



Application for a Planning Permit

① Privacy Statement

Any material submitted with this application, including plans and personal information, may be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. You must not submit any personal information or copyright material of third parties without their informed consent.

Central Goldfields Shire Council (CGSC) cannot publish your personal information (apart from the relevant address) on its internet site unless you consent to this. Do you consent to your personal information (such as your name and contact details) being made available to members of the public?

No.

Yes. (Name only?

① Questions marked with must be completed.

More information about the planning permit application process is found [here](#).

Please submit your application to planning@cgoldshire.vic.gov.au.

Application type

Is this a [VicSmart](#) application?

No

Yes. Please specify which classes:

Pre-application meeting

Has there been a pre-application meeting with a Council planning officer?

No

Yes. Name and date: Penny Dodsworth 17/09/2025

Applicant details

Name:

Organisation (if applicable):

Address:

Phone num

Email:

Preferred contact (if different to applicant):

Name:

Organisation (if applicable):

Address:

Phone number:

Email:

Land details

Address:

Formal land description:

Lot: on Lodged Plan/Title Plan/Plan of Subdivision:

OR

Crown Allotment: Section:

Parish/Township of:

Land owner:

Current land use and development description:

Proposal

Description of the use, development or other matter proposed:

Proposed 2 dwelling development

Estimated cost of development (if applicable): \$ 500,000

Applicant declaration

I declare that all the information in this application is true and correct; and the owner [REDACTED] has been notified of the permit application.

Signature [REDACTED]

Date: 17/09/2025

Application checklist

Correctly filled and signed planning permit application form.

Full and current copy of title documents: Register Search Statement, Title Plan and any restrictive covenants (generated within 3 months) – can be purchased from [Landata](#).

Plans drawn to scale and dimensioned which show:

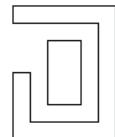
- Site shape, size, dimensions and orientation.
- The siting and use of existing and proposed buildings.
- Adjacent buildings and uses.
- The building form and scale.
- Setbacks to property boundaries.

Information required by the planning scheme.

Proposed Two Dwelling Development

21 Rogers Street, Maryborough VIC 3465

No.	DESCRIPTION
TP 01	TITLE PAGE
TP 02	DESIGN RESPONSE
TP 03	SITE FLOOR PLAN
TP 04	LANDSCAPE PLAN
TP 05	DIMENSION PLAN
TP 06	ROOF LAYOUT
TP 07	STORMWATER LAYOUT
TP 08	SITE ELEVATIONS
TP 09	SHADOW DIAGRAMS
TP 10	SITE ANALYSIS PLAN
TP 11	3D SCHEMATICS



J.O ARCHITECTURAL SERVICES

James O'Brien

Bachelor: Design (Architecture)
Diploma: Building Design & Drafting
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Planning/Building/Interiors
Artist impressions/Project Management

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LEGEND	
SS	SINGLE STORY
2S	TWO STOREYS
UU	UNITS/ MULTI
POS	PRIVATE OPEN SPACE
BUILDING MATERIAL	
BV	BRICK VENEER CONSTR.
BC	BRICK CLAD CONSTR.
WB	WEATHER BOARD CONSTR.
RBV	RENDERED BVC
R	RENDER
ROOF MATERIAL	
TR	TILED ROOF
CI	CORRUGATED IRON ROOF
FR	FLAT ROOF
FRONT FENCE	
CIF	CORRUGATED IRON FENCE
WF	WIRE FENCE
SF	STEEL FENCE
PF	PICKET FENCE
BF	SOLID BRICK FENCE
TF	TIMBER FENCE
TPF	TIMBER PALING FENCE
NFF	NO FRONT FENCE
CO	COLORBOND FENCE
OTHER NOTABLE FEATURES	
V	VERANDAH
PERG	PERGOLA
P	PORCH
SH	SHED
G	GARAGE FREESTANDING
CP	CARPORT
CS	CARSPACE
OB	OUT BUILDING

DESIGN HIGHLIGHTS

- 2x DETACHED DWELLINGS DEVELOPMENT
- FRONT SETBACK SYMPATHETIC TO STREETSCAPE AND OTHER NEIGHBOURING STREETS
- BUILDING MATERIALS
 - BRICK VENEER EXTERNAL WALLS
 - MATCHES SEVERAL DWELLINGS LISTED IN THIS NEIGHBOURHOOD MAP
 - TILED HIP ROOF MATCHES SEVERAL DWELLINGS LISTED IN THIS NEIGHBOURHOOD MAP
 - COLOURS AND FINISHES MATCHES SEVERAL DWELLINGS LISTED IN THIS NEIGHBOURHOOD MAP
- ARTICULATION APPLIED TO OVERALL MASSING TO REDUCE BULKINESS
- SUFFICIENT AMOUNT OF POS IN NORTHERLY ASPECT CONSIDERATIONS APPLIED
- SITE COVERAGE AND GARDEN AREAS SYMPATHETIC TO STREETSCAPE AND OTHER NEIGHBOURING STREETS
- PROPOSED 2x INDIVIDUAL CROSSOVER SUBJECT TO COUNCIL REQUIREMENTS

Site Description



21 Rogers St Maryborough, Frontage

No site coverage is specified in the schedule to this zone

Table B2-5 Site coverage	
Zone	Area
General Residential Zone	65 per cent

Dwelling 1 will have a site coverage of 45% of its total land area of 526m²
Dwelling 2 will have a site coverage of 37% of its total land area of 587m²

55.02-6 Access objective

To ensure the number and design of vehicle crossovers responds to the neighbourhood character.

Standard B2-6: Standard Met

The width of accessways or car spaces (other than to a rear lane) does not exceed:

- 33 per cent of the street frontage or
- 40 per cent of the street frontage if the width of the street frontage is less than 20 metres

An accessway will service each dwelling and each will be 3.5m wide. A total of 29% of the 24.08m long frontage will be utilised for accessways.

The STORM report provided demonstrates the site meeting the requirements scoring 121%.

Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge.

The Stormwater Layout Plan TP07 illustrates the flow of stormwater into rain gardens, rain water tanks and the legal point of discharge.

Design standard 1 – Accessways

Accessways must:

Be at least 3 metres wide.

Accessways are 3.5m wide

Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.

NA

Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.

