

# BUSHFIRE MANAGEMENT STATEMENT



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**31 Elgin Road  
Maryborough  
Ref No. 25.05**

## Disclaimer

This report has been made with careful consideration and with the best information available to Regional Planning and Design Pty Ltd at the time of writing. Before relying on information in this report, users should evaluate the accuracy, completeness and relevance of the information provided for their purposes. Regional Planning and Design Pty Ltd do not guarantee that it is without flaw or omission of any kind and therefore disclaim all liability for any error, loss or other consequence that may arise from you relying on any information in this report. Requirements detailed in this document do not guarantee survival of the buildings or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan.

Information and assistance including a template for a Bushfire Survival Plan is provided as part of the 'Fire Ready Kit' available through the CFA website at <http://www.cfa.vic.gov.au> or through your local CFA Regional office.

## Version Control

Report Version	Description	Date Completed	Issued to
A	Issued as a draft for discussion	8/3/2025	CFA
B	Issued as a final version	22/3/2025	Client
C	Revisions to building envelopes	28/3/2025	Client

## 1 SUMMARY

Summary	
Proposal	4 Lot Residential subdivision
Date of site visit:	6 <sup>th</sup> March 2025
Broad landscape setting (Technical Guide Planning Permit Applications – Bushfire Management Overlay)	2
Access requirements can be met	Dwellings will be located within 30 metres of the street
Defendable Space requirements can be met	BAL 29, including surrounding managed residential land
Proposed BAL construction level	BAL 29
Static Water supply	5000 litre tank for the proposed lots 1, 2 and 3 and 2500 litres for lot 3
Is native vegetation removal required:	No, only planted trees and shrubs

## 2 INTRODUCTION

This Bushfire Management Statement (BMS) has been prepared to enable Craig Steel to respond to the requirements of Clause 44.06 *Bushfire Management Overlay* (known from this point on as Clause 44.06), and associated Clause 53.02 *Bushfire Protection: Planning Requirements* (known from this point on as Clause 53.02 ) for the proposed four lot subdivision at 31 Elgin Road Maryborough

### Methodology

The BMS is in two parts

Part 1 Site description, hazard assessment and locality description

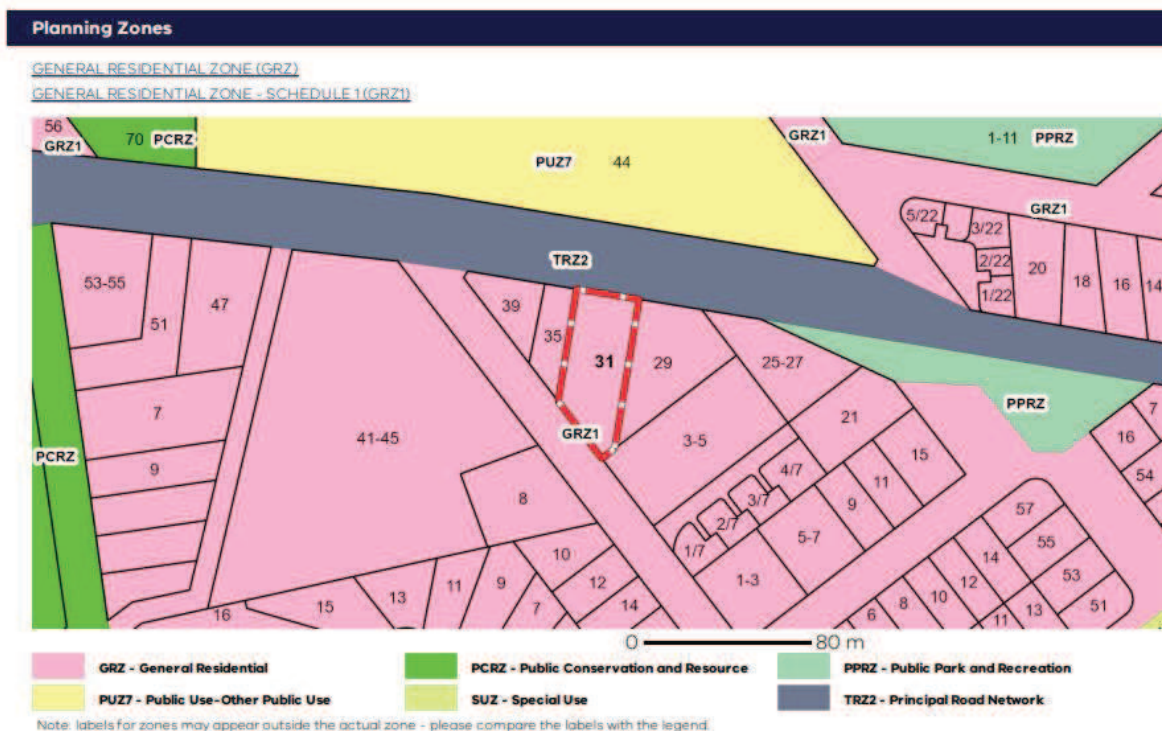
Part 2 A Bushfire Management Statement describing how the proposed development responds to the requirements in Clause 53.02 and 44.06.

The plan of subdivision is shown on Figure 2 on the following page

## ZONING AND OVERLAYS

Clause Number	Name
32.08	General Residential Zone
44.06	Bushfire Management Overlay, Schedule 1
53.02	Planning for Bushfire

