would apply if the proposal were a Special Class Broiler Farm or Farm Cluster. Nonetheless, we are providing the application documentation to you and inviting your comment in a 'non-statutory' sense. If there are any assessment comments you are willing to offer or permit conditions that you suggest are warranted, we would welcome them.

APPLICATION No.	022-23
ADDRESS	3280 Pyrenees Highway, Carisbrook
PROPOSAL DESCRIPTION	Use and development of the land for a class B broiler farm and caretakers house with associated buildings and works and alteration of access to a Transport Zone 2

Should you wish to discuss the matter, please don't hesitate to contact me.

Regards

[REDACTED]
Principal Planner, Statutory Planning
[REDACTED]

[REDACTED]
www.centralgoldfields.vic.gov.au



Philip Adams,
To the Pyrenees,
2024, oil and
acrylic on canvas,
92 x 122cm.

*Experience the creativity
of Central Victoria*

**Philip Adams, Craig Barrett
and Jackie Gorrington**

18 APRIL TO 14 JULY 2024

CENTRAL GOLDFIELDS ART GALLERY



Sign up to our eNews – www.centralgoldfieldsartgallery.com.au

The information transmitted, including attachments, is intended only for the person(s) or entity to which it is addressed and may contain confidential and/or privileged material. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by persons or entities other than the intended recipient is prohibited. If you received this in error, please contact the sender and destroy any copies of this information.

Message protected by MailGuard: e-mail anti-virus, anti-spam and content filtering.

<https://www.mailguard.com.au/mg>

This email (and any attachments) is for the intended recipient only and may contain privileged, confidential or copyright information. If you are not the intended recipient, any use of this email is prohibited, please notify the sender immediately or contact us on 1300 372 842 (1300 EPA VIC), or contact@epa.vic.gov.au and delete the original. EPA does not warrant that this email or any attachments are error or virus free and accepts no liability for computer viruses, data corruption, delay or interruption, unauthorised access or use. Any personal information in this e-mail must be handled in accordance with the Privacy and Data Protection Act 2014 (Vic).

Message protected by MailGuard: e-mail anti-virus, anti-spam and content filtering.

<https://www.mailguard.com.au/mg>

[Report this message as spam](#)



Department of Transport
and Planning

GPO Box 2392
Melbourne, VIC 3001 Australia
www.transport.vic.gov.au

Ref: PPR 45956/24

Tim Wild
Central Goldfields Shire Council
22 Nolan Street
Maryborough VIC 3465

Dear Tim

PLANNING APPLICATION No.: 022-23
DEPARTMENT REFERENCE NO: PPR 45956/24
PROPERTY ADDRESS: 3280 PYRENEES HIGHWAY, CARISBROOK VIC 3464

Section 55 – No objection subject to conditions

Thank you for your referral dated 30/4/2024 of the above application to the Head, Transport for Victoria under Section 55 of the *Planning and Environment Act 1987*.

The Head, Transport for Victoria has considered this application and does not object if the permit is subject to the following conditions:

1. There must only be a single access point from the subject land to the Pyrenees Highway as shown on the plans appended to the application.
2. The proposed farm (Farm 10) must utilise the existing access.
3. No new access will be permitted.

Please forward a copy of any decision to this office as required under the *Planning and Environment Act 1987*.

Should you have any enquiries regarding this matter, please contact [REDACTED] [REDACTED]
statutory.planning@roads.vic.gov.au

Yours sincerely

[REDACTED]

[REDACTED]
A/ Team Leader – Statutory Planning
Under delegation from the Head, Transport for Victoria
1/7/2024



Cc: Permit applicant



OFFICIAL

GMW Ref: PP-24-00464
Doc ID: A4935626

Central Goldfields Shire Council
Planning Department
mail@cgoldshire.vic.gov.au

16 May 2024

Dear Sir and/or Madam,

Planning Permit Application - Agriculture - Animal Husbandry - Broiler Farm, Caretakers Dwelling & Associated Buildings & Access

Application No. 022-23
Applicant: Pavilion Farms [REDACTED]
Location: 3280 Pyrenees Highway CARISBROOK
V 11812 F 000 Lot 1 Plan 098420
V 11812 F 000 Lot 3 Plan 098420
V 11812 F 000 Lot 5 Plan 098420
V 11812 F 000 Lot 6 Plan 098420
V 11812 F 000 Lot 4 Plan 98420N

Thank you for your letter and information received 29 April 2024 in accordance with Section 55 of the *Planning and Environment Act 1987*.

Goulburn-Murray Water's (GMW's) areas of interest are surface water and groundwater quality, use and disposal. GMW requires that development proposals do not impact detrimentally on GMW's infrastructure and the flow and quality of surface water and groundwater. Applicants must ensure that any required water supplies are available from an approved source.

GMW understands that the applicant is seeking planning permission for a 6 shed broiler farm, caretakers dwelling, a water retention dam, a amenities and generator room, hot water heating facility room and extension of an existing water pipeline. The property is zoned FZ and is located in the Loddon River (Laanecorie) Special Water Supply Catchment area. A Land Capability Assessment has been provided outlining that the site can accommodate a conventional wastewater treatment system.

Based on the information provided and in accordance with Section 56 (b) of the *Planning and Environment Act 1987*, Goulburn-Murray Water has no objection to this planning permit being granted subject to the following conditions:

1. All construction and ongoing activities must be in accordance with EPA Publication 1834.1 Civil Construction, Building and Demolition Guide (September 2023).

OFFICIAL



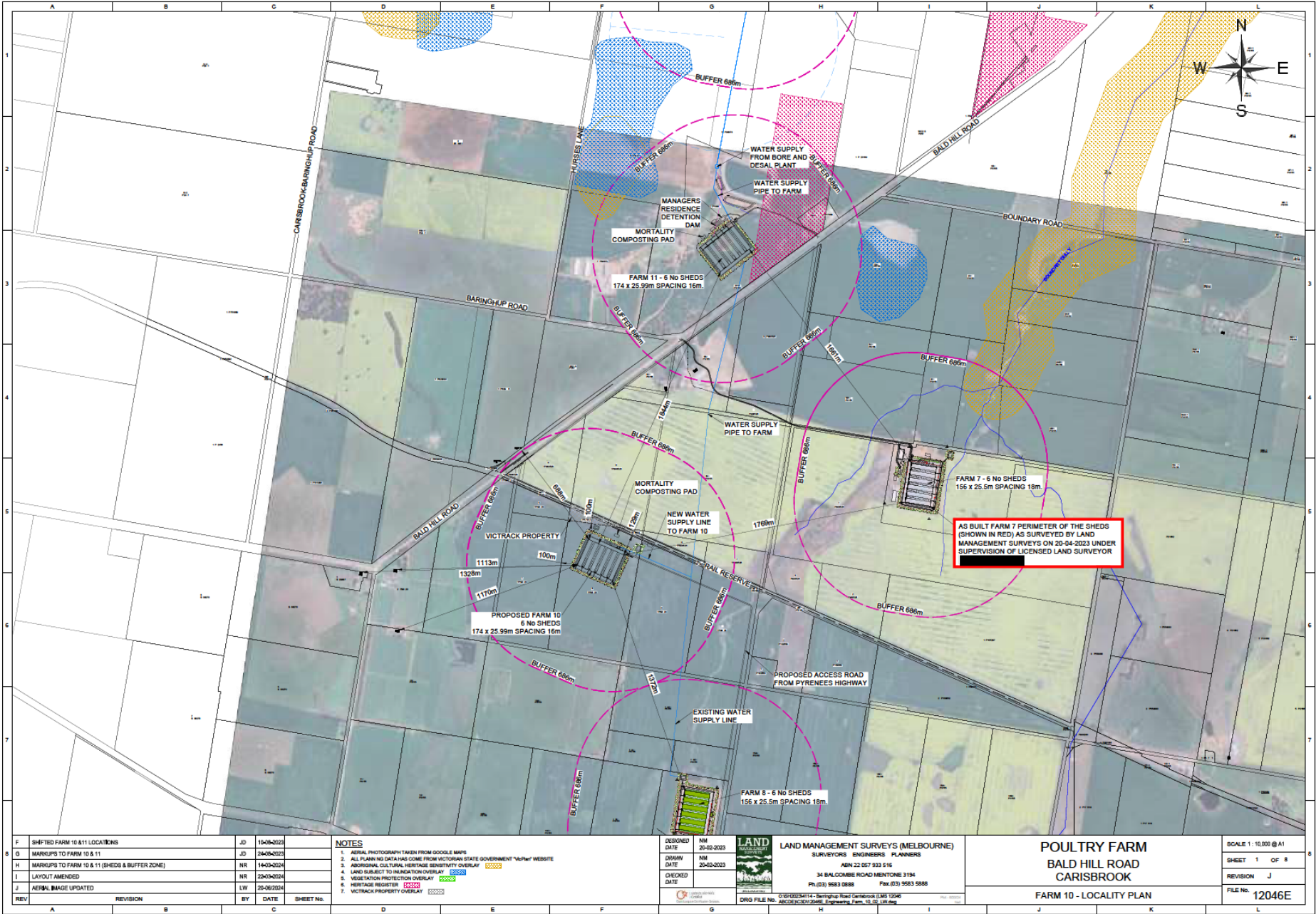
2. All domestic wastewater from the dwelling and amenities buildings must be treated and disposed of using an approved system. The system must have a certificate of conformity issued by the Conformity Assessment Body (or equivalent approval) and be installed, operated and maintained in accordance with the relevant Australian Standard and EPA Code of Practice.
3. All wastewater disposal areas must be located at least: 100m from any waterways, 40m from any drainage lines, 60m from any dams, and 20m from any bores.
4. The development must be undertaken in accordance with the requirements of the Victorian Code for Broiler Farms, 2009 (including 2018 amendments).
5. The broiler sheds must be located at least 50m from all waterways/drainage lines.
6. The floor of the sheds must be constructed with an impervious surface such as concrete or of clay compacted to achieve a design permeability of 1×10^{-9} m/sec. The shed must be designed to ensure that all litter can be retained within the shed until removal is required.
7. Contaminated litter removed from the sheds must be transported off site by an approved contractor to an approved site.
8. There must be no spent litter from the sheds stockpiled on the site. Any temporary storage areas for wet litter must have an impermeable base and bunding to ensure contaminated run-off does not discharge from the temporary storage area.
9. No land application of contaminated litter is to occur.
10. Stormwater and drainage from hard stand areas and the areas around the shed must be directed to a retention dam which must be designed with a capacity and freeboard to enable the run-off from a 1 in 10 year storm to be retained. Any overflow from the dam must not cause erosion.
11. The retention dam must be lined with an impervious liner and if clay is used it must be compacted to a seepage rate of not greater than 1×10^{-9} m/sec. The dam must be operated to a minimum level to ensure the liner does not dry out and crack. There must be no overflow of water from the dam directed to any waterways.
12. All soil removed during construction of the dam must be reused, stabilized or vegetated on-site to ensure that no sediment can be transported off-site.
13. All dead birds must be disposed of off-site or managed on-site to the satisfaction of the Environment Protection Authority.
14. Any chemicals stored on-site must be kept in accordance with the EPA Publication 1698 Liquid Storage and Handling Guidelines (June 2018).