STORM Rating Report

TransactionID:	0	CENTRAL GOLDFIELDS
Relevant Station:	19	MARYBOROUGH
Address:	21 Rogers Street	
Municipality:	0	MARYBOROUGH
Suburb:	3465	
Assessor:	VIC	
Development Type:	Residential - Low Density	
Movement Gtr (sqm):	11.14.00	
STORM Rating %:	121	
Description		
Impervious Area (sqm)	Treatment Area/Volume (sqm or L)	Occupants / Number of Bedrooms
Impervious Area	Treatment Type	Treatment %
None	None	0.00
0-10	None	0.00
11-10	Raingarden 100mm	0
11-25	0	134.00
26-30	Raingarden 100mm	4.58
31-36	0	134.00
37-44	Raingarden 100mm	5.69
45-64	0	134.00
65-86	Raingarden 100mm	3.87
87-106	0	134.00
107-126	Rainwater Tank	3,000.00
127-146	0	172.00
147-166	None	0.00
167-186	Raingarden 100mm	0.00
187-206	0	134.00
207-226	Raingarden 100mm	8.00
227-246	0	134.00
247-266	Raingarden 100mm	4.40
267-286	0	134.00
287-306	Rainwater Tank	3,000.00
307-326	0	143.00

NEIGHBOURHOOD CHARACTER

1:600



STREETSCAPE ELEVATION A-A

1:150

A	Issue for Comment	General Notes:
B	Town Planning Issue	03/10/18
C	Council Ref:	03/10/25
Rev	Description	Drft Issued
	Levels shown thus are in metres to an Arbitrary Datum	
	Figured dimensions to be used-do not scale.	
	Contractors shall verify all levels and dimensions on site	
	before commencing any work on site or producing shop drawings.	

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REGISTERED Building Practitioner
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Project: Proposed Two Dwelling Development
Scale: @ A1
Drawing Number: TP 02
Ref Number: 3107
Drawing Title: DESIGN RESPONSE
Drawn By: JA Checked By: JA Last Print Date: 21/10/2025
REV C5
NORTH POINT



SITE GROUND FLOOR PLAN

1:100

ROGERS STREET

A green square icon with a thin black border, positioned to the left of the text 'GARDEN AREAS'.

Levels shown thus ~~+~~ 0.00 are in metres to an Arbitrary Datum
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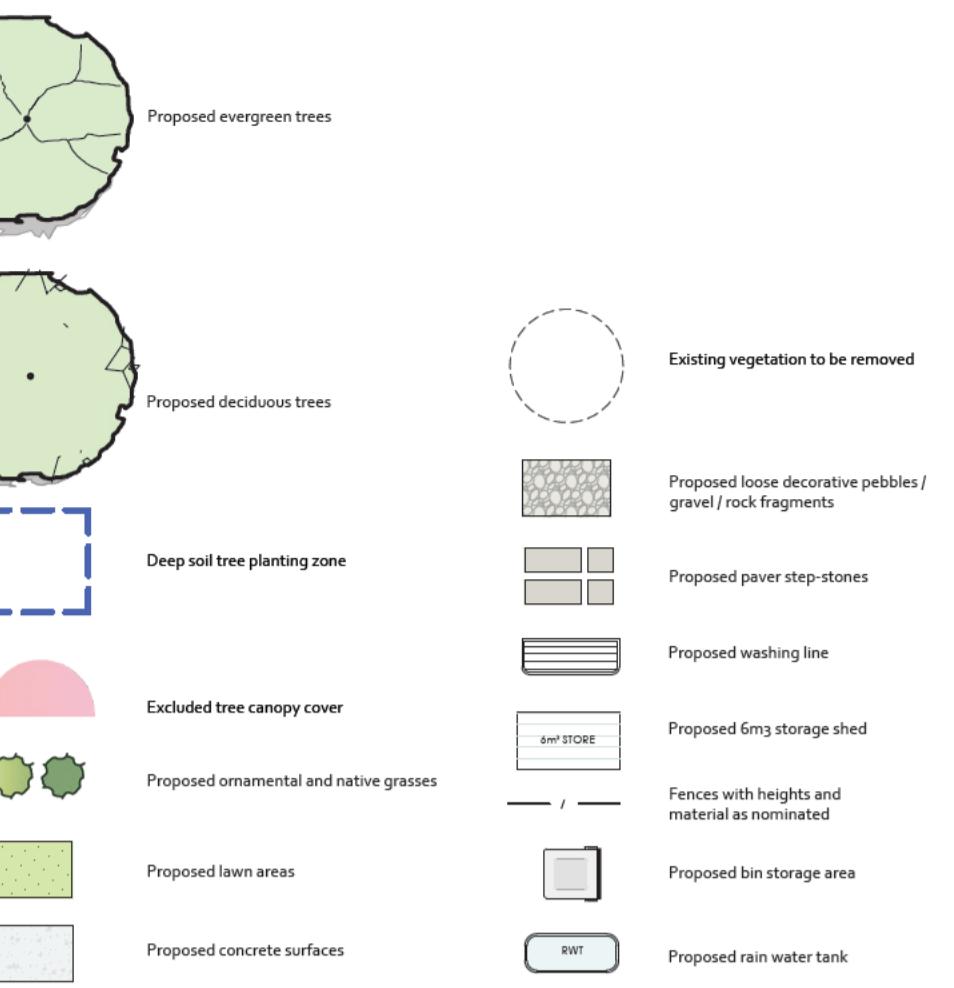
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 REGISTERED
Building Practitioner

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REV C5	<p>Project: Proposed Two Dwelling Development</p> <p>21 Rogers Street, Maryborough VIC 3465</p>	<p>Scale: 1:100 @ A1</p> <p>Drawing Number: TP 03</p> <p>Ref Number: 3107</p>	 NORTH POINT
	<p>Drawing Title: SITE FLOOR PLAN</p>		
	<p>Drawn By: JA Checked By: JA Last Print Date: 21/10/2025</p>		

Legend



Subgrade preparation

Site preparation to be carried out in accordance with best horticultural practice and to a minimum depth of 150mm. Sub-grade to be graded and shaped to achieve drainage falls prior to topsoiling. Sub-grade to be tested prior to topsoiling and to a minimum depth of 150mm. Topsoil and gypsum requirement to be to be distributed at the manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topsoiling areas to be graded / drained to prevent water discharge into neighbouring properties.