**Figure 1 Zoning**





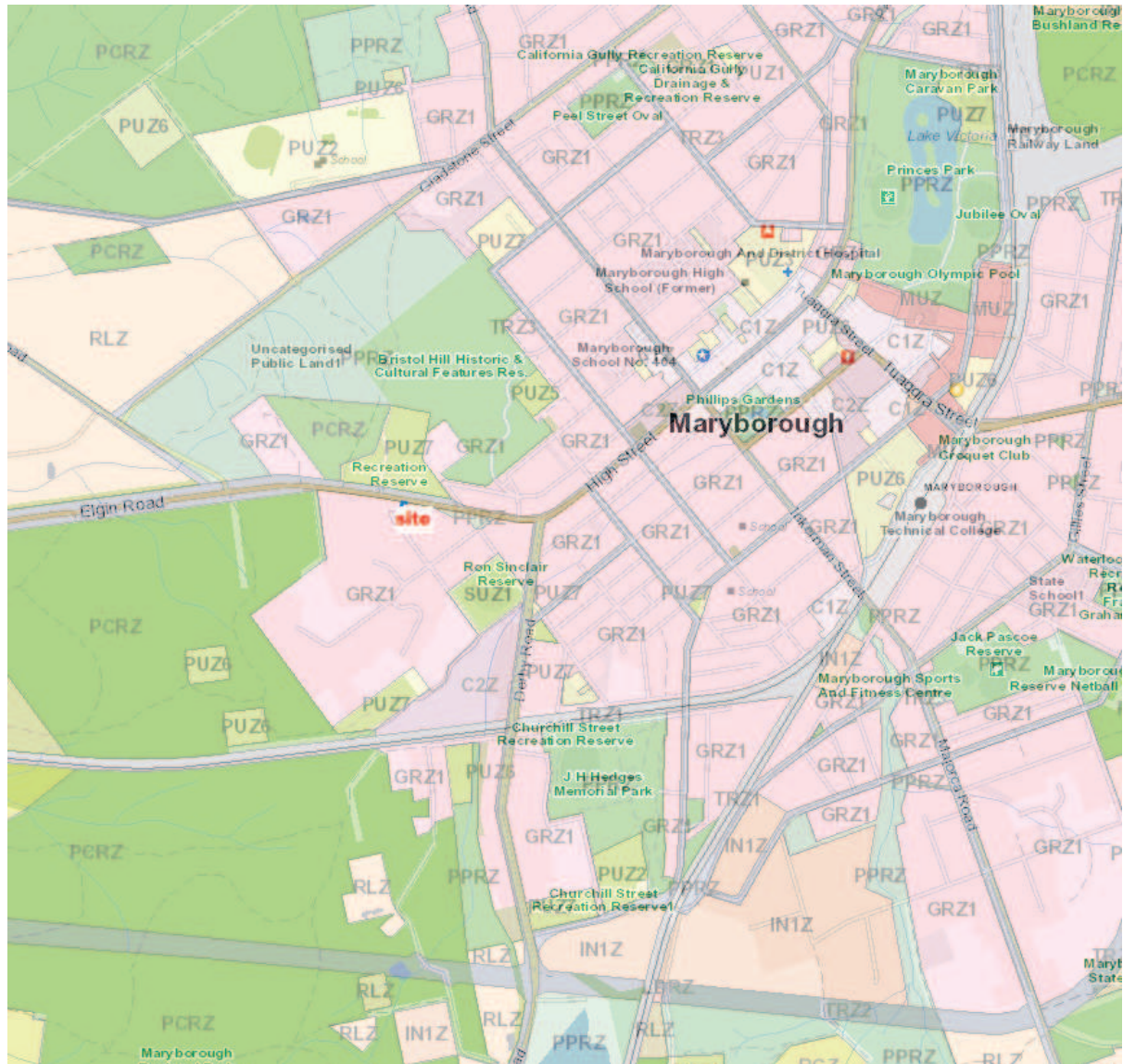
### Figure 2 Lot Layout



### 3 LOCATION

The site is located in the north eastern residential area of Maryborough. There are areas of woodland to the north and north east of the site.

The site could be vulnerable to runs of fire from the north. This is described in further detail in the Bushfire Hazard Landscape Assessment



### FIGURE 3 LOCATION

## 4 SITE DESCRIPTION

Site shape, dimensions, size , existing use and buildings and works	
The shape of the site is:	Rectangular with angled south west boundary
The site has a total area of:	2035 m2
The current use of the site is	Residential
The buildings or works located on the site are:	One dwelling and shed (photos 1 and 2)
Site topography	There is a 0 to 5 degree downslope to the north east across the site
Vegetation	The site is covered in partly managed gardens (photos 1 to 3).
Services and infrastructure	The site is connected to mains power ,sewer, water supply and the sealed road network

Site Photo



Photo 1 Looking west across the northern part of the site towards the existing sheds and dwelling



