



DP-AD1559  
M.A. Winterton



**DDS**

# DROUIN DRAFTING SERVICE

## Building Designers

### Townplanning Submissions

**\* Residential \* Commercial \* Industrial\***

**36 Weebar Rd. Drouin 3818**

**Ph (03) 5625 1383**



Email :

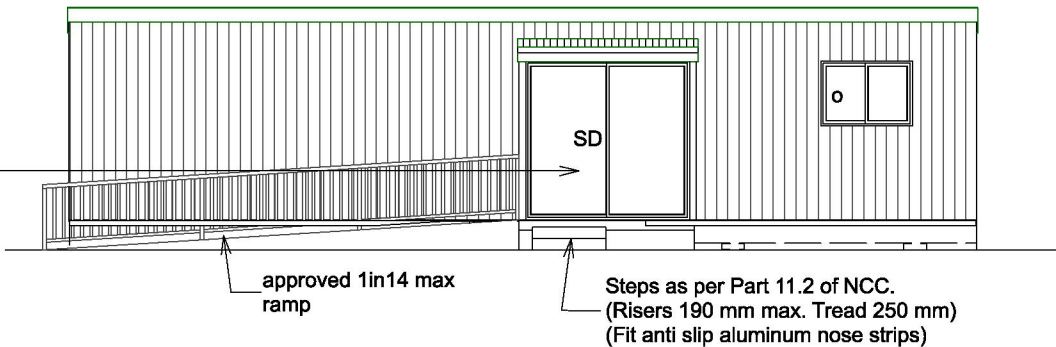


Material Schedule  
Roof :- SurfMist  
Walls :- Ashwood Panels

Note:- Roof ventilators, extractor fans, eave & gable vents to be protected with corrosion resistant steel, bronze or aluminium mesh max aperture of 2 mm

Any gaps greater than 3 mm, under corrugations or ribs of sheet roofing and between roof components, sealed at the fascia or wall line and at valleys, hips and ridges by a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or mineral wool or other non-combustible material

- AWS or similar tested sliding door system must be used compliant with AS1530.8.1 2007, there is no requirement to screen the operable part of the door.
- or
- The following deem-to-satisfy approach can be used
- Where doors incorporate glazing, the glass must be toughened 6mm minimum.
- With 6mm toughened glass, screening is not required.
- Externally fitted hardware that supports the panel in its function must be metal.
- Door frames must be made from:
  - a Bushfire resistant timber (Appendix F)
  - b Metal / Aluminium.
- Sliding doors shall be tight fitting in frames

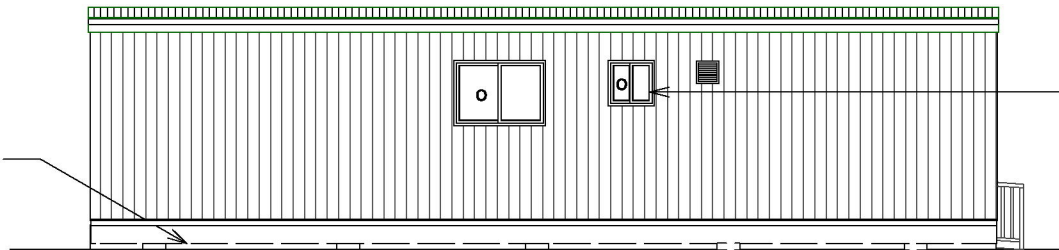


## NORTH ELEVATION

Note :- Eave gutters to be provided with overflow provisions along the entire length Refer AS/NZS 3500.3:2015 Plumbing and drainage Part 3: Stormwater drainage Appendix G. ie High front gutters to be installed with a spacer to achieve 10mm gap between fascia and gutter, or be slotted & be provided with a 3mm gap spacer or be provided with flashing

**Note :- Subfloor perimeter to be enclosed**  
vents to perimeter for subfloor ventilation as per BCA (Refer Notes) vents to be protected with corrosion resistant steel, bronze or aluminium mesh max aperture 2 mm or baseboards of

- (i) fibre-cement external cladding, a minimum of 6mm thickness; or
  - (ii) steel sheet; or
  - (iii) bushfire-resisting timber (see Appendix F); or
  - (iv) a combination of any of Items (i), (ii) or (iii) above.
- and gaps protected with mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium



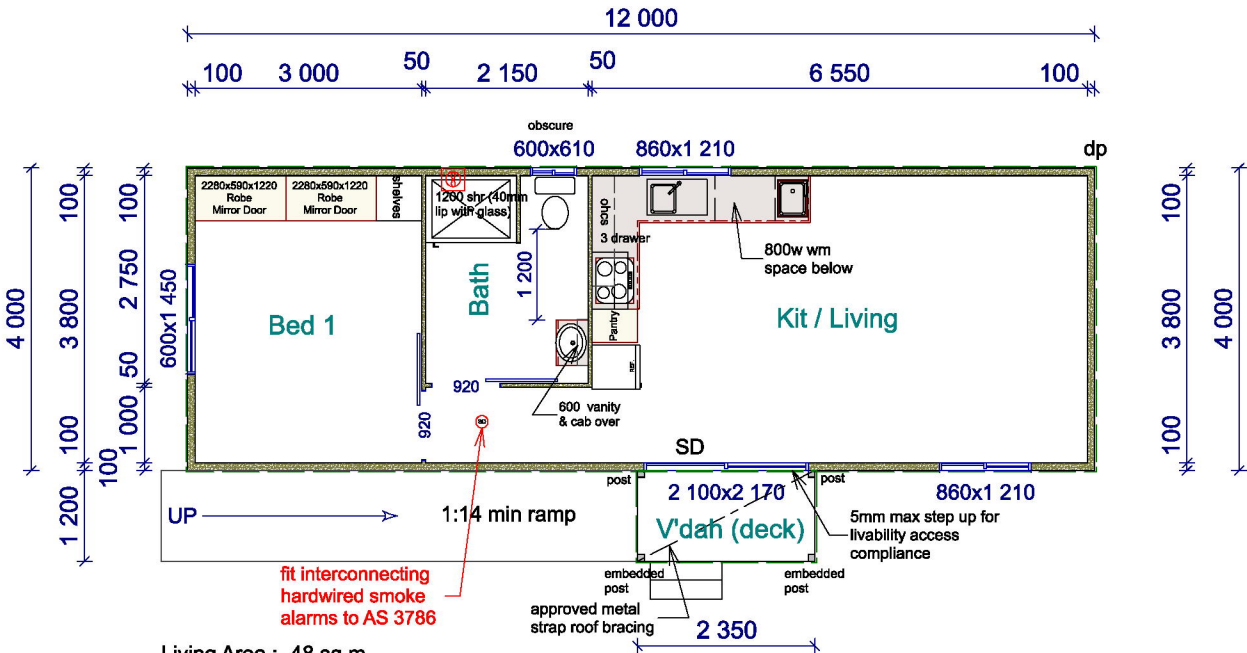
## SOUTH ELEVATION

Proposed vinyl floor finishes to wet areas to comply with AS3740 and BCA

Note:- Shower floors with a vertical separation between the shower area & wet area such as a shower screen, hob, step down or Water stop, shall have 1:100 fall to waste other shower areas min 1:80 fall. (Water Resistant Walls min 1800h showers, Refer NCC Table 3.8.1.1 for vessels and baths etc)  
Unenclosed showers with a device to stop splashing, shall be fitted with a water stop under the device and across opening. Unenclosed showers without a device to stop splashing, shall have a water stop 1500 min from shower rose. Waterproof 1500 min from unenclosed shower rose for concrete or compressed fibre cement sheet floor, otherwise waterproof entire floor

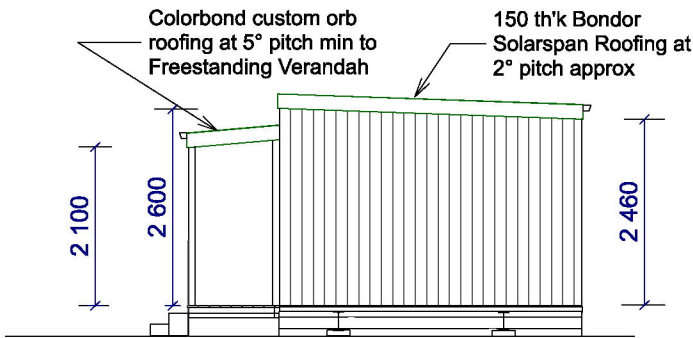
A Bushfire Prone assessment has been undertaken and has been assessed as Bushfire Attack Level BAL -29 (Refer BMO Report)

Proposed bathroom & sanitary compartment walls to be reinforcement with 12mm th'k standard grade plywood or similar for future grabrail installment in areas designated in LHDS refer Manufacturer for details