Weed control

Remove and dispose of environmental weeds off site prior to subgrade preparation, topsoiling and planting works.

Soil Preparation

Topsoil to be spread in maximum 150mm layers, lightly compacted by use of a soil raking machine, or by thorough walking until it accords with the kerb line or to a minimum 150mm below edging levels to accommodate mulch. Imported topsoil for garden beds is to be medium texture general purpose garden soil and lightly compacted to minimum 300mm depth to garden beds. Soil is to comply with s.a. 2223-1978, and as follows:

- free from perennial weeds and their roots, bulbs and rhizomes
- free from building rubble and any other matter deleterious to plant growth
- pH to be 6.0 - 7.0
- texture to be light to medium friable loam
- free from silt material

Imported topsoil for lawn regeneration / establishment shall have the above characteristics, but shall be a free draining sandy loam, lightly compacted to minimum 300mm depth.

Mulch

The specified mulch for garden beds is to be an aged organic material with 60-80 percent of its volume being wood chips particles in a size range of 25-50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm.

Planting Procedure

If soil to planting hole is dry - fill with water and allow to drain completely. Tree roots are to be teased outwards if matted or circling occurs prior to backfilling. Place tree in centre of hole on firm soil to prevent settling. Backfill with soil to a point 100mm above the surrounding soil surface and the trunk is vertical. Backfill material is to be in a loose, friable state, with no bricks, rocks or foreign materials. If sufficient material is not available form the original hole to backfill, a similar soil type must be sourced and used. Soil material must be firmly backfilled around the trunk to a minimum depth of 150mm and thoroughly watered in. Trees to be staked with two 250mm x 70mm hardwood stakes driven firmly into the ground - stakes must not be placed through the rootball area. Trees are to be secured to each stake with a strong, soft and flexible material, tight enough to support the tree but not bind the trunk. Stakes should be staked at an angle of a good supportive root system. Tree material must not injure tree bark or restrict trunk growth for a minimum period of three years. Slow release fertiliser (3/6 month formulation) such as 'Osmocote' is to be applied to the root system at the rate of 100g per square metre in accordance with manufacturers specifications and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and to a depth of 75mm. Mulch is to be an aged organic material with 60-80 percent of its volume being wood chip particles in a size range of 25-50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm. The planting hole surface must be shaped to minimise waterlogging/excessive water retention but retain the mulch material neatly. The site must be left in a clean and safe condition.

Plant Establishment Period

The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a 12 week establishment period following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning as necessary to maintain plants in a healthy structural and maintenance condition. Measures to be pest and disease free, mulching, staking and tying - 75mm mulch depth to be maintained around tree bases throughout maintenance period, watering - as often as necessary to ensure healthy and vigorous growth in accordance with the maintenance plan, weeding, weeding maintained in a weed free state over the entire mulch area by spraying or mechanical mean, fertilising - 3x's monthly slow release fertiliser in accordance with manufacturers recommended application rates, replacement of deceased, stolen or vandalised plants beyond repair or regrowth with the same species as specified in the plant schedule within the assigned maintenance period.

Irrigation

An in-ground automatic drip (or spray where practical) irrigation system to be installed to all garden areas to be operated in accordance with current local watering regulations.

Timber Edging

Timber edging to be 75mm x 25mm treated pine secured to 50mm long treated pine posts at 1000mm min 500mm spacings with galvanised screws and installed to all junctions between garden beds, lawn and topsoil / pebble areas.

Drainage

Landscape (or building contractor) are responsible for civil and hydraulic computations for landscape building works including, but not limited to surface and sub surface drainage for all landscape areas prior to commencement of works.

General

It is the responsibility of the consulting engineer to specify building construction methods for all existing and proposed built constructions on and off site that are able to withstand disturbance from proposed trees and planting - whether directly from the tree/plant, or as a result of changes to the soil profile (i.e. soil movement as a result of changes in moisture levels). It is the responsibility that contractors be installed for any proposed trees located within 5 metres of any proposed or existing (including neighbouring) building lines, retaining walls, rain gardens and any built constructions.

Any cross section drawings provided on this plan are indicative only. Refer to the construction drawings prepared by the architect and consulting engineer which take precedence.