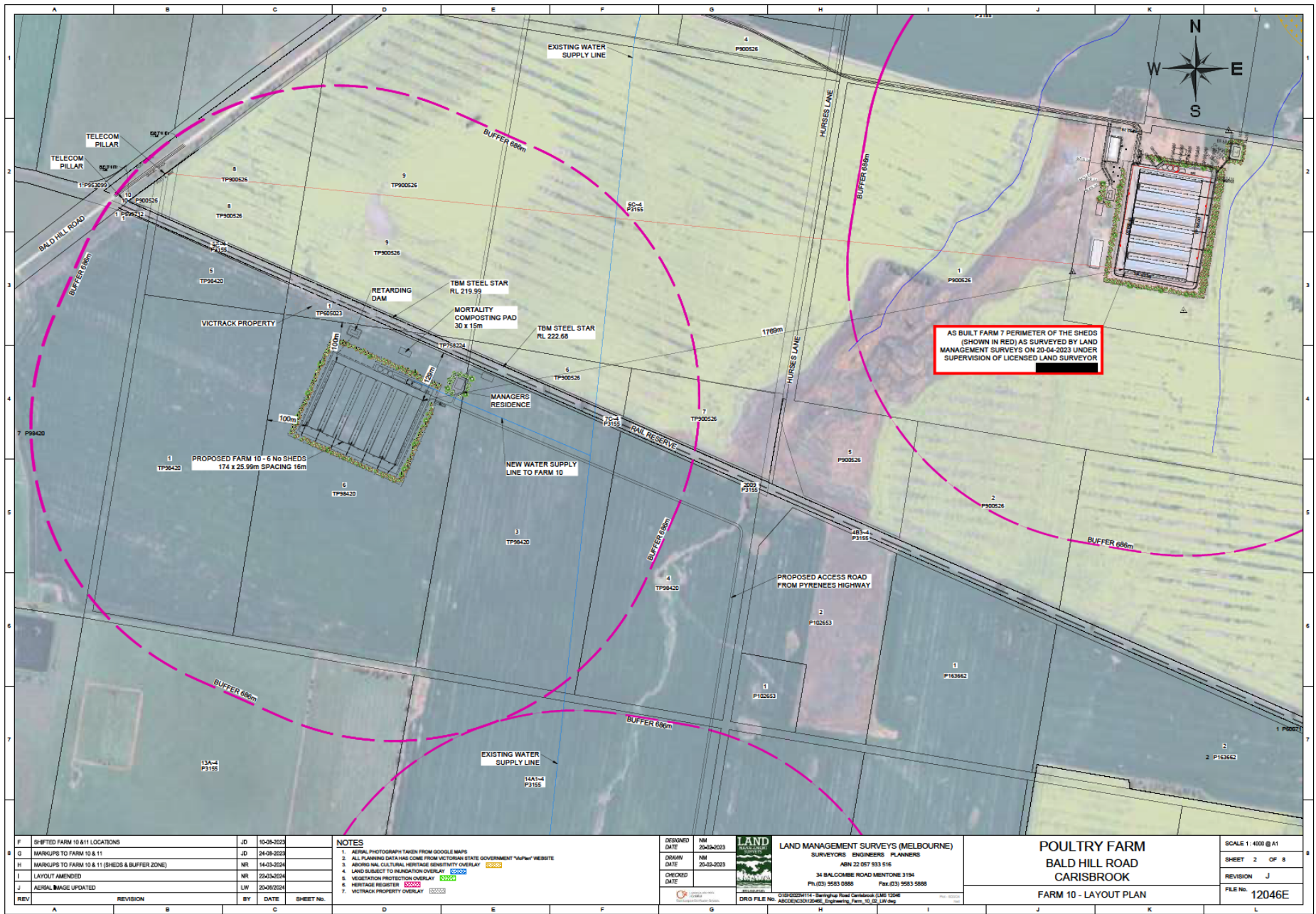
If you require further information please e-mail propertyservices@gmwater.com.au or contact 1800 013 357.

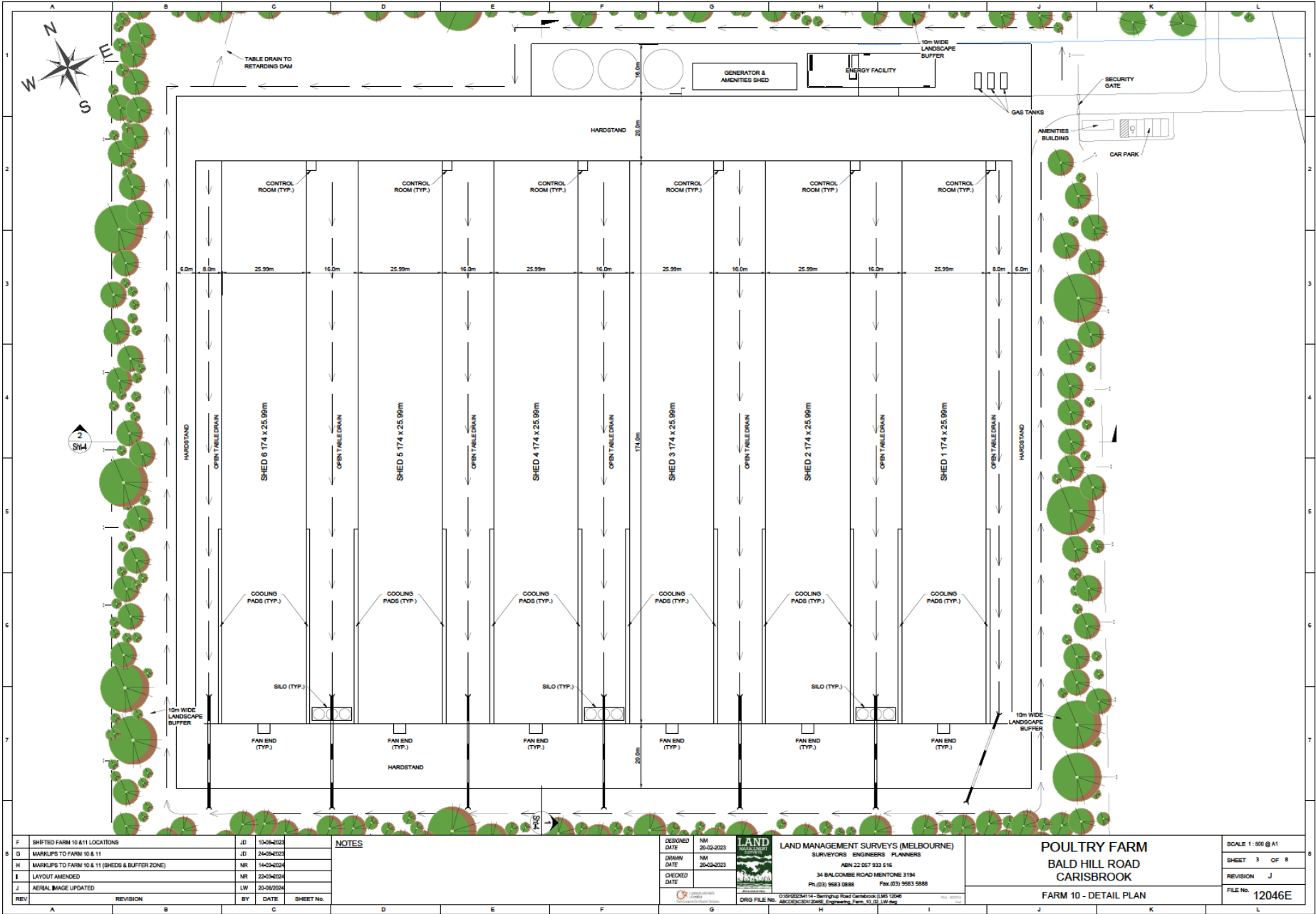
Yours sincerely

PROPERTY MANAGER

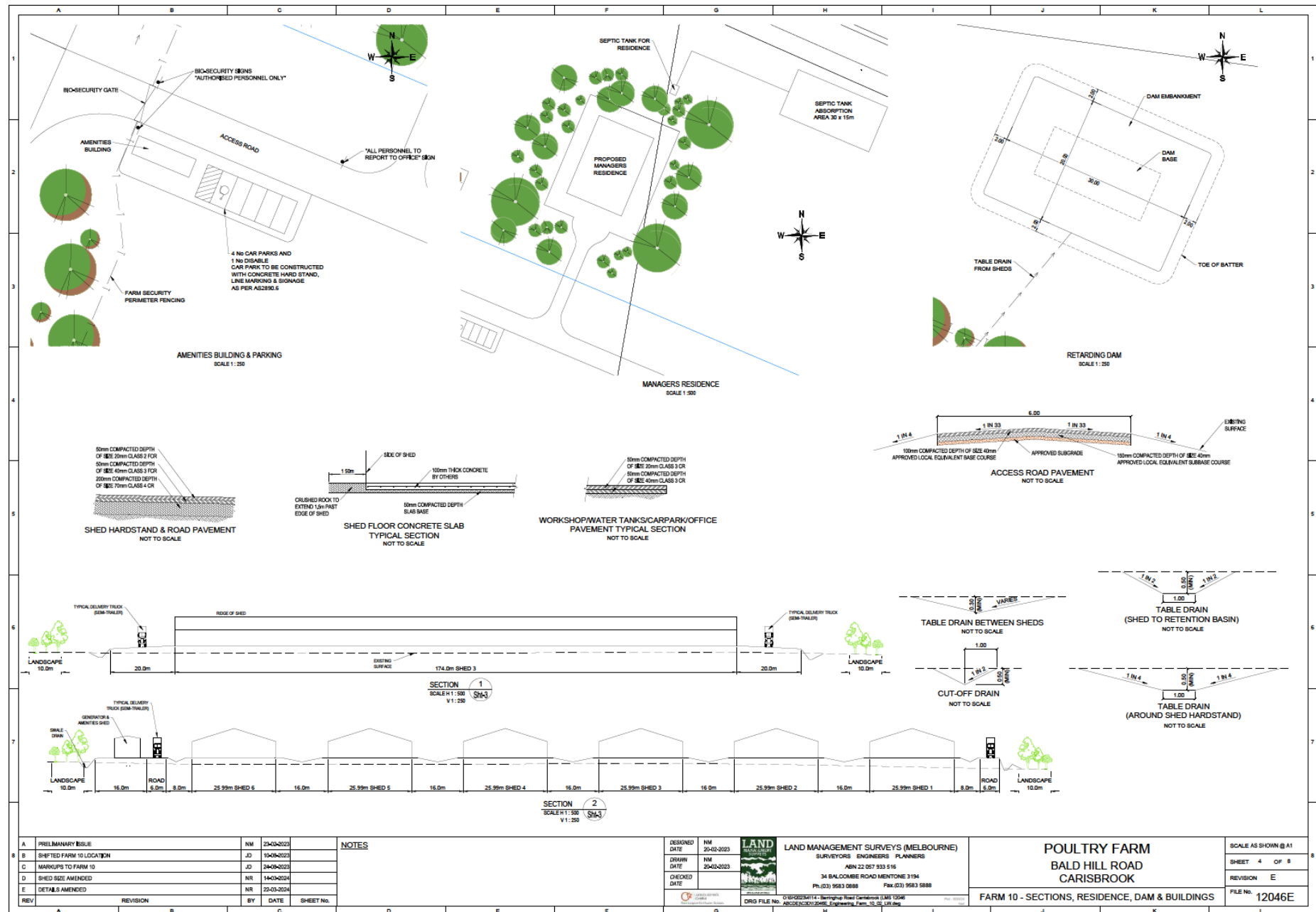
Per: (Original signed by)