Living Area :- 48 sq.m  
Verandah Area :- 2.82 sq.m

## FLOOR PLAN



## WEST ELEVATION

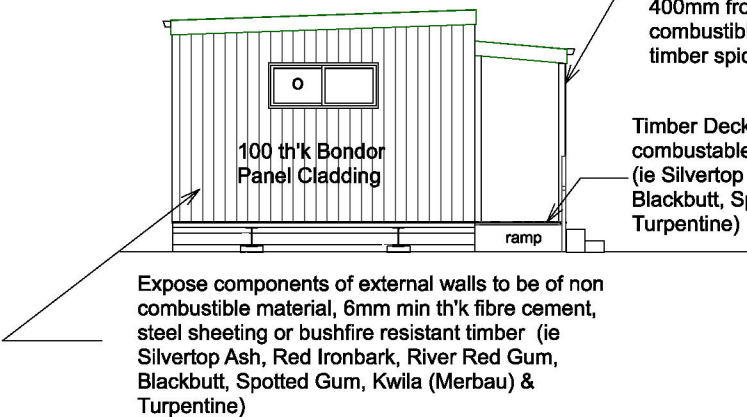


Ashwood panels to clad the building  
White roof to remain

AWS or similar tested window system must be used compliant with AS1530.8.1 2007, operable portion of the window must be screened internally or externally with metal screens with an aperture of 2mm made from corrosion resistant steel, bronze or aluminium

- or
- The following deem-to-satisfy approach can be used
- Window assemblies must be manufactured from:
  - a Bushfire resistant timber (Appendix F).
  - b Metal / Aluminium.
  - c uPVC with reinforced corrosion resistant steel.
- Glazing must be a minimum of 5mm toughened glass.
- Where glazing is less than 400mm from the ground or other structures (decks etc) and less than 18 degrees to the horizontal extending more than 110mm in width, that portion must be screened.
- Externally fitted hardware that supports the sash in its function must be metal.
- The operable portion and low light area must be screened with a mesh with a maximum aperture of 2mm, made from a corrosion resistant steel, bronze or aluminium.

Note:- Windows to be flashed in accordance with BCA Vol 2, Part 3.5.4.6 to be fixed 25mm min under cladding & to extend over ends and edges of the framing of the opening



## EAST ELEVATION

M.A. Winterton DP-AD 1559

Drouin Drafting Service  
36 Weebar Rd. Drouin  
Ph. (03) 5625 1383

CLIENT

DATE  
Nov 2024  
DRG. No.  
C2562





ELECTRICAL LEGEND

Florescent Light 2x35w or LED 38w Panel

Florescent Light 1x35w

Florescent Light 1x18w

Down Light 12w LED

Batten Fixture Light 12w LED

Pendant Light Single 12w LED

Pendant Light Fitting 3x12w LED

Dual track spot light 2x12w LED

Wall Mounted Light 12w LED

Wall Mounted Caged Lantern 12w LED

Flood Light 13W

Emergency Light

Exhaust Fan

Fan Light 9w LED

Exhaust Fan Light 9w LED

Flood Light 2x13W

GPO (wall mounted)

GPO (ceiling mounted)

GPO (floor mounted)

GPO (dishwasher)

GPO (stove cooktop or oven)

GPO (rangehood)

Switch

Ceiling Fan with light 12w

Smoke Detector

Computer Point

Television Point

Door Bell

Electrical Panel

Telephone Point

Hot Water Service

Gas Water Service

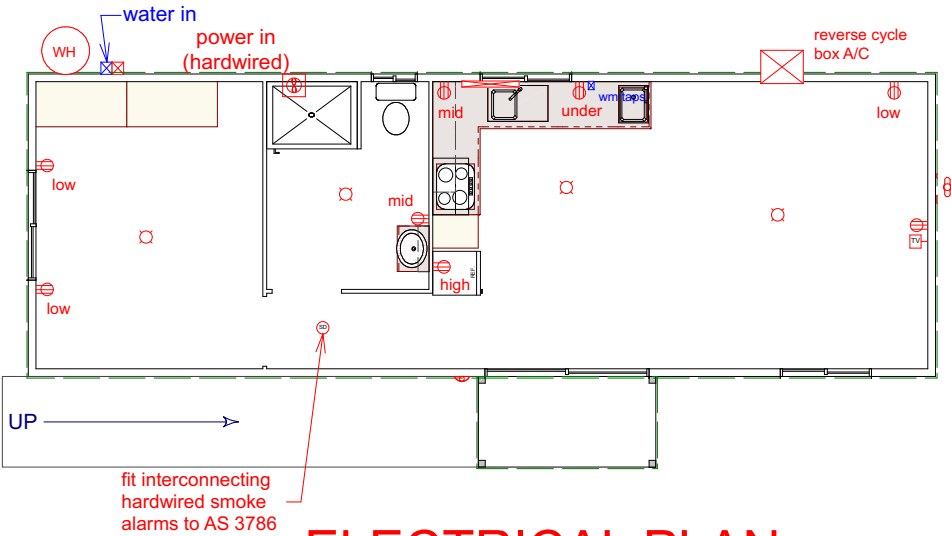
Register ceiling or floor mounted

Outdoor Compressor Unit

Ducted Gas Heating Unit

Note:- Exhaust fans to be vented to open air or have vents fitted to eaves/gables (min 25 l/s extraction rate Bath, Ens & WCs) (min 40 l/s extraction rate Kit & Ldry)