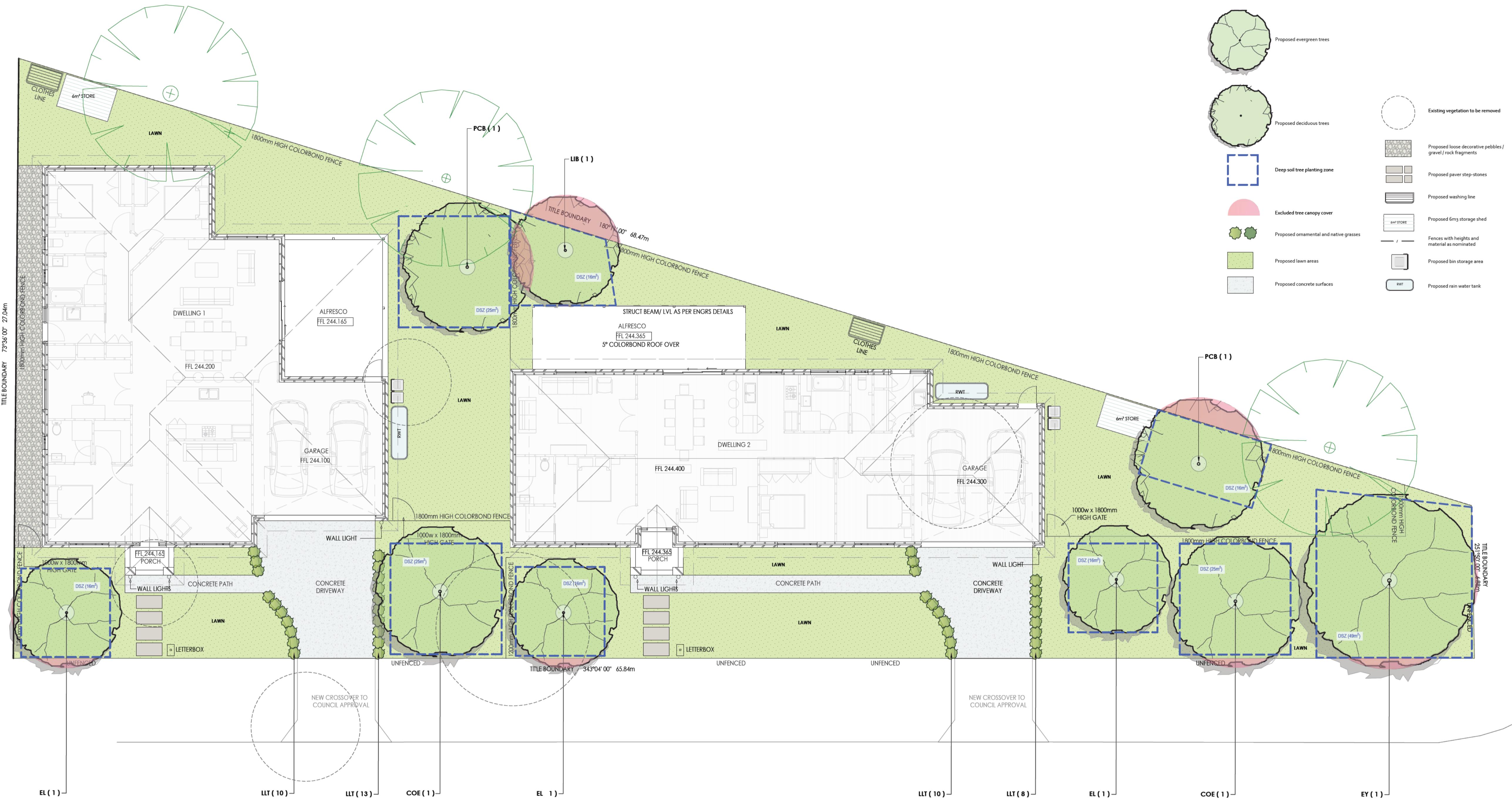
Plants - Quality of Trees and Shrubs

Trees and shrubs shall be healthy, sturdy stock free from insects, diseases and weeds. The specified plant heights, and pot sizes are minimums. If plant material is unavailable in these sizes, larger stock must be used. Plant substitution is not acceptable unless confirmed by the responsible authority in writing. The contractor is to supply and install selected trees which meet the following criteria. Have minimum planted height to sizes as indicated in the plant schedule, have a minimum true caliper of 50mm at ground level, be undamaged and free of disease and insect pests, not be root bound or have circling or protruding butts, no roots greater to the edge of the container, should bear a single straight trunk, strong branching pattern, and full canopy, show healthy, vigorous growth.

Protection of Existing Trees

All existing trees within the proposed plan (subject site and neighbouring properties) to be retained must be suitably marked before any development (including demolition) commences on the land and that vegetation must not be removed, destroyed or lopped without the written consent of the responsible authority. Before the commencement of works to any proposed development sites, protection barriers must be erected around trees (subject site and neighbouring properties) to form a defined tree protection zone during demolition and construction in accordance with the protection measures as per AS 4373-2009 (Pruning of trees on development sites) and to the satisfaction of the responsible authority.

Any pruning that is required must be carried out by a trained and competent arborist with a thorough knowledge of tree physiology and pruning methods to carry out pruning to the Australian standard - AS 4373-2009 (Pruning of trees). All tree protection practices must be adhered to in accordance with the arboricultural rules and to the satisfaction of the responsible authority.