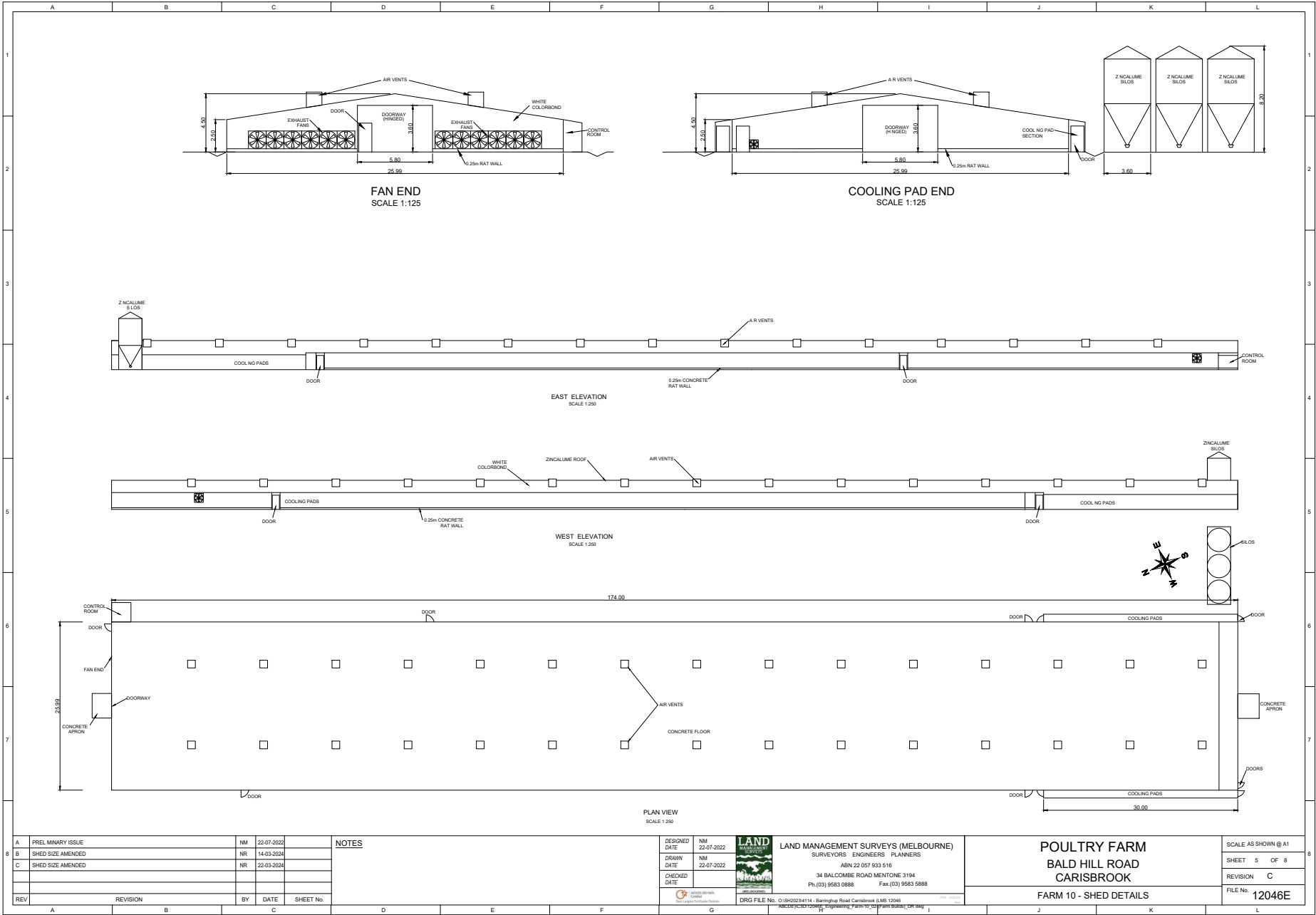


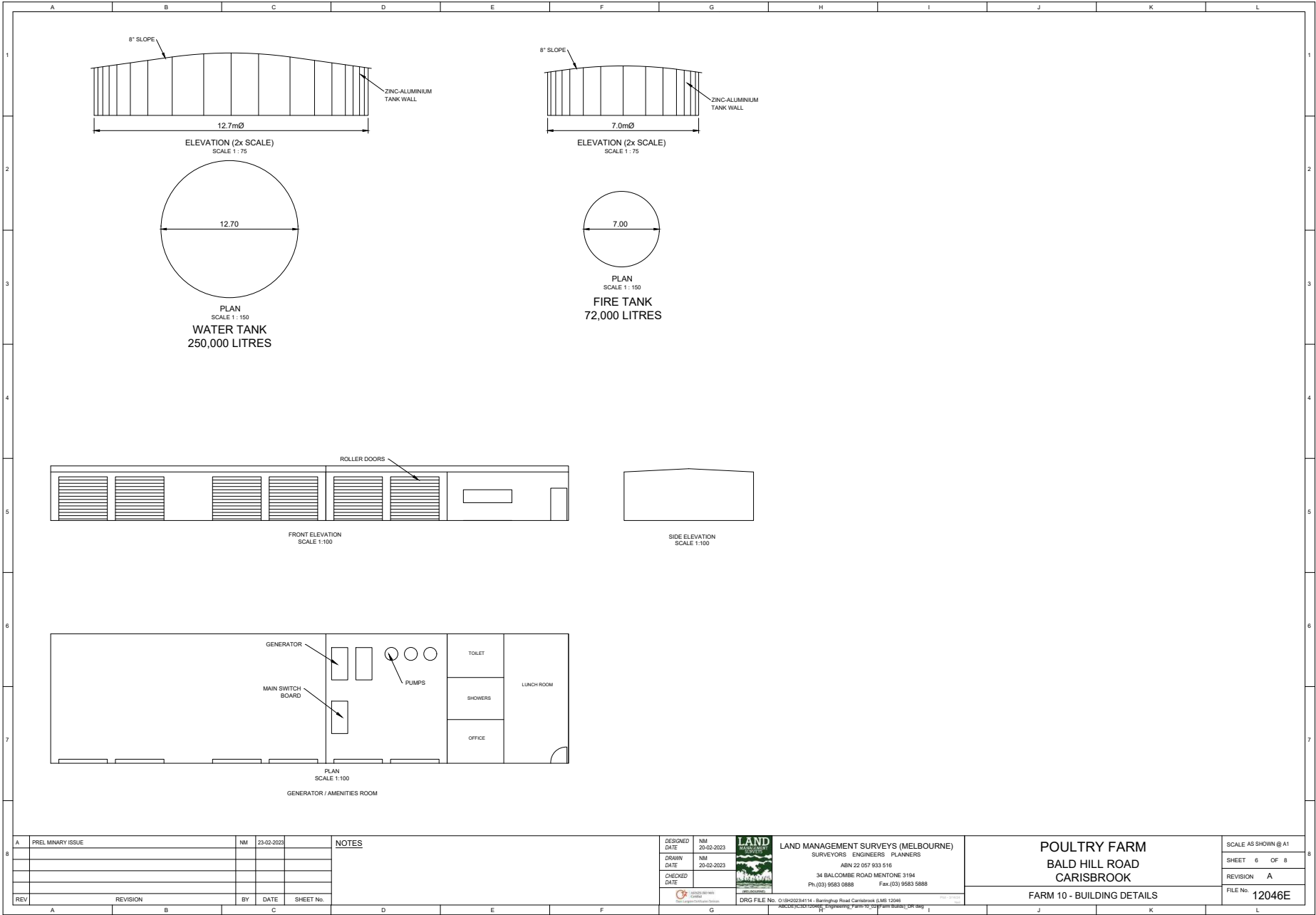


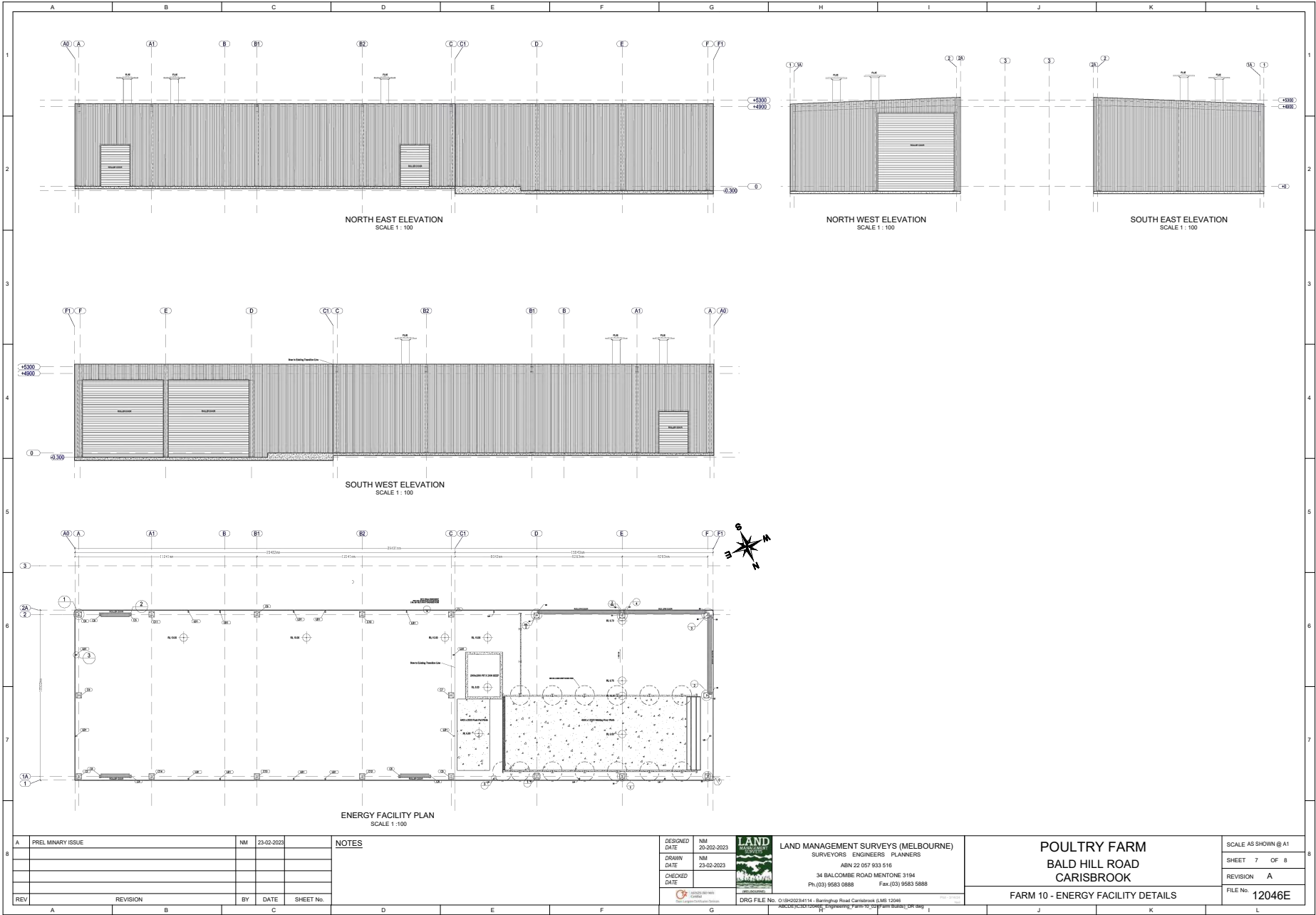


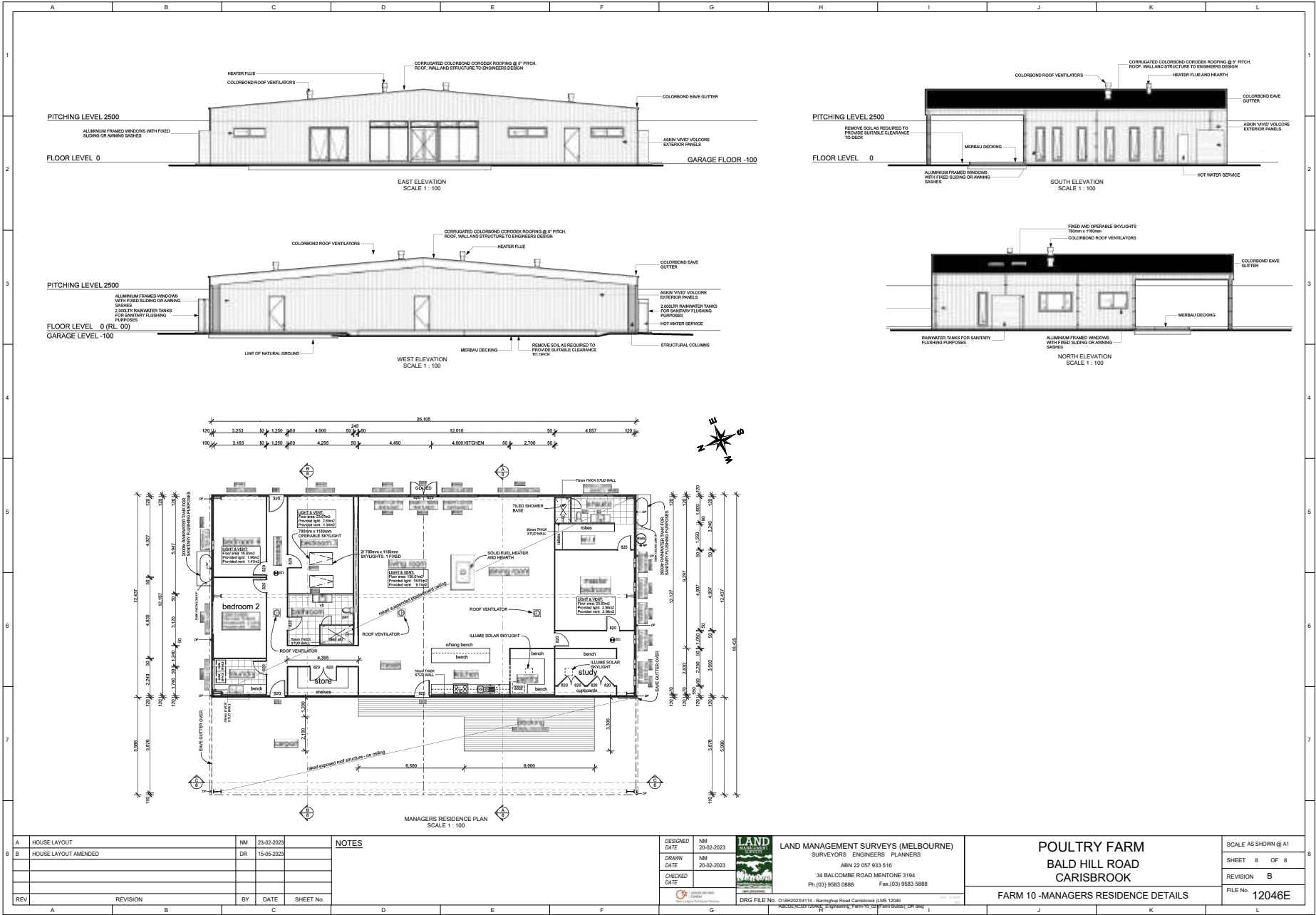
Council Meeting Agenda - Wednesday 17 December 2025











7.6 Contract G1882-2023 Panel of Suppliers – Supply, Deliver & Lay Asphalt

Author: Manager Project Services and Asset Management

Responsible Officer: General Manager Infrastructure Assets and Planning

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to seek Council approval to delegate authority to the Chief Executive Officer (CEO) to approve purchase orders and expenditure under Contract G1882-2023 – Annual Supply: Supply, Deliver & Lay Asphalt Panel beyond the initial authorised \$1.2M (inc. GST) limit, provided all expenditure remains within Council's adopted budget allocations for the 2025–2026 financial year and complies with the CEO's financial delegation limits under the S5 Instrument of Delegation from Council to CEO.

This delegation will ensure compliance with Council's Procurement Policy, maintain governance and legislative compliance, streamline administrative processes, and support the timely and efficient delivery of Council's approved Capital Works Program.

RECOMMENDATION

That Council:

1. Delegates authority to the Chief Executive Officer (CEO) to approve purchase orders and expenditure under Contract G1882-2023 – Annual Supply: Supply, Deliver & Lay Asphalt Panel beyond the initial authorised \$1.2M (inc. GST) limit, provided that all expenditure remains within Council's adopted budget allocations for the 2025–2026 financial year and complies with the CEO's financial delegation limits under the S5 Instrument of Delegation.

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision:

Leading Change

4. Good planning, governance, and service delivery.
4. Transparent decision making.
4. Effective and sustainable financial management.

Initiative: Provide financial sustainability and good governance.

BACKGROUND INFORMATION

On 20 August 2024, Council resolved to:

1. Award Contract G1882-2023 – Annual Supply: Supply, Deliver & Lay Asphalt Panel to Centre State Asphalt Pty Ltd and B.A. Road Services Pty Ltd for a four-year term, with an optional three-year extension.
2. Authorise the CEO to execute the contract and approve expenditure up to \$1.2M (inc. GST) over the initial term.

The contract establishes a panel of asphalt suppliers to support timely, cost-effective delivery of maintenance and capital works projects. The contract commenced on 1 September 2024 and is currently in place with the two approved suppliers.

REPORT

At the commencement of Contract G1882-2023 – Annual Supply: Supply, Deliver & Lay Asphalt Panel, total expenditure was estimated at \$1.2M (incl. GST) over the initial four-year term.

Since the contract began on 1 September 2024, \$530,000 (incl. GST) has been spent on asphalt works. To deliver the remaining works within the 2025–2026 Capital Works Program, additional expenditure of approximately \$1.2M (incl. GST) is anticipated. This increase is primarily due to additional external funding being received through capital grant income, including \$2M from the Victorian Government's Safe Local Roads and Streets Program and increased Roads to Recovery allocation from the Australian Government.