## Site Photos



Photo 2 Looking north west across site from the south east boundary



Photo 3 Looking north across the site from the southern boundary



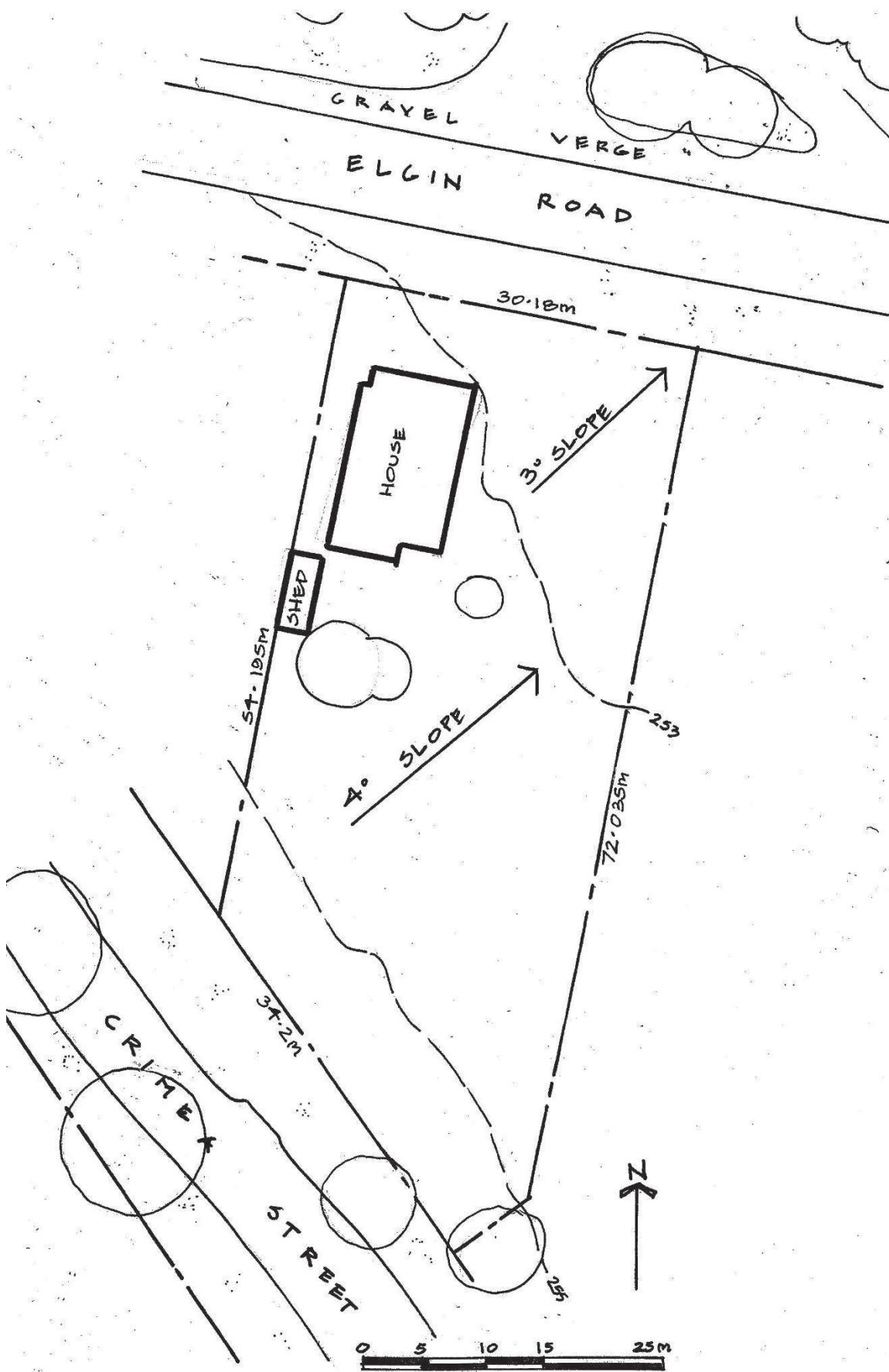


FIGURE 4 A EXISTING CONDITIONS PLAN



**FIGURE 4 B EXISTING CONDITIONS AIR PHOTO**



## 5 ACCESS

The site has access from Elgin Road on the north boundary and Crimea Street on the south west boundary. Both sealed roads provide good access to the centre of Maryborough through managed low threat vegetation (photos 4 and 5).

Access Photo



Photo 4 Looking east along Elgin Road on the west boundary



Photo 5 Looking south east along Crimea Street on the south west boundary



## 6 BUSHFIRE HAZARD SITE ASSESSMENT

As shown in Figure 5 and described in Appendix 1 there is a mix of managed low threat vegetation in residential gardens, modified vegetation and fragmented woodland with the canopy cover of forest around the site. Immediately to the west, east and south are managed gardens. (photos 6 to 9) To the west is a large lot with woodland and modified vegetation around a dwelling (photo 10) and beyond this is modified vegetation around a dwelling (photo 12). To the north is woodland with the canopy cover of forest beyond Elgin Road (photo 11) and beyond this is modified vegetation around dwellings with some grazed grassland (photo 13).



Figure 5 150 metre assessment air photo



## Surrounding Landscape Photos



Photo 6 Looking south east across managed gardens to the south of the east of the site



Photo 7 Looking north west across managed gardens to the immediate west of the site



## Surrounding Landscape Photos



Photo 8 Looking north east across managed land to the immediate south east of site



Photo 9 Looking south across managed land to the south of site beyond Crimea Street



## Surrounding Landscape Photos



Photo 10 Looking south west through woodland and modified vegetation around a dwelling to the south west of the site beyond Crimea Street



Photo 11 Looking north west through woodland with the canopy cover of forest to the north of site beyond Elgin Road. This vegetation has minimal understorey



## Surrounding Landscape Photos



Photo 12 Looking south across modified vegetation to the west of the site beyond woodland to the south west of the site shown in photo 10



Photo 13 Looking north west across modified vegetation to the north of the site beyond woodland shown in photo 11



## 9 BUSHFIRE HAZARD LANDSCAPE ASSESSMENT

The site is located on the south western edge of the residential area of Maryborough approximately 1kilometre to the south west of the town centre. There are areas of woodland to the north and north west and south west of the site.

The site would be classed as a Landscape type 3 in accordance with *Technical Guide ,Planning Permit Applications – Bushfire Management Overlay* (DTPLI, 2017). There is the potential for 10 kilometre long runs from the north, north west and south west to affect the site as there are often strong northerly winds followed by a gusty south west change on high fire danger days in Victoria. There is minimal fuel to the east.

As shown in Figures 7 and 8 on the following pages the fragmented fuel to the north and managed land to the south and west will reduce the intensity of a fire as it approaches the site.