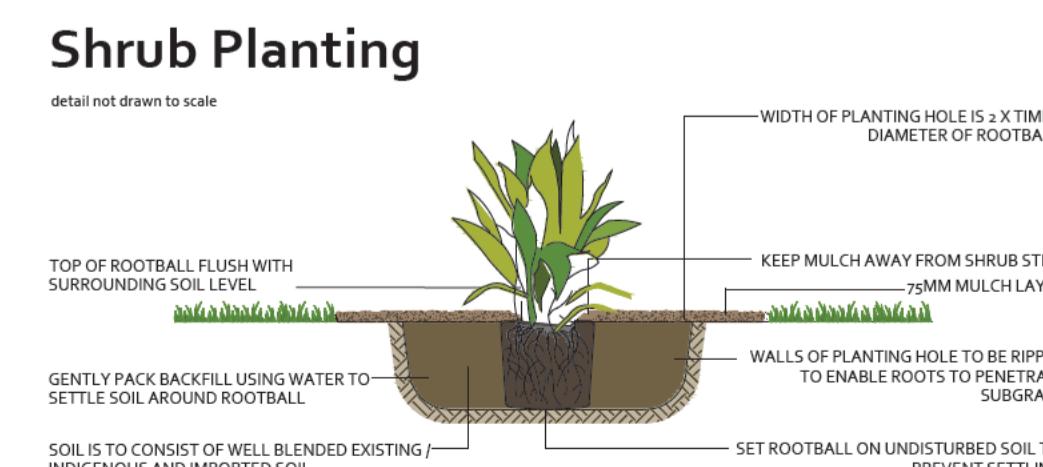
Advanced Tree Planting

detail not drawn to scale



Shrub Planting

detail not drawn to scale



Surface Finishes Detail

Garden Beds



Topping / Pebble Areas



Lawn areas



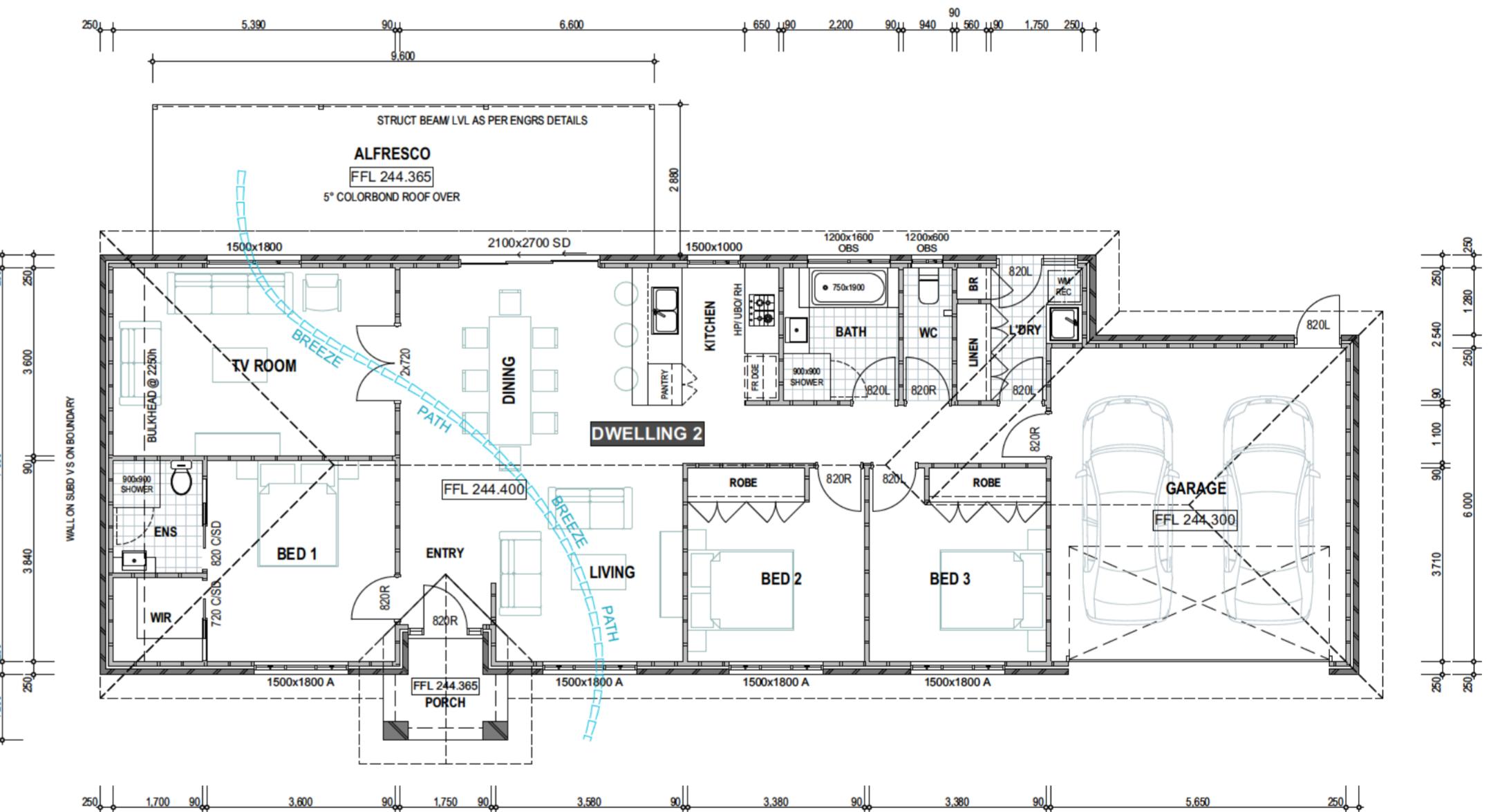
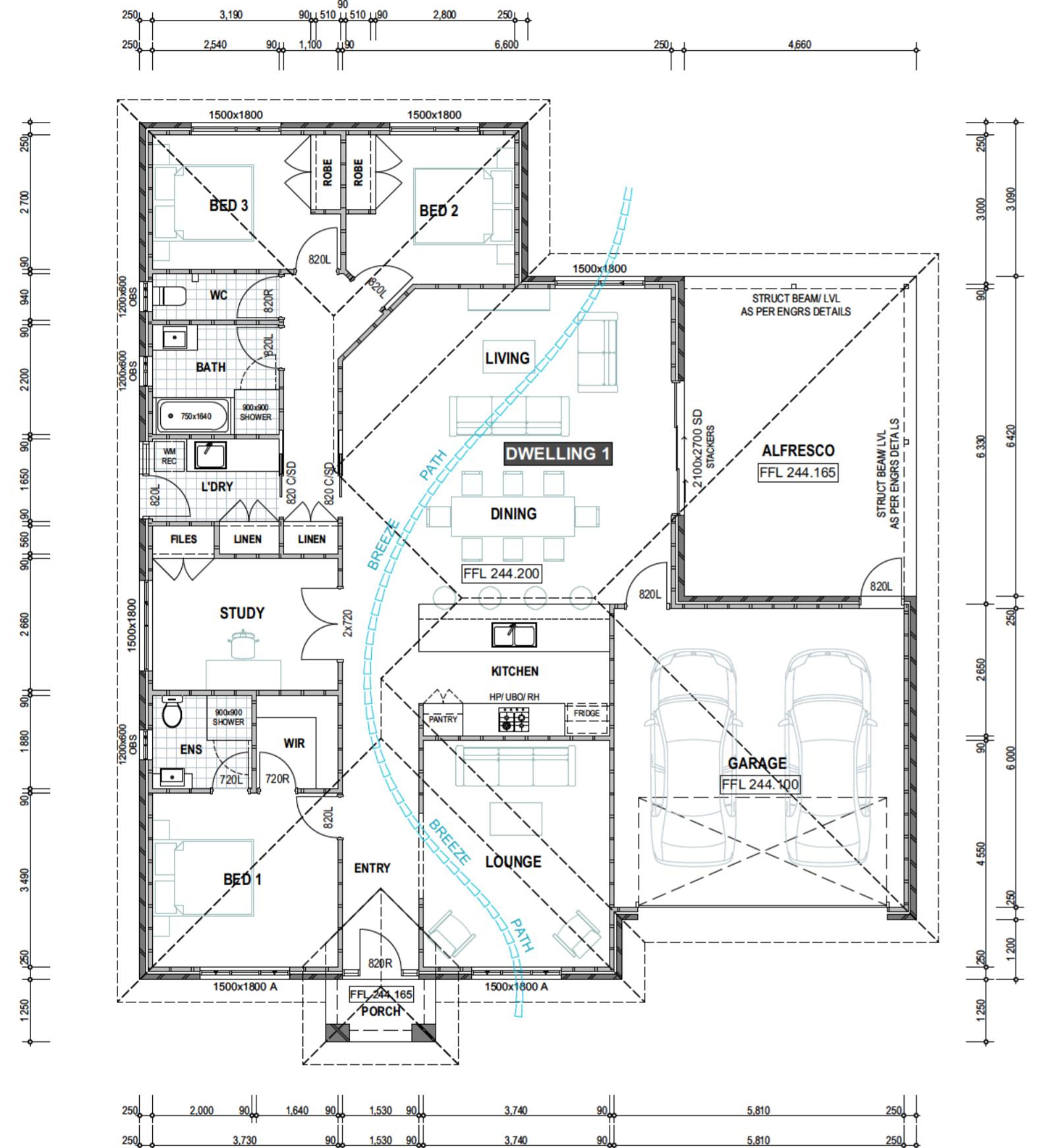
Tree Canopy Cover Summary