Expenditure Summary

Description	Amount (incl. GST)
Estimated at contract award (over 4 years)	\$1,200,000
Year 1 actual spend (2024/2025)	\$530,000
Year 2 forecast (2025/2026)	\$1,200,000

Council's resolution of 20 August 2024 limits the CEO's delegation to approve \$1.2M (inc. GST) over the initial term, which will be exceeded. To maintain compliance and avoid delays, it is proposed that Council authorise the CEO to approve expenditure under Contract G1882-2023 for works funded within the adopted 2025/2026 budget, irrespective of cumulative spend, provided all expenditure remains within Council's approved budget for this financial year and complies with the CEO's financial delegation limits under the S5 Instrument of Delegation from Council to CEO.

Risks and Mitigation

A risk assessment has been undertaken, and the table below outlines the key identified risks, how these risks have been addressed, and the measures in place to manage them.

Identified Risks	How Risks Are Addressed	Risk Management Measures
Project delays if additional Council approvals are required for each purchase.	External legal advice confirms Council may lawfully authorise CEO to approve additional expenditure within defined limits.	Delegation limited to expenditure within Council's adopted budget for the 2025–2026 financial year.
Increased financial delegation to the CEO without appropriate controls.	Internal consultation with Procurement, Governance and Executive Leadership Teams ensures governance alignment.	Ongoing compliance with Procurement Policy, the S5 Instrument of Delegation, and reporting obligations.
Compliance risks under the Local Government Act 2020 and Council's Procurement Policy.	External legal advice confirms the proposed delegation is lawful and consistent with legislative requirements; internal governance checks ensure adherence to policy.	Governance oversight maintained through Council resolution, monitoring of contract performance, and compliance with Procurement Policy and the S5 Instrument of Delegation.
Potential material change to the original tender scope.	External legal advice confirms additional works under the panel do not materially alter the contract scope.	Governance oversight maintained through Council resolution and monitoring of contract performance.

CONSULTATION/COMMUNICATION

In preparing this report, officers sought advice from Macquarie Local Government Lawyers to ensure legislative, governance and probity requirements were met. Internal consultation occurred with Council's Procurement, Governance and Executive Leadership Teams to confirm compliance with the Procurement Policy, the S5 Instrument of Delegation, and alignment with governance requirements

The initial tender process was publicly advertised in accordance with Council's Procurement Policy 2023.

FINANCIAL & RESOURCE IMPLICATIONS

Contract G1882-2023 – Annual Supply: Supply, Deliver & Lay Asphalt Panel will continue to be funded through Council's adopted Capital Works Program budget. All expenditure will remain within approved budget allocations for the 2025–2026 financial year, ensuring fiscal responsibility.