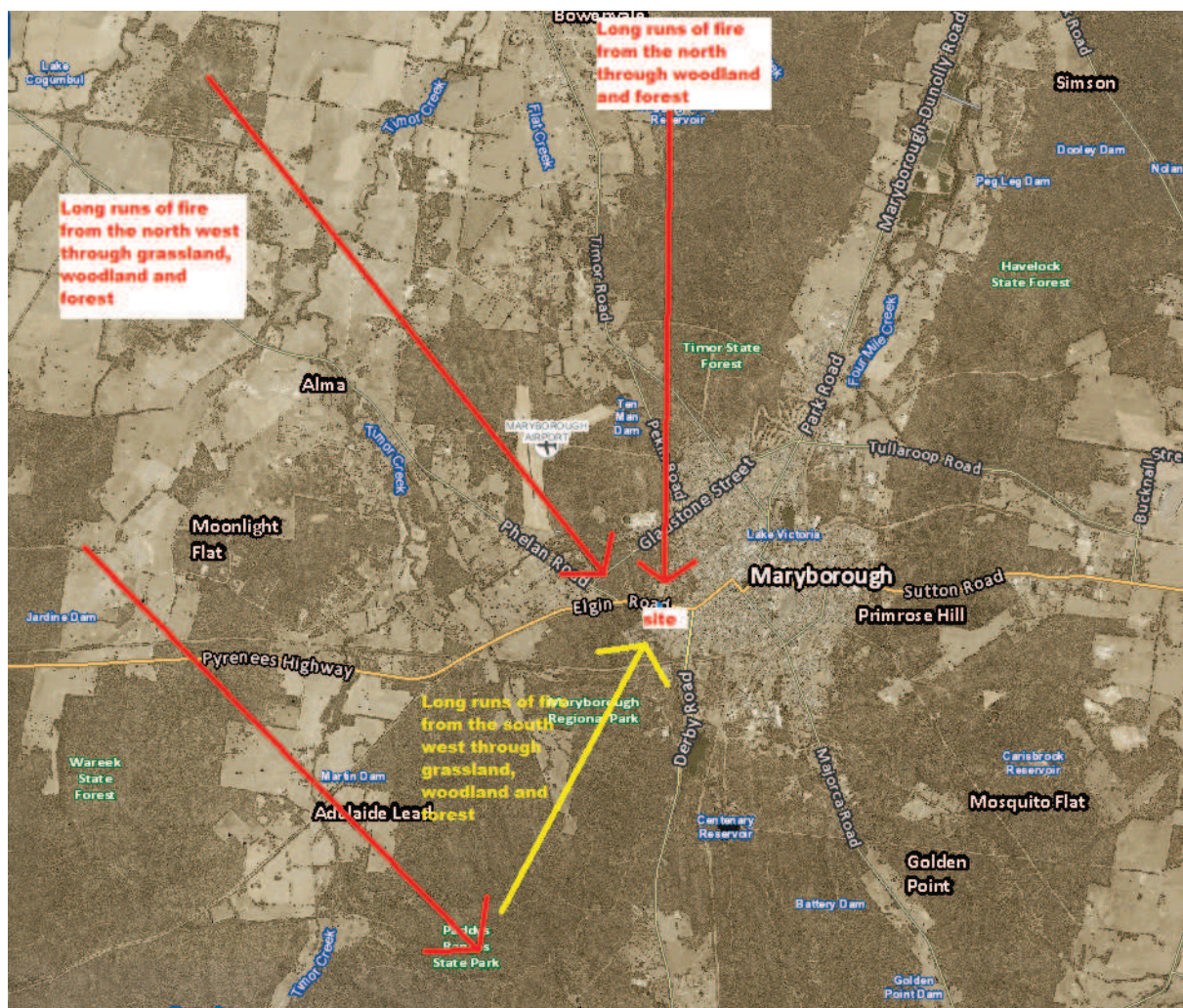


FIGURE 6 BUSHFIRE CONTEXT PLAN



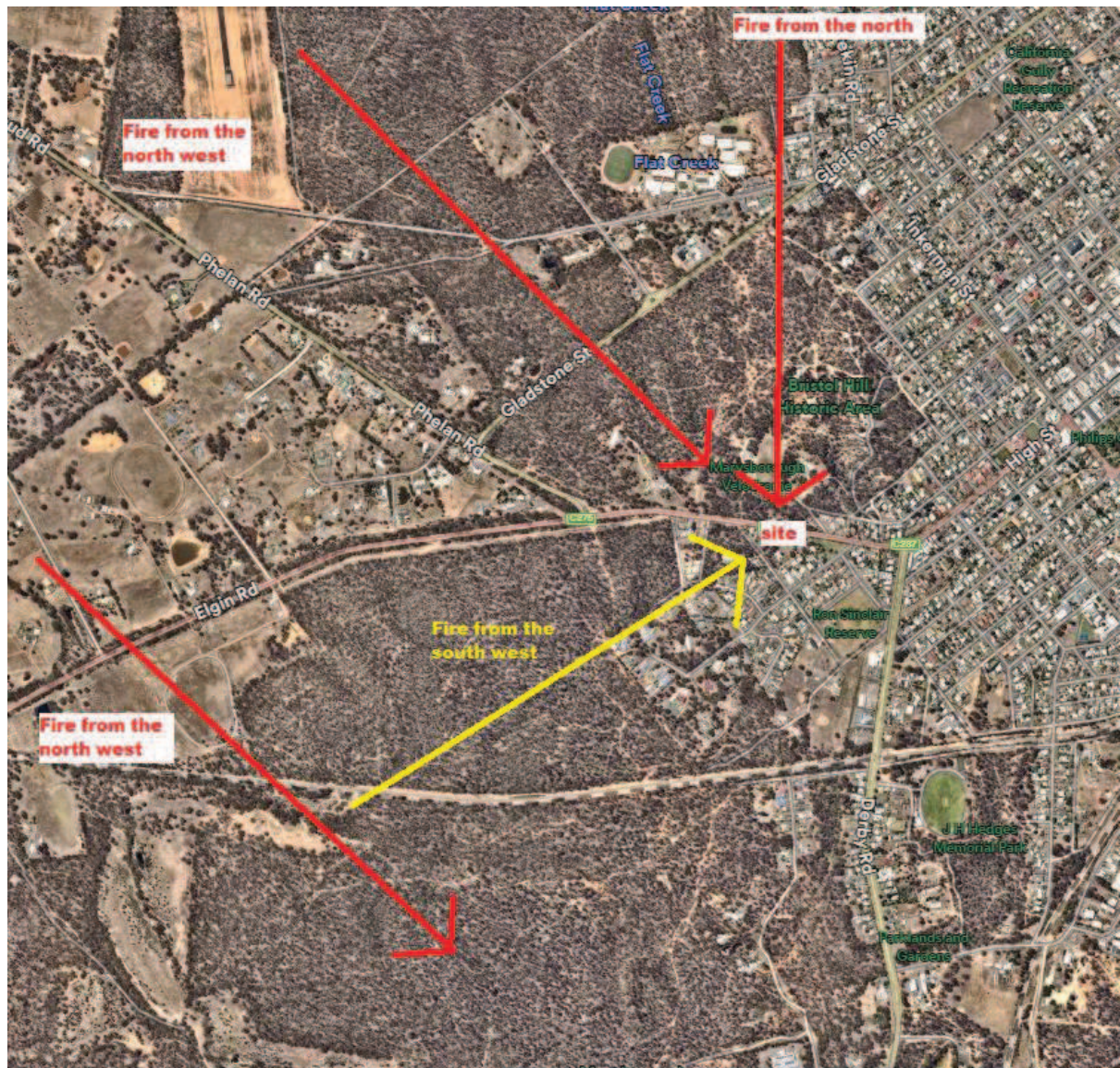


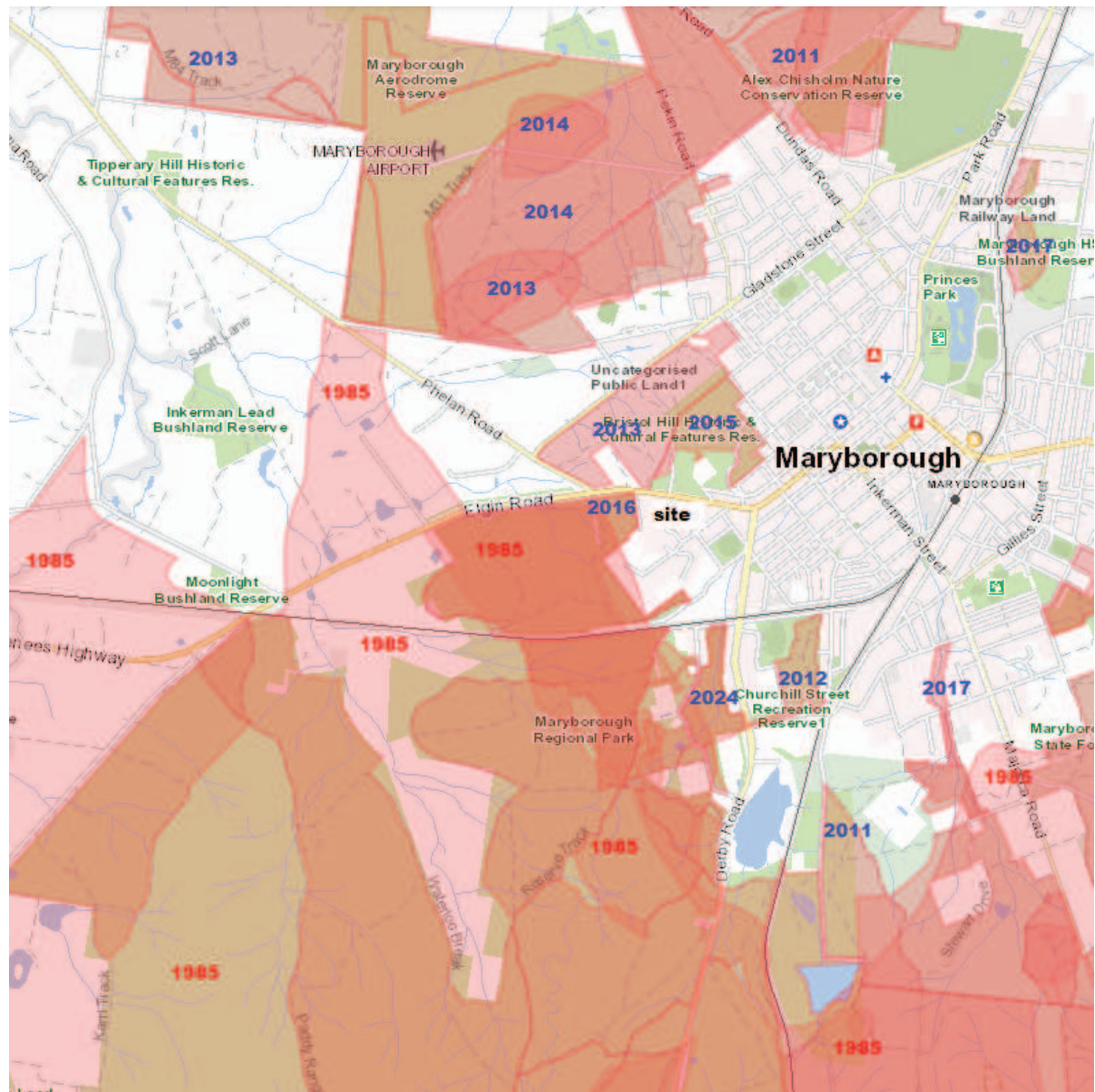
FIGURE 7 BUSHFIRE LOCAL CONTEXT PLAN





**FIGURE 8 BUSHFIRE NEIGHBOURHOOD CONTEXT PLAN**

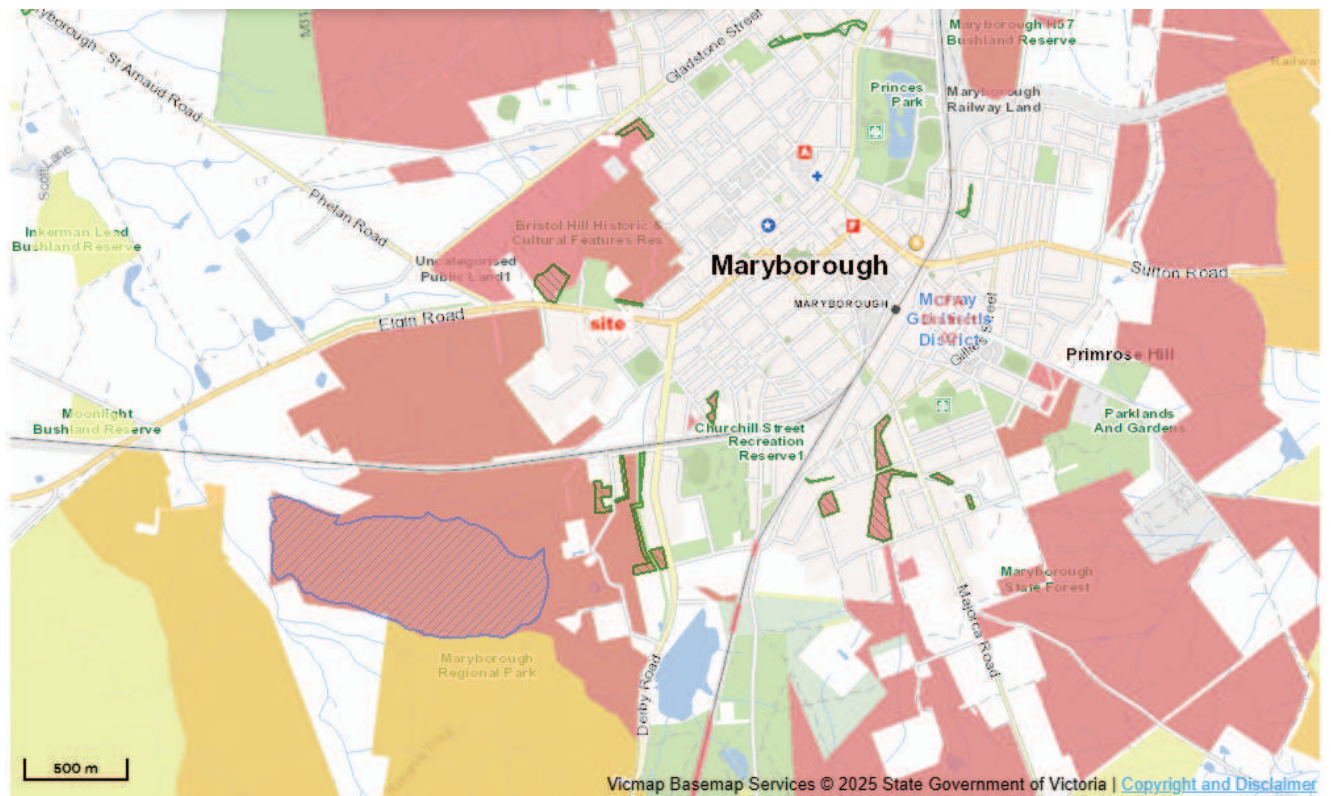




**FIGURE 9 BUSHFIRE HISTORY MAP**

The Fire History Map above shows most significant recent fires occurred to the south west in 1985 which burned to within approximately 250 metres of the site. There have been fuel reduction burns to the north and west will help reduce the risk to the site. Public land surrounding the site is also zoned as Asset Protection, Bushfire Moderation and Landscape Management by DEECA (in particular on public land to the north, west and south west) which will mean there is some fuel management to reduce the risk.