Artificial lighting to perimeter of building must be controlled by daylight sensor or have a average light source efficacy of not less than 40 Lumens/W



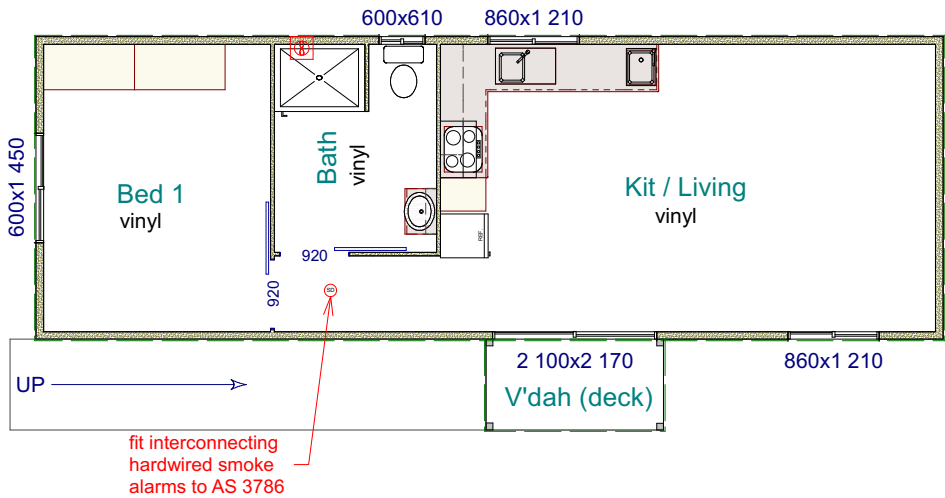
ELECTRICAL PLAN

Artificial lighting lamp power density or illumination power density excluding heaters that emit light must not exceed 5 W/m2 , on Verandahs or Balconys 4W/m2 and Garage or Outbuildings 3 W/m2

Artificial Lighting Efficiency Schedule

	Area (m2)	BCA Value (wm2)	BCA Allowed (wm2)	Design Watts	Compliance
Class 1 Building (Habitable)	48	5	240	48	Yes
V'dahs & Balconys	2.82	4	11.28	12	Yes
Class 10 (Out Building)	-	3	60	-	Yes
Totals			251.28	60	Yes
Variations During Construction					
New Total					

Note:- All insulation to be installed as per Manufacturers specifications & with all required clearances, if penetrations occur, Truss Manufacturer to allow for insulation loads in design



R4.1 Bondor Solarspan 150mm Ceilings / Roof  
R2.63 Bondor Panel 100mm walls  
R2.5 Rigid Foam insulation to subfloor  
Double glazing Argon Filled sliding windows & doors U 4.5 SHGC 0.5+5% or -5% SHGC  
Seal all gaps & windows  
Self sealing exhaust fans, No downlights  
Weather strip windows, & external doors  
Holland blinds to all windows (by owner)  
Subfloor to be enclosed  
Grey Roof Surfmist O.33 Walls For Solar Absorption  
MITSUBISHI HEAVY INDUSTRIES SRC20ZSXA-W / SRK20ZSXA-W Split System  
Thermann RTBE-315-GL-MID-30 Water Tank with thermann-solar-30-tube-kit-no-tank-1318243 HWS (Zone3 STCs 25)

ENERGY RATING PLAN

Builder to provide details of size, type and location, of rain water tank or solar hot water system to be installed, prior to construction

Rain water tanks must be :-  
\*2000 litre min size  
\*Receive water from 50 sq.m roof min  
\*Must be connected to flushing sanitary system  
\*Have manual or automatic interchange  
\*Be fitted with backflow prevention

Solar Hot Water System (Schedule 2, Clause 15) :-  
\*Must achieve 60% min energy savings  
\*Booster required and must be connected to reticulated gas if available  
\*Collectors must be installed facing between 30° east & 60° west of north  
\*may be installed at horizontal angle ±20° of 35°



Certificate No. # IHVACSA7U

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address

Maurice Witterton

DMN/10/0001

7 Main St.

Bealiba, VIC, 3475

<https://www.f15.com.au/QRCodeLanding?PublicId=IHVACSA7U>