The panel arrangement optimises resource allocation and supports efficient delivery of works by reducing administrative delays. Appropriate governance controls will be maintained through:

- Council resolution authorising the delegation;
- Compliance with Council's Procurement Policy and the S5 Instrument of Delegation; and
- Ongoing reporting and monitoring of contract performance.

This approach ensures legislative compliance, transparency, and effective oversight while enabling timely delivery of the Capital Works Program.

RISK MANAGEMENT

This report addressed the following strategic risks of Council:

Financial sustainability - Failure to maintain our long-term financial sustainability.

The recommendation ensures expenditure remains within Council's adopted budget and does not impact the overall financial position.

Property and Assets - Failure to maintain, renew and expand our assets in a timely and robust way, that considers service and delivery needs.

The recommendation ensures asphalt works are delivered efficiently to maintain and renew road assets as part of the approved Capital Works Program.

Governance - Failure to transparently govern and embrace good governance practices.

By seeking external legal advice and undertaking internal consultation, this report demonstrates Council's commitment to governance and probity in decision-making.

Legislative compliance - Failure to manage our compliance with relevant legislative requirements.

The report addresses compliance with the *Local Government Act 2020* and Council's Procurement Policy by seeking a formal resolution for increased delegation.

CONCLUSION

The recommended delegation will enable the Chief Executive Officer to approve purchase orders and expenditure under Contract G1882-2023 – Annual Supply: Supply, Deliver & Lay Asphalt Panel, irrespective of cumulative spend, provided all works remain within Council's adopted budget for the current financial year and compliance with the S5 Instrument of Delegation.

This approach maintains compliance with the *Local Government Act 2020* and Council's Procurement Policy, strengthens governance through defined controls, and streamlines administrative processes to support timely delivery of the Capital Works Program.

ATTACHMENTS

1. Asphalt Contract legal advice [7.6.1]

[REDACTED]

Manager Project Services and Asset Management

Central Goldfields Shire Council

Dear [REDACTED]

Advice - Asphalt Panel Council Report

Further to your email dated 21 November 2025, Council has sought legal advice concerning Contract G1882-2023 which is a panel contract for the supply, delivery and laying of asphalt in the municipality.

To summarise the relevant facts of the matter:

- The Contract was awarded pursuant to a Council resolution on 20 August 2024 for an initial contract term of 4 years.
- Two tenderers were successfully appointed to the panel, namely, Centre State Asphalt Pty Ltd and B.A Road Services Pty Ltd.
- When the Contract was awarded, the officer's report explained that the 'potential' expenditure over the initial term was 'estimated' to be up to \$1.2M. These amounts were not fixed and represented an informed estimate based on the information available.
- Given that this proposed expenditure exceeded the CEO's financial delegation, the Council resolved to authorise the CEO to approve expenditure of up to \$1.2M over the initial term.
- Since the Contract commenced, Council has spent \$530,000 in asphalt works and it is estimated that in order to deliver the remaining asphalt works within the

25/26 Capital Works Program, Council will expend approximately \$1.2M, bringing the total expenditure across the first two years of the initial term to (approximately) \$1.75M.

- The explanation provided for the increase in expenditure is related to the receipt of additional external capital funding and funding allocations which would appear to be financially advantageous for Council.

Legal Advice

As we have not reviewed Contract G1882-2023, the following advice is based on the general formation of panel services Contracts as utilised by Local Government.

Unlike a lump sum Contract, a panel services Contract enables Council to appoint suitably qualified contractors to a panel of preferred suppliers, whereby services (as required) are provided pursuant to a tendered schedule of rates which forms part of the Contract.

Panel services Contracts generally do not guarantee expenditure of a fixed amount, rather, the terms will reference the Council's budgetary allowance for the tendered services so that prospective contractors understand the scale of the engagement.

If Council wishes to increase the volume of asphaltting works being undertaken, in accordance with its Procurement Policy, those works should be referred to Council's panel of preferred suppliers who have been assessed as being suitably qualified and as representing value for money.

It is considered that any decision to increase expenditure toward asphaltting works, (in this case driven by external funding) does not constitute a variation of the Contract terms, rather, this is an operational decision based on the need to deliver capital works for the community. It is only the level of expenditure which mandates that a formal Council resolution now be obtained in the interests of good governance.

Furthermore, it is our view that the allocation of additional works to the panel suppliers does not materially change the scope of the Contract, which remains based on the supply, delivery and laying of asphalt in the municipality, however this would need to be considered against any specific limitations referenced in the Contract.

Accordingly, and based on the matters explained above, it is our view that the Council may resolve to now authorise the CEO to approve additional expenditure up to a certain point and limit, provided that the Council is satisfied that there is proper basis for doing so.

Looking ahead, Council may consider its position on establishing a new panel if the extent of services to be provided into the future is likely to drive better pricing. That said, Council would need to consider the legal consequences (if any) of terminating the Contract before the expiration of the initial term, which we would expect to be minimal for a panel services arrangement.

██████ please do not hesitate to contact our office should there be any further queries.

Kind regards



7.7 2026 Central Goldfields Citizen of the Year Awards

Author Coordinator Events and Volunteer Development

Responsible Officer: General Manager Community Wellbeing

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to present the nominations received for the 2026 Central Goldfields Australia Day Awards. and outline the eligibility and assessment process undertaken by Council officers. The report seeks Council endorsement of the recommended nominees for each award category.

RECOMMENDATION

That Council:

1. Endorse the recommended nominees for each award category as contained in the confidential attachment (in Confidential Business); and
2. Note that the award recipients will be publicly announced at Council's Australia Day Ceremony on Monday 26 January 2026.

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision: Our Community's Wellbeing
1. Everyone is valued and belongs and has every chance to grow, prosper and thrive.

Initiative: Nurture and celebrate creativity

BACKGROUND INFORMATION

Council delivers the Australia Day Awards annually to recognise and celebrate the outstanding contributions of individuals and groups within the community. The awards highlight achievements across three categories:

- Citizen of the Year
- Young Citizen of the Year
- Community Event of the Year

The award process is designed to be transparent, accessible and consistent across years. Nominations are invited from the community, assessed against established criteria, and presented to Council for endorsement.

REPORT

The 2026 Australia Day Awards process followed the same structure as in previous years.

1. Advertising and Promotion

Nominations opened on 12 September 2025 and closed on 26 October 2025. The campaign was promoted through:

- Council's website and social media channels
- Media releases and local radio
- Flyers distributed across community hubs and Council facilities
- Councillors, community groups, and schools encouraging participation within their networks

2. Nomination Process

Nominations were accepted online via Council's website or via hard copy.

Each nomination required details of the nominee's achievements and supporting evidence relevant to the award criteria.

3. Assessment and Selection

Nominations were assessed against the established eligibility and selection criteria. Councillors were provided with the nominations, and the recommended recipients are presented in the confidential attachment for consideration and endorsement.

All deliberations and results will remain confidential, to ensure integrity and fairness of the selection process.

4. Award Criteria

The eligibility and selection criteria for each award category are summarised below.

4.1 Citizen of the Year

Eligibility Criteria

Nominees must:

- Be an Australian citizen
- Be a resident of Central Goldfields Shire at nomination close
- Be 28 years of age or older on 26 January of the award year
- Not have received the same award in the past five years
- Not have served as a Councillor in the past two years

Selection Criteria

The Selection Panel considers whether the nominee:

- Has made an outstanding voluntary contribution to the community
- Is an inspiration or role model to the community
- Has demonstrated a commitment to enhancing community welfare and wellbeing with short- or long-term benefit to others

4.2 Young Citizen of the Year

Eligibility Criteria

Nominees must:

- Be an Australian citizen
- Be a resident of Central Goldfields Shire at nomination close
- Be 27 years of age or younger on 26 January of the award year

- Not have received the same award in the past five years
- Not have served as a Councillor in the past two years

Selection Criteria

The Selection Panel considers whether the nominee:

- Has made an outstanding voluntary contribution to the community
- Is an inspiration or role model to other young people
- Has demonstrated achievement in one or more areas such as community service, academic, sporting, cultural, environmental or social responsibility

4.3 Community Project or Event of the Year

Eligibility Criteria

The award recognises a project, event or initiative delivered by a not-for-profit community group of four or more people. Eligible projects or events must:

- Have been completed, held, or reached a completed stage in the year prior to the award year
- Not have received the same award within the past five years
- Provide a service or benefit to the community, raise funds for a community purpose, or bring recognition and credit to the municipality

Selection Criteria

The Selection Panel considers:

- The purpose and outcomes of the project or event
- The impact on the community
- The ongoing benefit or legacy for the community

5. Announcement of Winners

Winners will be formally announced at the Australia Day Ceremony on 26 January 2026, and acknowledged on Council's website, social media platforms, and local media.

CONSULTATION/COMMUNICATION

The wider community were notified of the nomination period through:

- Direct email to all groups in the Leisure Services Guide, local schools, and businesses
- Council's social media
- Media release
- Phone call to schools
- A page on the Council Website
- Weekly council advertisement in Maryborough Advertiser
- Internal distribution across council departments

No external consultation was undertaken in the preparation of this report.

FINANCIAL & RESOURCE IMPLICATIONS

The Awards program is delivered within Council's existing operational budget, with no additional financial implications arising from the recommendations of this report.

RISK MANAGEMENT

This report addresses Council's strategic risk:

Community engagement- Inadequate stakeholder management or engagement impacting brand reputation and community satisfaction in Council decision making by ensuring a transparent, well-communicated nomination and selection process.

CONCLUSION

The 2026 Australia Day Awards provide Council with a formal opportunity to recognise and celebrate outstanding community contributions. The assessment process has been completed in accordance with established criteria, and recommendations are presented for Council endorsement.

ATTACHMENTS

1. Located in Confidential Business.

7.8 Quarterly Finance Report

Author: Manager Finance

Responsible Officer: General Manager Corporate Performance

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to brief Council on the financial performance for the year to date and how it is tracking against the adopted budget, noting any material differences.

RECOMMENDATION

That Council:

1. Received and notes the Quarterly Finance Report September 2025 at Attachment 1 to this report.

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision: **Leading Change**
4. Effective and sustainable financial management.

Initiative: Review budget and financial reporting processes to improve monitoring of financial performance

This report is prepared in accordance with the requirements of Section 97 of the *Local Government Act 2020*.

BACKGROUND INFORMATION

The finance report is provided for the period ended 30 September 2025.

The report compares the year-to-date results against the adopted budget.

The council adopted the 2025/26 Budget on 25 June 2025, and this report provides a comparison between the budgets and actuals for the period ended 30 September 2025.

The report explains variances to date for the reporting period, including the anticipated impact on Council's adopted operating and capital works budgets.

REPORT

In accordance with *Section 97 of the Local Government Act 2020* a quarterly budget report must be presented to Council.

The attached reports include a comparison of the operating and capital works budgets with actuals for the period ended 30 September 2025, as well as a cash flow statement and balance sheet.