### Legend

- 2024-25 Mechanical Fuel Treatments
- 2024-27 New Strategic Fuel Breaks

### Planned Burns

- 2024-2025
- 2025-2026
- 2026-2027

### Fire Management Zones

- 1 - Asset Protection Zone
- 2 - Bushfire Moderation Zone
- 3 - Landscape Management Zone
- 4 - Planned Burn Exclusion Zone
- CFA District Boundaries
- DELWP District Boundaries

FIGURE 10 JOINT FUEL MANAGEMENT AREAS

## 10 DESCRIPTION OF DEVELOPMENT

The proposed subdivision will divide the lot into four blocks. There is sufficient space within the site to allow construction of dwellings on the proposed lots to achieve BAL 29 defensible space utilizing managed land beyond the boundaries. Defensible space is based on the hazard woodland on an upslope to the south west would requiring 16 metres, most of which will be provided within the sealed surface of Crimea Road. As the woodland to the north falls on a 0 to 5 degree downslope, requiring 21 metres of defensible space. 15 metres of defensible space is provided within the road reserve, with 6 metres within the property boundaries.

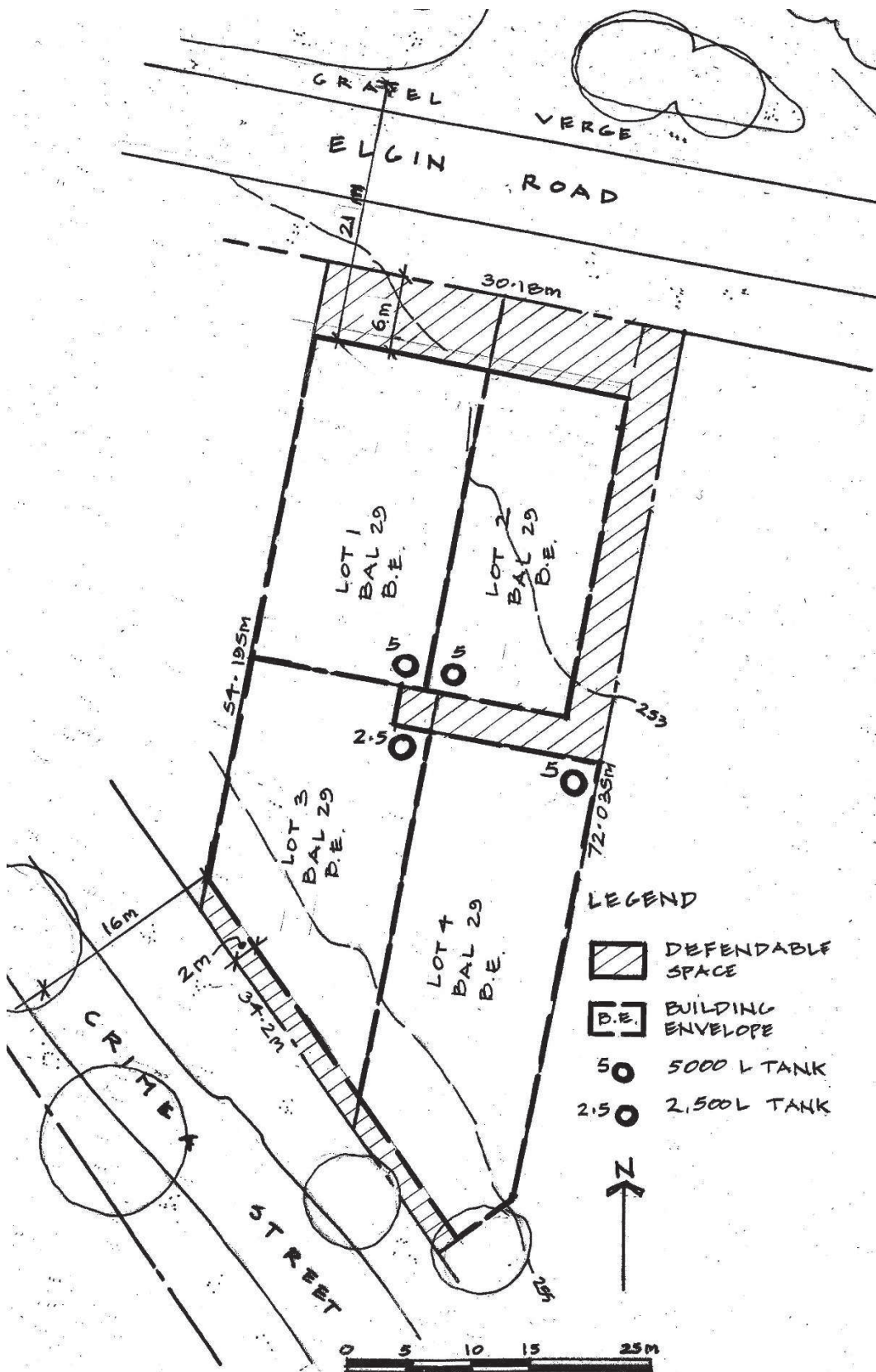


FIGURE 11 CONSTRUCTION STANDARDS , DEFENDABLE SPACE , ACCESS AND WATER SUPPLY

## **SCHEDULE OF BUSHFIRE PROTECTION MEASURES**

### **Defendable Space**

Defendable space will extend within and from the edges of the building envelopes to the property boundaries on all lots. All vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 2 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

### **Construction standards**

New dwellings on all lots will be designed and constructed a minimum Bushfire Attack Level of (BAL) 29

### **Water supply**

A tank on lots 1,2 and 4 will each hold 5000 litres of effective water supply and a tank on Lot 3 will hold 2,500 litres for fire fighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- All fixed above-ground water pipes and fittings required for fire fighting purposes must be made of corrosive resistant metal
- Include a separate outlet for occupant use.

## 11 BUSHFIRE MANAGEMENT STATEMENT

Clause 53.02 contains a range of sub clauses with objectives, approved measures (AM), alternative measures (AltM) and decision guidelines. The table below details which clauses are relevant to this application. The following section demonstrates how the requirements have been met for the relevant standards.

Relevant clauses and measures applicable to the proposed development.