Total site area	1114m ²
Minimum tree canopy cover requirement	222.8m ² (20%)
Proposed tree canopy cover	227.06m ² (20.38%)
- Type A trees (5m diam.) x 4 @ 19.7m ² / tree	78.8m ²
- Type A trees (6m diam.) x 4 @ 28.3m ² / tree	113.2m ²
- Type B trees (8m diam.) x 1 @ 50.3m ² / tree	50.3m ²
- Excluded canopy cover (proposed trees)	>15.24m ²

Proposed Planting Schedule

Code	Botanical Name	Common Name	Supply Size	Mature HxW(m)	Qty
COE	<i>Coriaria eximia 'Nana'</i>	Yellow Bloodwood	40lt/min 1.5m high	8 x 6	2
EL	<i>Eucalyptus leucoxylon 'Euky Dwarf'</i>	Dwarf Yellow Gum	40lt/min 1.5m high	6 x 5	3
EY	<i>Eucalyptus piperita</i>	Red Box	40lt/min 1.5m high	15 x 8	1
L1B	<i>Lagerstroemia indica x L. 'J. Jaurie' 'Blossi'</i>	Crape Myrtle	40lt/min 1.5m high	8 x 5	1
PCB	<i>Pittosporum tobira 'Edgell'</i>	Edgewood Ornamental Pear	40lt/min 1.5m high	8 x 6	2
TOTAL					9
LLT	<i>Lomandra 'Lime Tuff'</i>	Lomandra	14cm pot	.50 x .50	41



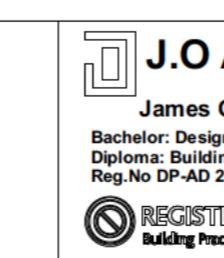


INTERNAL DIMENSIONS PLAN

1:100

A	Issue for Comment	10/08/18
B	Town Planning Issue	03/10/18
C	Council RFI	03/10/25
General Notes:		
Rev	Description	Drft Issued

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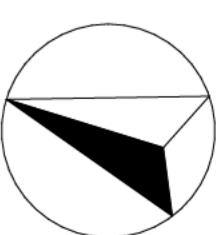
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REV
C5

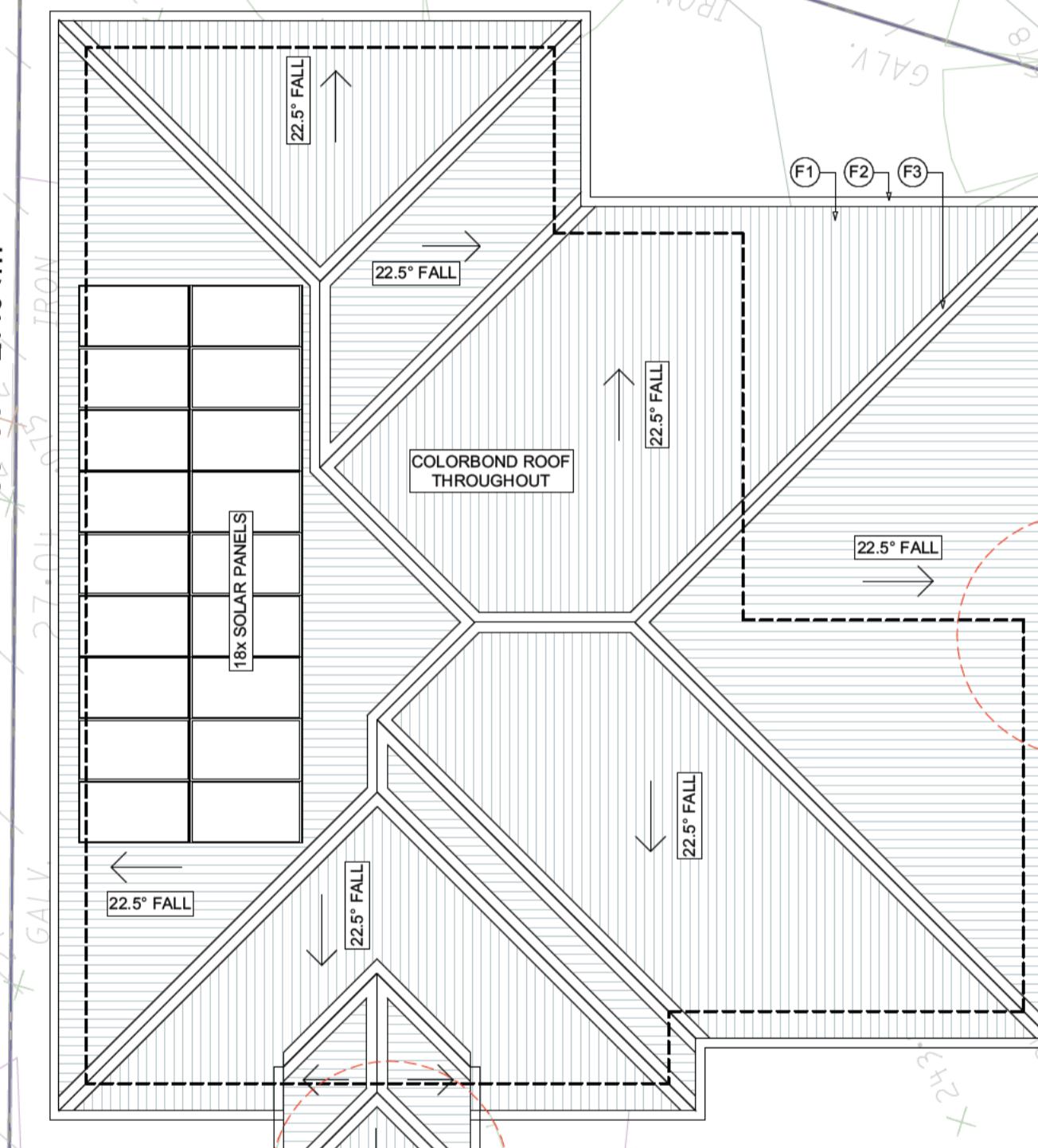
Project:
Proposed Two Dwelling Development
 21 Rogers Street, Maryborough VIC 3465