Council's operating result for the period ended 30 September 2025 as per the income statement is a deficit of \$1.3m compared to a year-to-date budgeted deficit of \$0.8m.

Capital works expenditure for the period ended 30 September 2025 as per the capital works statement is \$0.77m compared to the full year capital works of \$10.6m.

Variances from the budget are explained in some detail in the tables below. The Quarterly Financial Report includes:

- Income Statement;
- Balance Sheet;
- Cashflow Statement;
- Statement of Capital Works

Income Statement

The Income Statement for the period ended 30 September 2025 shows a deficit of \$1.3m.

This is a \$0.5m variance on budget.

The September quarter financial result has been impacted by several factors;

1. Decrease \$520k in Operating grant was due to \$2.8m Federal Assistance Grant received in advance which related to FY25-26. As these grants are untied, they must be accounted for in the year they are received in FY24-25. This is budgeted to be received in FY25-26
2. Decrease \$113k in depreciation due to less capitalisation in FY24-25 due to multi-year capital project
3. Increase \$21k in employee cost due to multiple vacancies which currently replaced with contractors
4. Variances of \$188k unfavourable in material and services compared to budget include:
 - Increase in building control – carry out emergency order of \$26k for plastering issue at the Olympic Pool
 - Increase in road maintenance of \$25k (Total Budget \$620k)
 - Increase in line clearance of \$39k (Total Budget \$45k)
 - Increase in Tourism Programmes (plus OVG) of \$40k (Total Budget \$5k) due to payment made for last financial year
 - Increase in Heritage and Cultural Advice Services of \$13k with no budget
 - Increase in maintenance surrounds of \$15k (Total Budget \$685k)
 - Increase in re-active works on parks, building and structures of \$10k (Total Budget \$65k)
 - Increase in VCAT of \$23k (Total Budget \$30k)

Balance Sheet

Council's balance sheet shows a cash position of \$3.3m and working capital of 80%.

Unrestricted cash is currently -\$4.8m but this is predominately due to operating and capital grants received but not yet spent specified operating activities and capital projects, this is expected to increase over the year as projects are delivered and rate revenue is received either through instalments or when payment in full is due in February 2026.

Capital Works

Capital Works spend for the period of July 2025 – September 2025 is \$0.77m.

This now represents 7% of full year budget, and 108% of YTD budget.

It must be noted that these figures include payments made to suppliers (and accrued where appropriate).

If initial scoping of works is underway but no invoices are received as yet, this will not show as spend in the capital works statement.

Please refer to the Quarterly Capital works update for a true reflection of progress of projects.

Summary

The finalised operating result for Central Goldfields Shire Council as at 30 September 2025, was a deficit of \$1.3m.

Whilst this shows a variance to budget of \$0.5m, this is explained by timing of the Federal Assistance Grant (budgeted to be received in prior year) and the timing of some grant funded programs.

The balance sheet shows a working capital of 80% and unrestricted cash of -\$4.8m.

Working capital and council's cash position remain a focus for Council.

CONSULTATION/COMMUNICATION

The attached reports and comments have been prepared in collaboration with various Council officers.

FINANCIAL& RESOURCE IMPLICATIONS

The financial statements were prepared internally by Council officers.

The reports provide a financial snapshot of Council's performance for the period ended 30 September 2025, noting the impact on the adopted budget.

The financial position of Council will continue to be monitored and managed.

RISK MANAGEMENT

This report addresses Council's strategic risk:

- Financial sustainability - Failure to maintain our long-term financial sustainability. Any risks in relation to this report have been discussed in the report above.

CONCLUSION

Council's Income Statement for the period of July – September 2025 is a deficit of \$1.3m (budget of \$0.8m deficit), this is explained by Federal Assistance grant timing. Without the timing difference Council's result is in line with budget.

Cash and cash equivalents are \$3.3m.

ATTACHMENTS

1. Quarterly Finance Report Update YTD September 2025 (2) [7.8.1]



Central Goldfields Shire Council

Quarterly Financial Report Update – September 2025

21 October 2025



Central Goldfields Shire Council

Quarterly Financial Report

Prepared by: Manager Finance

Reviewed and Approved by: General Manager Corporate Performance

Date: 21 October 2025

The Quarterly Budget Report for September 2025 has been prepared in accordance with Australian Accounting Standards.

This report is designed to identify major variances against the September 2025 year to date budget.

The year to date and Annual Budget referred to in this report reflects the budget adopted by Council on 25 June 2025 which includes the carry forward funding for 2025/26 projects and capital works forward commitments.

Central Goldfields Shire Council
Quarterly Financial Report

Contents

1.	Overview	4
2.	Financial Statements	5
	2.1 Income Statement	5
	2.2 Balance Sheet	9
	2.3 Statement of Cashflows	10
	2.4 Cash Position	11
	2.5 Capital Works Statement	12
	2.6 Financial Performance Indicator	16

Central Goldfields Shire Council

Quarterly Financial Report

1. Overview

The September Quarterly Financial Report outlines the financial results for the three months ended 30 September 2025. This report includes a comparison of the operating and capital works budgets with actuals for the period ended 30 September 2025, as well as a cash flow statement and balance sheet.

The Quarterly Financial Report includes:

- Income Statement;
- Balance Sheet;
- Cashflow Statement;
- Cash Position;
- Statement of Capital Works; and
- Financial Performance Indicator.

This report represents three months of business in the 2025/2026 financial year. The main item to note at the end of the first quarter are:

- The income statement is a deficit of \$1.3m compared to a year-to-date budgeted deficit of \$0.81m with a variance of \$0.5m. This is primarily driven by the operating Federal Assistance Grant received in advance into prior year which relates to 2025/26 financial year and budgeted to received in the same financial year. As these grants are untied, they must be accounted for in the year they are received.

Central Goldfields Shire Council

Quarterly Financial Report

2. Financial Statements

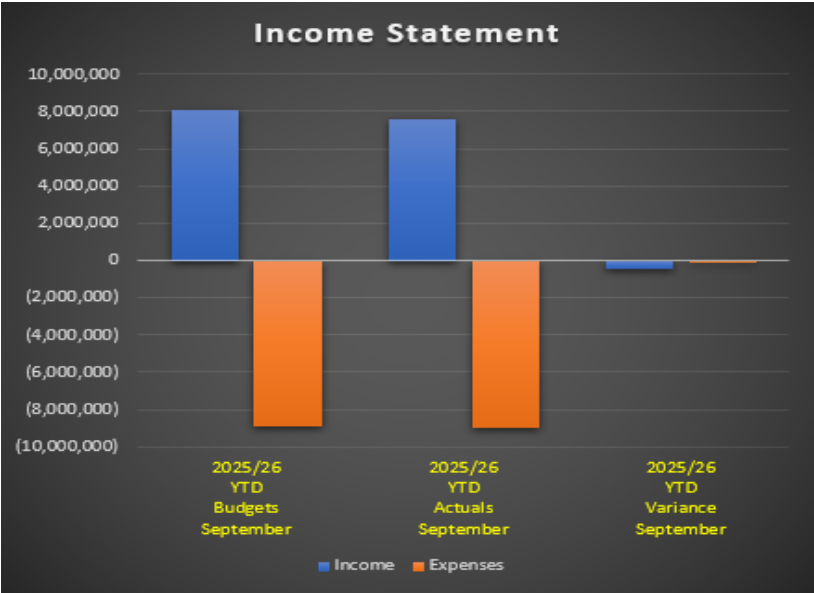
The adjusted underlying result calculated in the Income Statement is the net surplus/(deficit) for the year adjusted for non-recurrent capital grants, monetary contributions (open space contributions) and capital contributions from other sources. It is a measure of financial sustainability and Council's ability to achieve its service delivery objectives as it is not impacted by non-recurrent capital income items, which can often mask the operating result.

2.1 Income Statement

For the period ended on 30 September 2025.

INCOME STATEMENT	Notes	2024/25 June YTD Actuals	2025/26 Total Budget	2025/26 YTD Budgets September	2025/26 YTD Actuals September	2025/26 YTD Variance September
Income		38,181,350	38,375,385	8,063,131	7,608,010	(455,121)
Rates and service charges		18,236,156	19,335,914	4,794,189	4,798,495	4,306
Contributions - monetary		501,697	344,409	38,490	31,378	(7,112)
Grants - capital		3,558,196	6,103,777	203,994	203,994	0
Grants - Operating	1	13,012,262	9,661,159	2,510,568	1,990,887	(519,681)
Other Income		693,700	669,824	35,124	66,000	30,876
Statutory fees and fines		516,988	513,936	89,757	113,248	23,491
User Charges		1,662,352	1,746,364	391,009	404,007	12,998
Expenses		(37,737,534)	(36,798,722)	(8,877,721)	(8,950,992)	(73,271)
Bad and doubtful debts		(11,376)	(1,000)	0	0	0
Borrowing costs		(119,706)	(109,320)	(27,330)	(31,753)	(4,423)
Depreciation	2	(8,562,939)	(9,151,791)	(2,287,941)	(2,174,850)	113,091
Employee costs	3	(15,518,270)	(16,175,006)	(4,049,286)	(4,070,764)	(21,478)
Materials and services	4	(12,914,666)	(10,895,200)	(2,411,560)	(2,599,195)	(187,635)
Net loss on disposal of property, infrastructure, plant and equipment		(255,034)	0	0	0	0
Other Expenses		(355,542)	(466,406)	(101,604)	(74,429)	27,175
Total Surplus/(Deficit)		443,816	1,576,662	(814,590)	(1,342,981)	(528,391)
Adjusted Underlying Surplus/(Deficit)		(3,114,380)	(4,527,115)	(1,018,584)	(1,546,975)	(528,391)

Central Goldfields Shire Council
Quarterly Financial Report

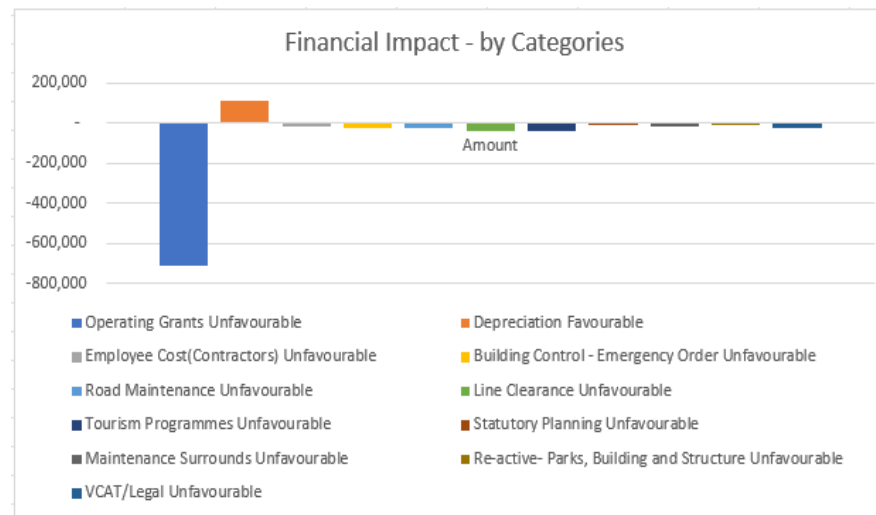


The Income Statement for the period ended 30 September 2025 shows a deficit of \$1.3m.