Clause	Approved Measure	Achieved / Applicable	Justification
Clause 53.02 -3 – Dwellings in existing settlements – Bushfire protection objective	AM 1.1	Not Applicable	This is a subdivision so clauses are not applicable.
	AM 1.2	Not Applicable	
	AM 1.3	Not Applicable	
Clause 53.02 -4.1 Landscape, siting and design objectives	AM 2.1	Applicable	This development must address this clause.
	AM 2.2	Applicable	
	AM 2.3	Applicable	
Clause 53.02 -4.2 Defendable space and construction objectives	AM 3.1	Not Applicable	This is a residential subdivision and not applicable
	AM 3.2	Not Applicable	
	AltM 3.3	Not Applicable	This is a subdivision and not applicable.
	AltM 3.4	Not Applicable	
	AltM 3.5	Not Applicable	
	AltM 3.6	Not Applicable	
Clause 53.02 -4.3 Water supply and access objectives	AM 4.1	Applicable	This development must address this clause.
	AM 4.2	Not Applicable	This is a subdivision and not applicable.
Clause 53.02 -4.4 Subdivision objectives	AM 5.1	Not Applicable	The site is zoned GRZ
	AM 5.2	Not Applicable	Defendable space includes surrounding managed land so an unspecified alternative measure is proposed.
	AM 5.3	Not Applicable	Less than 10 lots are proposed
	AM 5.4	Not Applicable	There is no common property proposed
	AM 5.5	Not Applicable	Less than 10 lots are proposed



### 53.02 -2.1 Landscape, siting and design objectives

Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

Development is sited to minimise the risk from bushfire.

Development is sited to provide safe access for vehicles, including emergency vehicles.

Building design minimises vulnerability to bushfire attack.

Approved Measure	Requirement
AM 2.1	<p><b>The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.</b></p> <p><b>Response:</b> The site is located to the south west of Maryborough and is surrounded by a mix of woodland and managed gardens. The surrounding public land is managed to reduce the fuel loads and fire risk.</p> <p>Buildings within the proposed allotments would be able to meet the defendable space requirements for a minimum BAL 29 as per the Method 1 assessment of AS 3959-2018 within the property boundaries and surrounding managed land based on the hazard of managed low threat vegetation to the east and west and woodland on a 0 to 5 degree downslope to the north and woodland on an upslope to the south.</p>
AM 2.2	<p><b>Buildings are sited to ensure the site best achieves the following: The maximum separation distance between the building and the bushfire hazard.</b></p> <ul style="list-style-type: none"><li>• <b>The building is in close proximity to a public road.</b></li><li>• <b>Access can be provided to the building for emergency service vehicles.</b></li></ul> <p><b>Response:</b> The subdivision has been planned so that the proposed building envelopes can be sited to enable enough defendable space surrounding the dwellings to achieve a minimum 29 defendable space. The defendable space is contained within the property boundaries and surrounding managed residential land and road surfaces. The proposed houses will be located within 30 metres of Elgin Road and Crimea Street .</p>
AM 2.3	<p><b>A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building</b></p> <p><b>Response:</b> The new buildings on Lots 1 to 4 will be required to meet minimum BAL of 29. The construction requirements minimise the ability for ember penetration and radiant heat exposure to compromise the building integrity.</p>



## 53.02 -2.3 Water supply and access objectives

A static water supply is provided to assist in protecting property.  
Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Approved Measure	Requirement
AM 4.1	<p><b>A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with:</b></p> <ul style="list-style-type: none"><li>• <b>A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02 -5.</b></li><li>• <b>Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02 -5.</b></li></ul> <p><b>The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.</b></p> <p><b>Response:</b></p> <p>The proposed lots 1,2 and 4 will each have a 5000 litre and Lot 3 a 2500 litre fire resistant (concrete or steel) tank . CFA access to the tanks is not required as lots are between 1000 and 500m<sup>2</sup> . and are within 120 metres of a fire hydrant.</p> <p>The proposed houses will be located within 30 metres of Elgin Road and Crimea Street . There will be no access requirements as it is assumed fire fighting operations will be carried out from the street.</p>

## 53.02 -2.4 Subdivision objectives

To provide lots that are capable of being developed in accordance with the objectives of Clause 53.02 .

To specify at the subdivision stage before protection measures to develop a lot with a single dwelling on land zoned for residential or rural residential purposes.

Approved Measure	Requirement
AM 5.1	NA as the site is zoned GRZ
Unspecified Alternative Measure	<p><b>An application to subdivide land zoned for residential purposes is accompanied by a plan that shows:</b></p> <p><b>Each lot satisfies the approved measure in AM 2.1.</b></p> <p><b>A building envelope for a single dwelling on each lot that complies with AM 2.2 and provides defendable space in accordance with:</b></p> <p><b>Columns A, B or C of Table 2 to Clause 53.02 -5</b></p> <p><b>The bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02 -5 must be noted on the building envelope.</b></p> <p><b>Defendable space may be shared between lots within the subdivision.</b></p> <p><b>Defendable space for a lot may utilise communal areas, such as roads, and surrounding managed residential land where that land can meet the requirements for defendable space.</b></p> <p><b>Vegetation management requirements in accordance with Table 6 to implement and maintain the defendable space required under this alternative measure.</b></p> <p><b>Water supply and vehicle access that complies with AM 4.</b></p> <p><b>Response:</b></p> <p>Lots can achieve minimum BAL 29 defendable space within the boundaries , based on Column C Table 2 to Clause 53.02 -5 with the hazard being low threat vegetation within the 16 to 25 metres of the area required of BAL 29 defendable space, based on the hazard of woodland on a 0 to 5 degree downslope to the north and woodland on an upslope to the south.</p> <p>Water supply and access requirements can be met, as previously described under AM 4.1.</p>



## 6 CONCLUSION

### **53.02 -4.5 Decision guidelines**

The proposed development meets the decision guidelines as follows:

The State Planning Policy Framework (SPPF) outlines the broad framework for bushfire protection policy and provisions in the planning scheme. The following policy is included in this;

#### **Clause 13.02-1 S Bushfire planning**

##### *Objective*

*To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.*

##### *Strategies*

##### *Protection of human life*

*Give priority to the protection of human life by:*

*Prioritising the protection of human life over all other policy considerations.*

*Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.*

*Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process*

This proposal has been prepared having regard for this overarching policy

The bushfire hazard landscape and site assessment, and bushfire management statement submitted with the application meets the objectives of Clause 53.02.

Land surrounding the site is a mix of woodland, scrub, grassland and modified vegetation. The proper establishment and maintenance of defensible space on site will reduce the overall bushfire risk.

The proposed measures can be practically implemented and maintained in conjunction with the proposed use of the land for residential purposes.