Scale:
 @ A2
 Drawing Number:
TP 05
 Ref Number: 3107



NORTH POINT

MATERIAL SCHEDULE	
	F1 COLORBOND ROOFING COLOUR_COLORBOND 'MONUMENT' OR 'SM LAR'
	F2 COLORBOND METAL FASIA & GUTTERS COLOUR_COLORBOND 'MONUMENT' OR 'SM LAR'
	F3 COLORBOND METAL ROLLER DOOR COLOUR_COLORBOND 'MONUMENT' OR 'SM LAR'
	BR1 BRICK FINISH AUSTRAL HOMESTEAD - REDGUM OR 'SM LAR'
	BR2 BRICK FINISH AUSTRAL BURLESQUE - CHARM NO BLACK OR 'SM LAR'
	W1 ALUMINUM WINDOW FRAME_BLACK
	GL1 GLAZED WINDOW FINISH_CLEAR



TITLE BOUNDARY

343°04' 00" 65.84m

ROGERS

STREET

OVERALL ROOF LAYOUT
1:100

A	Issue for Comment
B	Town Planning Issue
C	Council Ref:
D	03/10/18
E	03/10/25

General Notes:
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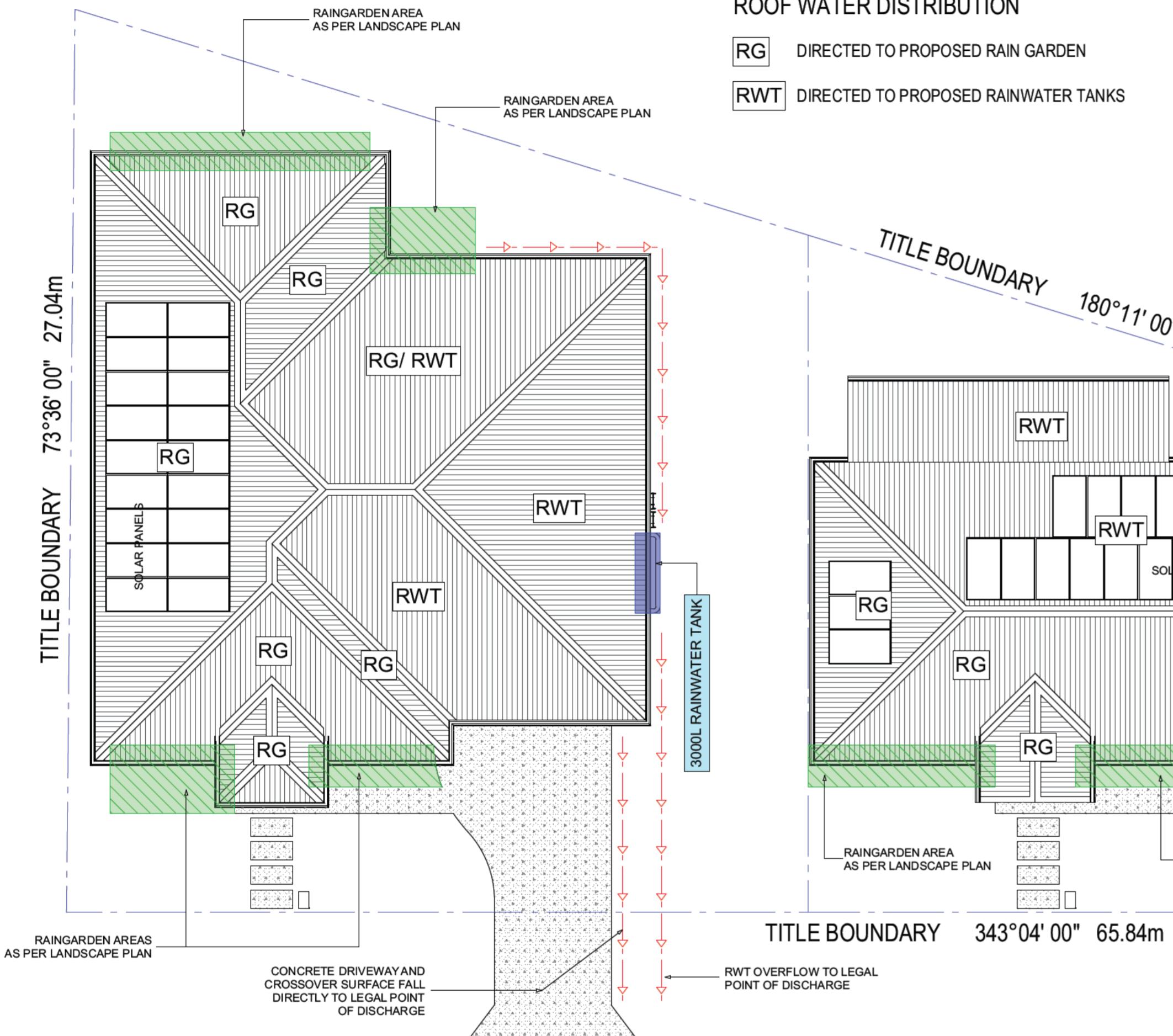
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Project: Proposed Two Dwelling Development
21 Rogers Street, Maryborough VIC 3465
Scale: 1:100 @ A1
Drawing Number: TP 06
Ref Number: 3107
Drawing Title: ROOF LAYOUT
Drawn By: JA Checked By: JA Last Print Date: 21/10/2025
REV C5
NORTH POINT

AREA SCHEDULE
TOTAL LAND AREA - 1114m²

DWELLING 1
LAND AREA 526.8m²
DWELLING 16.5
GARAGE 38.6
ALFRESCO 30.3
PORTICO 2.7
TOTAL DWELLING 240.1m²
45% SITE COVERAGE