This is a \$0.5m variance on the year-to-date budget.

The September financial result has been impacted by several factors.

Central Goldfields Shire Council
Quarterly Financial Report



1. Decrease \$520k in Operating grant compared to year-to-date September budget was due to \$2.8m Federal Assistance Grant received in advance which related to FY25-26. As these grants are untied, they must be accounted for in the year they are received in FY24-25. This is budgeted to be received in FY25-26

Federal Assistance Grants					
	Budget FY25-26	Received in June 2025 and Recognised into FY24-25	Received in FY25-26 - Year-to-Date Sept 2025	Balance to be received in FY25-26	Variance to Budget FY25-26
General Purpose Grants	3,867,473	1,933,737	215,034	1,718,702	- 1,933,737
Local Roads Grants	1,730,191	865,096	474,528	390,567	- 865,096
	5,597,664	2,798,833	689,562	2,109,269	- 2,798,833

* Federal Assistance Grant is untied grant and it must be recognised for the financial year received

Central Goldfields Shire Council

Quarterly Financial Report

2. Decrease \$113k in depreciation due to less capitalisation in FY24-25 due to multi-year capital project
3. Increase \$21k in employee cost due to multiple vacancies which currently replaced with contractors
4. Variances of \$188k in material and services compared to budget include:
 - Increase in building control – carry out emergency order of \$26k for plastering issue at the Olympic Pool
 - Increase in road maintenance of \$25k (Total Budget \$620k)
 - Increase in line clearance of \$39k (Total Budget \$45k)
 - Increase in Tourism Programmes (plus OVG) of \$40k (Total Budget \$5k) due to payment made for last financial year
 - Increase in Heritage and Cultural Advice Services of \$13k with no budget
 - Increase in maintenance surrounds of \$15k (Total Budget \$685k)
 - Increase in re-active works on parks, building and structures of \$10k (Total Budget \$65k)
 - Increase in VCAT of \$23k (Total Budget \$30k)

Central Goldfields Shire Council

Quarterly Financial Report

2.2 Balance Sheet

For the period ended on 30 September 2025.

BALANCE SHEET	As at 30 June 2025	As at 30 Sept 2025
Assets	445,860,473	461,408,073
Current Assets	8,807,054	25,454,910
Cash and cash equivalents	4,796,885	3,322,905
Inventories	23,052	36,993
Non-current assets classified as held for sale	0	0
Other financial assets	603,928	1,175,555
Trade and other receivables	3,383,188	20,919,457
Non-current assets	437,053,419	435,953,163
Property, infrastructure, plant and equipment	437,053,419	435,953,163
Liabilities	(15,344,962)	(32,235,543)
Current Liabilities	(15,096,775)	(31,972,976)
Interest-bearing loans and borrowings	(2,089,000)	(2,089,000)
Provisions	(3,488,916)	(3,510,663)
Trade & other payables	(8,715,489)	(23,312,423)
Trust funds & deposits	(803,371)	(3,060,889)
Non Current Liabilities	(248,187)	(262,567)
Other NC Liabilities	(248,187)	(262,567)
Prepaid Revenue	0	0
Provisions	0	0
Equity	(430,515,511)	(429,172,530)
Accumulated Surplus	(128,325,124)	(126,982,144)
Accumulated Surplus	(128,325,124)	(126,982,144)
Reserves	(302,190,387)	(302,190,386)
Other Reserves	(1,172,277)	(1,172,277)
Asset Revaluation Reserve	(300,704,760)	(300,704,760)
Open Space Reserve	(313,350)	(313,350)
Net Assets	430,515,511	429,172,530

Council's balance sheet shows a cash and cash equivalents position of \$3.3m and working capital ratio of 80% which is in line with budget and Council is continuously working towards VAGO's target.

Central Goldfields Shire Council

Quarterly Financial Report

2.3 Statement of Cashflows

For the period ended on 30 September 2025.

CASH FLOW	As at 30 June 2025 \$'000	As at 30 Sept 2025 \$'000
Cash Flows from Operating Activities		
Rates and charges	17,957	2,186
User fees, statutory fees and fines	2,479	517
Grants – operating	14,486	1,991
Grants – capital	3,558	1,404
Contributions – monetary	502	31
Interest received	(117)	66
Trust funds and deposits taken	116	244
Net GST refund/(payment)	1,510	192
Employee costs	(15,505)	(4,071)
Materials and services	(14,245)	(2,859)
Other payments	(368)	(106)
Net cash provided by/(used in) operating activities	10,373	(405)
Cash flows from investing activities		
Payments for property, infrastructure, plant and equipment	(6,872)	(774)
Proceeds from sale of property, infrastructure, plant and equipment	0	0
Payments for other financial assets	0	0
Net cash provided by/(used in) investing activities	(6,872)	(774)
Cash flows from financing activities		
Finance costs	120	(32)
Repayment of borrowings	0	0
Repayment of lease liabilities	(82)	(263)
Net cash provided by/(used in) financing activities	38	(294)
Net increase (decrease) in cash	4,121	(1,474)
Cash at the beginning of the financial year	676	4,797
Cash at the end of the period	4,797	3,323
Term Deposits held	0	0
Total Cash	4,797	3,323

Central Goldfields Shire Council

Quarterly Financial Report

The cash position of Council can vary significantly depending on timing of grants received.

The closing cash balance as at 30 September 2025 was \$3.3m.

However, looking at this cash balance in isolation does not give a true indication of the cash position as at 30 September 2025.

To determine the true cash position council needs to consider the restricted cash (cash that is tied to a specific project or must be used for a specific purpose).

2.4 Cash Position

Council financial position	Sep-25	2025	2024	2023
<i>Total Cash position</i>	<i>\$'000s</i>	<i>\$'000s</i>	<i>\$'000s</i>	<i>\$'000s</i>
Cash	3,323	4,797	676	5,180
Term deposits	0	-	-	11,500
Total Cash position	3,323	4,797	676	16,680
Restricted cash				
Trust funds	647	803	687	653
Unearned revenue	6871	5,563	4,089	8,240
Restricted for other purposes	621	621	-	3,530
Total Restricted cash	8,139	6,987	4,776	12,423
Unrestricted Cash Position	- 4,816	- 2,190	- 4,100	4,257

Unrestricted cash refers to cash and cash equivalents that are not subject to external restrictions or internal commitments and are therefore available for general use.

The unrestricted cash position of negative \$4.8m in September 2025 is a snapshot in time of cash balance and will improve through receiving rates instalment payment and grants use for general purpose or to delivery operating services.

It is important to note that overspend cash in 2023/24 financial year by \$4.1m resulting cash balance of \$676k has impacted the cash position today.

Central Goldfields Shire Council

Quarterly Financial Report

2.5 Capital Works Statement

Capital Works expenditure for the period, July 2025 – September 2025 is \$0.77m. This represents expenditure of 7% of full year budget, and 108% of year-to-date budget.

It must be noted that these figures include payments made to suppliers (and accrued where appropriate). If initial scoping of works is underway but no invoices are received to date, this will not show as expenditure in the capital works statement. Please refer to the Capital works reporting table for September 2025 for individual project details.

Below Capital Works Statement is for the period ended on 30 September 2025.

Project	New or CF	Adopted Budget FY25-26	Brought Forward Unspent Grant & Contribution from FY24-25	Forecast Sept 25	YTD Budget September	YTD Actuals September	Variance between YTD Budget and Actual September	Comment
DRFA Victorian Floods (October 2022) - Betterment Works	CF Project	235,000	244,229	922,576	-	-	-	Grant funded multi-year project
DRFA Victorian Floods (October 2022) - REPA CE0004 Minor Culverts Construction	CF Project	70,000	-		70,000	67,305	2,695	Grant funded multi-year project
DRFA Victorian Floods (October 2022) - REPA CE0004 Minor Culverts Management	CF Project	30,000	-		30,000	26,950	3,050	Grant funded multi-year project
DRFA Victorian Floods (October 2022) - REPA CE0005 Bridge & Culverts Management	CF Project	15,000	-		15,000	14,878	122	Grant funded multi-year project
Aerodrome Regional Airport Program Round 4	New Project	170,000	-	170,000	-		-	
Aerodrome - Audit Recommendation	New Project	90,000	-	90,000	-		-	
Design Capital Works	New Project	75,000	-	75,000	5,000	2,705	2,295	

Council Meeting Agenda - Wednesday 17 December 2025

Central Goldfields Shire Council

Quarterly Financial Report

Road Renewal Gillies Street FY25-26 (R2R \$450K)	New Project	450,000	97,906	1,295,000	-	-	-	Road to Recovery program - starts second half of the year
Road Renewal Moonlight Road Alma FY25-26 (\$285K)	New Project	285,000	-		-	-	-	Road to Recovery program - starts second half of the year
Road Renewal Bowenvale Rd Alma FY25-26 (R2R \$155K)	New Project	155,000	-		-	-	-	Road to Recovery program - starts second half of the year
Road Renewal Potts Lane Carisbrook FY25-26 (R2R \$188,277 Ccl \$31,723K)	New Project	220,000	-		-	-	-	Road to Recovery program - starts second half of the year
Road Renewal Burke Street Maryborough FY25-26 (R2R \$185K)	New Project	185,000	-		-	-	-	Road to Recovery program - starts second half of the year
Clunes Mt Cameron Rd - total 960k - 192k R2R 768k SLRIP pending for outcome	New Project	768,000	-	-	-	-	-	Unsuccessful grant application
TAC Multiple Intersections Maryborough	CF Project	1,080,000	265,815	1,583,160	300,000	298,540	1,460	Grant funded multi-year project
TAC Burns & Nolan Street Roundabout	CF Project	5,000	210,313		5,000	294		Grant funded multi-year project
TAC Napier and Brougham Street Roundabout	CF Project	5,000	113,343		5,000	2,007		Grant funded multi-year project
TAC Avoca Road Talbot Speed Limit Reduction	CF Project	5,000	-		5,000	1,358		Grant funded multi-year project
TAC Clarendon, Dundas & Palmerston Street Splitter Island	CF Project	5,000	-		5,000	3,913		Grant funded multi-year project
Major Patches RG	New Project	100,000	-	100,000	-	-	-	Starts second half of the year
Sealed Road Shoulders Renewal	New Project	100,000	-	110,304			-	Starts second half of the year
Seals Renewal Reseals	New Project	450,000	-	517,551			-	Starts second half of the year
Seals Renewal Asphalt	New Project	100,000	-	104,376			-	Starts second half of the year
PC Network/Hardware	New Project	50,000	-	50,000	20,000	20,062	- 62	within total budget for the year
Business Systems Uplift	New Project	20,000	-	20,000	-	49,000	- 49,000	Final Payment for last year project