## 7 REFERENCES

CFA (2014). *Vegetation Classes: Victorian Bushfire Management Overlay*. Country Fire Authority, Burwood East, Victoria.

CFA (2011). *Landscaping for Bushfire: Garden design and plant selection*. Country Fire Authority, Burwood East, Victoria.

CFA (2012). *FSG LUP 0002 Requirements for water supply and access in the Bushfire Management Overlay (BMO)*. Country Fire Authority, Burwood East, Victoria.

Standards Australia (2009). *AS 39359-2009 Construction of Buildings in Bushfire Prone Areas*. Standards Australia, North Sydney, New South Wales.

DELWP (2017) *Planning Permit Applications – Bushfire Management Overlay Technical Guide* Department of Environment, Land, Water and Planning

DELWP (2018) *Clause 13.02-1S Bushfire planning* Department of Environment, Land, Water and Planning

[http://planning-schemes.delwp.vic.gov.au/schemes/vpps/13\\_02-1S.pdf](http://planning-schemes.delwp.vic.gov.au/schemes/vpps/13_02-1S.pdf)

DELWP (2018) *Clause 44.06 Bushfire Management Overlay* Department of Environment, Land, Water and Planning

[http://planning-schemes.delwp.vic.gov.au/schemes/vpps/44\\_06.pdf](http://planning-schemes.delwp.vic.gov.au/schemes/vpps/44_06.pdf)

DELWP (2018) *Clause 53.02 Bushfire Planning* Department of Environment, Land, Water and Planning

[http://planning-schemes.delwp.vic.gov.au/schemes/vpps/53\\_02.pdf](http://planning-schemes.delwp.vic.gov.au/schemes/vpps/53_02.pdf)

DELWP (2018) *Bushfire Fuel and Risk Management*

<https://www.ffm.vic.gov.au/bushfire-fuel-and-risk-management/joint-fuel-management-program>

Nearmap

<http://maps.au.nearmap.com>



## APPENDIX 1– BUSHFIRE SITE ASSESSMENT

	South	North	East	West
Vegetation Type	Modified vegetation	Woodland	Managed low threat vegetation	Woodland
Distance from the house site boundary to vegetation	19m	25 m	Excludable	20
The effective slope under the vegetation	Up	0 – 5	0 - 5	up
Set back required for BAL 29 Defendable space	Property boundaries	21 m	Property boundaries	16
Defendable space Within boundaries	2m	6m	0	2m
BAL	29	29	29	29

## APPENDIX 2 DEFENDABLE SPACE CHECKLIST FOR SITE (TABLE 6, CLAUSE 53.02 -3)

Requirement	Compliance	Comment	Is a permit required to remove vegetation
All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.	No	Leaf litter to be removed	No
Grass must be short cropped and maintained during the declared fire danger period.	Yes		No
Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.	No	Clean up needed	No
Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.	No	Shrubs to be removed	No
Shrubs must not be located under the canopy of trees.	No	Shrubs to be removed	No
Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.	No	Shrubs to be removed	No
Trees must not overhang or touch any elements of the building.	No	Trees to be removed	No
The canopy of trees must be separated by at least 5 metres.	No	Trees to be removed	No
There must be a clearance of at least 2 metres between the lowest tree branches and ground level.	No	Trees to be removed	No

## APPENDIX 3 ACCESS AND WATER SUPPLY REQUIREMENTS

**Table 4 Water supply requirements**

**Capacity, fittings and access**

Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required
Less than 500	Not applicable	2,500	No
500-1,000	Yes	5,000	No
500-1,000	No	10,000	Yes
1,001 and above	Not applicable	10,000	Yes

*Note 1: A hydrant is available if it is located within 120 metres of the rear of the building*

**Fire Authority requirements**

Unless otherwise agreed in writing by the relevant fire authority, the water supply must:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.

Where a 10,000 litre water supply is required, fire authority fittings and access must be provided as follows:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).



**Table 5 Vehicle access design and construction**

Vehicle access (or part thereof) of a length specified in Column A implements the design and construction requirements specified in Column B.

Column A	Column B
Length of access is less than 30 metres	There are no design and construction requirements if fire authority access to the water supply is not required under <b>AM4.1</b> .
Length of access is less than 30 metres	Where fire authority access to the water supply is required under <b>AM4.1</b> fire authority vehicles should be able to get within 4 metres of the water supply outlet.
Length of access is greater than 30 metres	<p>The following design and construction requirements apply:</p> <ul style="list-style-type: none"> <li>• All-weather construction.</li> <li>• A load limit of at least 15 tonnes.</li> <li>• Provide a minimum trafficable width of 3.5 metres.</li> <li>• Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.</li> <li>• Curves must have a minimum inner radius of 10 metres.</li> <li>• The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more</li> </ul>
	<p>than 1 in 5 (20%) (11.3°) for no more than 50 metres.</p> <ul style="list-style-type: none"> <li>• Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.</li> </ul>
Length of access is greater than 100 metres	<p>A turning area for fire fighting vehicles must be provided close to the building by one of the following:</p> <ul style="list-style-type: none"> <li>• A turning circle with a minimum radius of eight metres.</li> <li>• A driveway encircling the dwelling.</li> <li>• The provision of other vehicle turning heads – such as a T or Y head – which meet the specification of Austroad Design for an 8.8 metre Service Vehicle.</li> </ul>
Length of access is greater than 200 metres	<ul style="list-style-type: none"> <li>• Passing bays must be provided at least every 200 metres.</li> <li>• Passing bays must be a minimum of 20 metres long with a minimum trafficable width of 6 metres.</li> </ul>

*Note 1: The length of access should be measured from a public road to either the building or the water supply outlet, whichever is longer.*

SCHEDULE OF BUSHFIRE PROTECTION MEASURES

Defendable Space

Defendable space will extend within and from the edges of the building envelopes to the property boundaries on all lots. All vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 2 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction standards

New dwellings on all lots will be designed and constructed a minimum Bushfire Attack Level of (BAL) 29

Water supply

- A tank on lots 1,2 and 4 will each hold 5000 litres of effective water supply and a tank on Lot 3 will hold 2,500 litres for fire fighting purposes which meets the following requirements:
- Is stored in an above ground water tank constructed of concrete or metal.
  - All fixed above-ground water pipes and fittings required for fire fighting purposes must be made of corrosive resistant metal
  - Include a separate outlet for occupant use.

FIGURE 12 BUSHFIRE MANAGEMENT PLAN

31 Elgin Road Maryborough

Version C

28/3/2025