Council Meeting Agenda - Wednesday 17 December 2025

Central Goldfields Shire Council

Quarterly Financial Report

Field and Mobility Services Module	New Project	80,000	-	80,000	10,000	9,280		within total budget for the year
Rural Council Transformation Program (RCT)	CF Project	423,000	462,662	423,000	-	-	-	\$250k to be transferred to Pyrenees Shire
Building Renewal - Unallocated - Reactive	New Project	55,000	-	75,000	36,046	36,046	0	within total budget for the year
Building Renewal Unallocated - Reactive Nolan Street Gym Wall Rebuild	New Project	20,000	-		20,000	19,439	561	within total budget for the year
Building Renewal - Unallocated - Planned	New Project	134,000	-	153,000	34,832	-	34,832	within total budget for the year
Public Convenience Toilet & BBQ Locks	New Project	30,000	-	30,000	20,000	18,040	1,960	within total budget for the year
Deledio Recreation Reserve Pavilion Upgrade	CF Project	2,900,000	560,303	2,900,000	40,000	38,385	1,615	within total budget for the year
Swimming Pool Renewal	New Project	30,000	-	30,000			-	
Maryborough Outdoor Pool Reconstruction Phase 2	New Project	450,000	-	450,000	30,000	30,909	- 909	within total budget for the year, Capital Grant funded project
Goldfields Reservoir Dam Stabilisation	CF Project	500,000	629,286	500,000			-	
Maryborough Tennis Centre Multi Use Courts Development	CF Project	523,000	141,935	523,000			-	
Princes Park Cricket Wicket Rebuild Project	CF Project	160,000	-	160,000			-	
Maryborough Rail Trail (Auspice Mt Alex)	CF Project	20,000	-	20,000	20,000	19,971	29	Grant funded multi-year project
Tiny Towns - Adelaide Lead Hall	CF Project	71,854	-		-	-	-	
Tiny Towns - Tullaroop Leisure Centre Upgrades	CF Project	8,328	-	188,188			-	
Tiny Towns - Talbot ANA Hall Restump	CF Project	91,314	62,554		2,316	2,316	-	within total budget for the year
Tiny Towns - Senior Citizens Hall Upgrade	CF Project	10,836	486				-	

Council Meeting Agenda - Wednesday 17 December 2025

Central Goldfields Shire Council

Quarterly Financial Report

Tiny Towns - Bealiba Historic Horse Trough Relocation	CF Project	3,864	-		1,920	1,920	-	within total budget for the year
Tiny Towns - Bowenvlae Playground	CF Project	37,230	-		982	982	-	within total budget for the year
Tiny Towns - Majorca Historic Cemetary Beautification	CF Project	2,574	-				-	
Tiny Towns Rnd 2 Daisy Hill Community Centre Kitchen Upgrade	CF Project	16,000	13,163		1,605	1,605	-	within total budget for the year
Tiny Towns Rnd 2 Wareek Community Hall Upgrades	CF Project	16,000	13,163		1,605	1,605	-	within total budget for the year
Recreation Reserves Sports Lighting Upgrade Strategy	CF Project	70,000	-	70,000			-	
Goldfields Reservoir BBQ Upgrade	CF Project	17,000	1,014	17,000	12,000	11,980	20	within total budget for the year
Landill work	New Project	100,000	-	100,000			-	
Transfer Station Upgrades(Carisbrook,Dunolly,Talbot) Kerbside	New Project	50,000	21,000	50,000			-	
Dog Park Jack Pasoce Reserve	New Project	100,000	22,867	100,000	7,000	6,603	397	within total budget for the year
Maryborough Little Athletics Club Track Remediation	New Project	30,000	-	30,000	20,000	16,032	3,968	within total budget for the year
Creative Station - Infrastructure Project	CF Project	-	92,786	-	-	70,790	70,790	Within total capital grant carried forward into FY25-26 \$93k
Bristol Hill Urban Bike Path	Opex			38,000				Operating Project – by Project Team
Carisbrook Flood Management Plan	Opex			260,000				Operating Project – by Project Team
		10,618,000	2,952,827	11,235,155	718,306	772,916	- 67,758	

- \$10.6m is the adopted Budget FY25-26
- \$2.9m is the unspent of grant received carry forward into FY2025-26
- \$11.2m is the forecast as t September 2025

Central Goldfields Shire Council

Quarterly Financial Report

2.6 Financial Performance Indicator

Policy Statement	Measure	Target	Forecast Actual	Budget	Actual
			2024/25	2025/26	YTD Sept 25
Consistent underlying surplus results	Adjusted underlying result greater than \$0	\$0	-\$3,114	-\$4,667	-\$1,547
Ensure Council maintains sufficient working capital to meet its debt obligations as they fall due.	Current Assets / Current Liabilities greater than 1.25	1.25	0.22	0.83	0.80
Allocate adequate funds towards renewal of capital in order to replace assets and infrastructure as they reach the end of their service life.	Asset renewal and upgrade expenses / Depreciation above 100%	100%	66%	61%	19%
That Council applies loan funding to new capital and maintains total borrowings in line with rate income and growth of the municipality.	Total borrowings / Rate revenue to remain below 60%	60%	11%	13%	11%
Council maintains sufficient unrestricted cash to ensure ongoing liquidity as well as to address unforeseen cash imposts if required.	Unrestricted cash / current liabilities to be maintained above 80%	80%	22%	-32%	18%
Council generates sufficient revenue from rates plus fees and charges to ensure a consistent funding for new and renewal capital.	Capital Outlays as a % of Own Source Revenue to remain above 30%	30%	18%	28%	0%

Central Goldfields Shire Council

Quarterly Financial Report

VAGO Financial Sustainability Risk Indicators

Financial sustainability risk indicators—risk assessment criteria

Risk	Net result	Adjusted underlying result	Liquidity	Internal financing	Indebtedness	Capital replacement	Renewal gap
High	Less than negative 10% Insufficient revenue is being generated to fund operations and asset renewal.	Less than 0% Insufficient surplus being generated to fund operations	Less than 0.75 Immediate sustainability issues with insufficient current assets to cover liabilities.	Less than 75% Limited cash generated from operations to fund new assets and asset renewal.	More than 60% Potentially long-term concern over ability to repay debt levels from own-source revenue.	Less than 1.0 Spending on capital works has not kept pace with consumption of assets.	Less than 0.5 Spending on existing assets has not kept pace with consumption of these assets.
Medium	Negative 10%–0% A risk of long-term run down to cash reserves and inability to fund asset renewals.	0%–5% Surplus being generated to fund operations	0.75–1.0 Need for caution with cashflow, as issues could arise with meeting obligations as they fall due.	75–100% May not be generating sufficient cash from operations to fund new assets.	40–60% Some concern over the ability to repay debt from own-source revenue.	1.0–1.5 May indicate spending on asset renewal is insufficient.	0.5–1.0 May indicate insufficient spending on renewal of existing assets.
Low	More than 0% Generating surpluses consistently.	More than 5% Generating strong surpluses to fund operations	More than 1.0 No immediate issues with repaying short-term liabilities as they fall due.	More than 100% Generating enough cash from operations to fund new assets.	40% or less No concern over the ability to repay debt from own source revenue.	More than 1.5 Low risk of insufficient spending on asset renewal.	More than 1.0 Low risk of insufficient spending on asset base.

Source: VAGO.

7.9 Setting Council Meeting Dates for 2026

Author: Manager Governance, Property & Risk

Responsible Officer: General Manager Corporate Performance

The Officer presenting this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

SUMMARY/PURPOSE

The purpose of this report is to provide Council with the proposed dates and times for meetings of Council for the 2026 calendar year.

RECOMMENDATION

That Council adopt the following proposed Council meeting dates and times for 2026:

- Wednesday 25 February 2026 at 6pm
- Wednesday 25 March at 6pm
- Wednesday 22 April at 6pm
- Wednesday 27 May at 6pm
- Wednesday 24 June at 6pm
- Wednesday 22 July at 6pm
- Wednesday 26 August at 6pm
- Wednesday 23 September at 6pm
- Wednesday 28 October at 6pm
- Wednesday 18 November at 6pm – Statutory Meeting – Election of Mayor and Deputy Mayor
- Wednesday 25 November at 6pm
- Wednesday 16 December at 6pm

LEGISLATION AND POLICY CONTEXT

Central Goldfields Shire Council's Council Plan 2021-2025:

The Community's vision: **Leading Change**
4. Good planning, governance, and service delivery.

Initiative: Legislative Compliance

BACKGROUND INFORMATION

Section 66 of the *Local Government Act 2020* (the Act) requires Council to hold meetings open to the public.

Council will hold its 2026 Council Meetings on the fourth Wednesday of each month commencing at 6pm at the Maryborough Town Hall.

It is accepted best practice for councils to set meetings for the full calendar year in advance.

Council is required to give reasonable public notice of Council meetings.

Details of public notice of meetings are contained in Rule 12 of Council's Governance Rules.

REPORT

The schedule has allowed for public holidays.

The December meeting has been brought forward one week to avoid Christmas.

CONSULTATION/COMMUNICATION

An annual calendar of Council meetings will be published on Council's website and in the Maryborough Advertiser following the dates being adopted by Council.

FINANCIAL & RESOURCE IMPLICATIONS

Advertising the adopted schedules will be accommodated within the existing Governance budget.

RISK MANAGEMENT

Governance - Failure to transparently govern and embrace good governance practices

Legislative compliance - Failure to manage our compliance with relevant legislative requirements.

Public notice of council meetings is also required.

By setting the meeting dates for the upcoming calendar year, publishing those dates on Council's website and publishing upcoming meetings in the regular Council advertisement in the Maryborough Advertiser throughout the year, Council is complying with the Governance Rules, and is effectively informing the community of the Council Meeting dates.

CONCLUSION

It is recommended that Council resolve to set the schedule of Council meetings for 2026.

The proposed meeting dates and advertising meet Council's commitments to good governance and transparency.

ATTACHMENTS

Nil

8 General and other Urgent Business

9 Notices of Motion

Nil

10 Confidential Business (Circulated Separately)

Pursuant to Section 66 (2)(a) of the Local Government Act 2020, Council may consider that the meeting be closed to members of the public, as the identified items of confidential business contain personal information, being information which, if released, would result in the unreasonable disclosure of information about any person or their personal affairs

10.1 Employment Matter

10.2 2026 Central Goldfields Citizen of the Year Awards

Move into Confidential

RECOMMENDATION

That Council close the meeting to the public in accordance with the Local Government Act to consider confidential information.

Move out of Confidential

RECOMMENDATION

That Council now resume the meeting in open Council to close the meeting.

11 Meeting Closure