DWELLING 2
LAND AREA 587.2m²
DWELLING 146.2
GARAGE 38.1
PERGOLA 27.6
PORTICO 4
TOTAL DWELLING 215.9m²
37% SITE COVERAGE



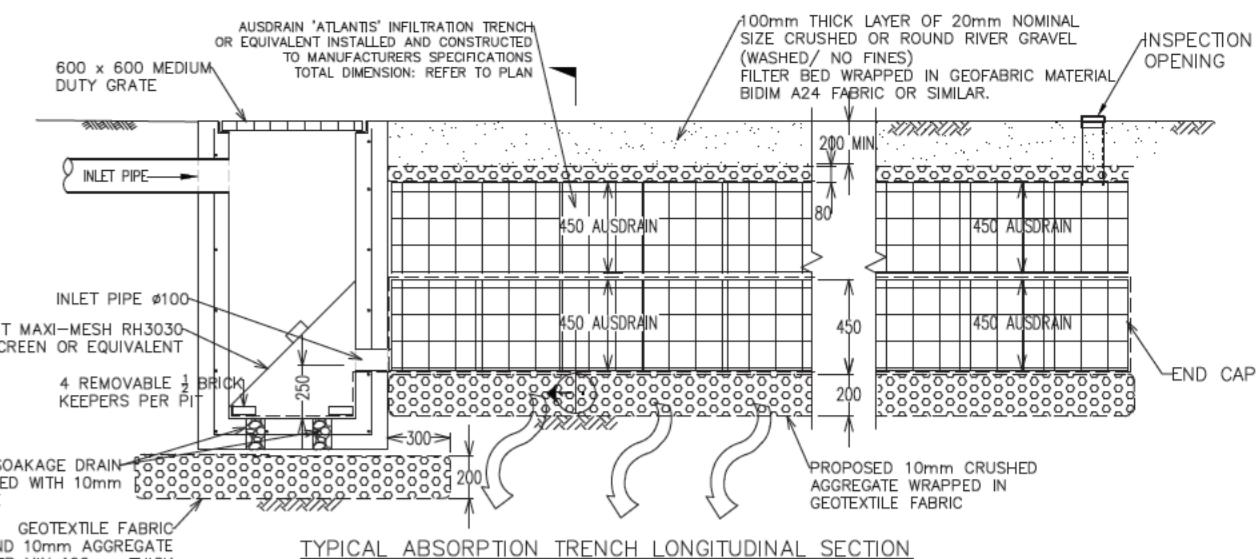
ROOF WATER DISTRIBUTION

RG DIRECTED TO PROPOSED RAIN GARDEN

RWT DIRECTED TO PROPOSED RAINWATER TANKS

GENERAL DRAINAGE NOTES

1. ALL PROPOSED PITS TO BE 450 x 450 CAST IN-SITU OR PRECAST PITS UNLESS SHOWN OTHERWISE.
2. ALL CHARGED LINE PIPES TO BE Ø100 uPVC SEWER CLASS UNLESS SHOWN OTHERWISE.
3. ALL DOWNPPIPES TO BE 90Ø uPVC UNLESS OTHERWISE SHOWN
4. ALL NON-PRESSURE STORMWATER PIPES TO BE 100Ø uPVC UNLESS SHOWN OTHERWISE.
5. ALL GRATED DRAINS TO BE MINIMUM 150 WIDE GALVANIZED HEAVY DUTY GRATES.
6. ALL NON-TRAFFICABLE PITS TO BE LIGHT DUTY. PITS IN TRAFFICABLE AREAS TO BE HEAVY DUTY.
7. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH COUNCILS SPECIFICATIONS.
8. ALL PITS GREATER THAN 1.2m DEPTH SHALL INCLUDE STEP IRONS AND HAVE MINIMUM CLEAR DIMENSIONS OF 600 x 600.
9. ALL PITS ARE TO BE BENCHED TO ALLOW SMOOTH FLOW OF WATER THROUGH PITS.
10. ALL DOWNPPIPES SHALL CONFORM TO AS/NZS 1866 FOR ALUMINIUM PIPES AND AS 1254, AS/NZS 1260, AS 1273, AS/NZS 1477, AS/NZS 2179.2 AND AS 2032 FOR uPVC PIPES.
11. ALL BOX GUTTERS SHALL COMPLY WITH AS/NZS 2179.1
12. ALL BOX GUTTERS SHALL BE CONSTRUCTED WITH A MINIMUM 1:200 GRADE TO SUMP/DOWNPPIPES
13. ALL DRAINAGE WORKS SHALL BE IN ACCORDANCE WITH AS 3500.3.2



INWATER TANK NOTES

RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS)

TOWN WATER CONNECTION TO RAINWATER TANK TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS WAY REQUIRE PROVISION OF:

2.1. PERMANENT AIR GAP PERMANENT AIR GAP

2.2. BACKFLOW PREVENTION DEVICE BACKFLOW PREVENTION DEVICE

NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY

AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.

PROVIDE APPROPRIATE FLOAT VALVES AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL

ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE

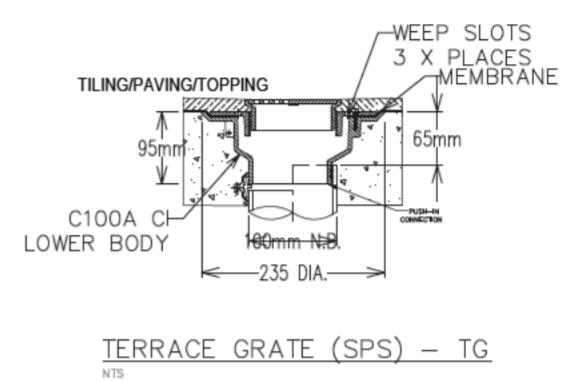
PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN ONLY

ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK. SURFACE WATER INLETS ARE NOT BE CONNECTED.

PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZ 3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RA NWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MAKE IN ACCORDANCE WITH AS1345)

EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED 'RAINWATER' ON A METALLIC SIGN IN ACCORDANCE W TH AS1319

ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.



TERRACE GRATE (SPS) - TG

73°36' 00" 27 04m

TITLE BOUNDARY

PER L

STORMWATER MANAGEMENT PLAN

1:150

10/08/18



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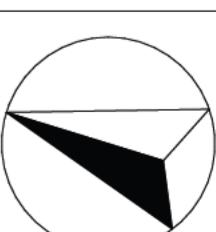
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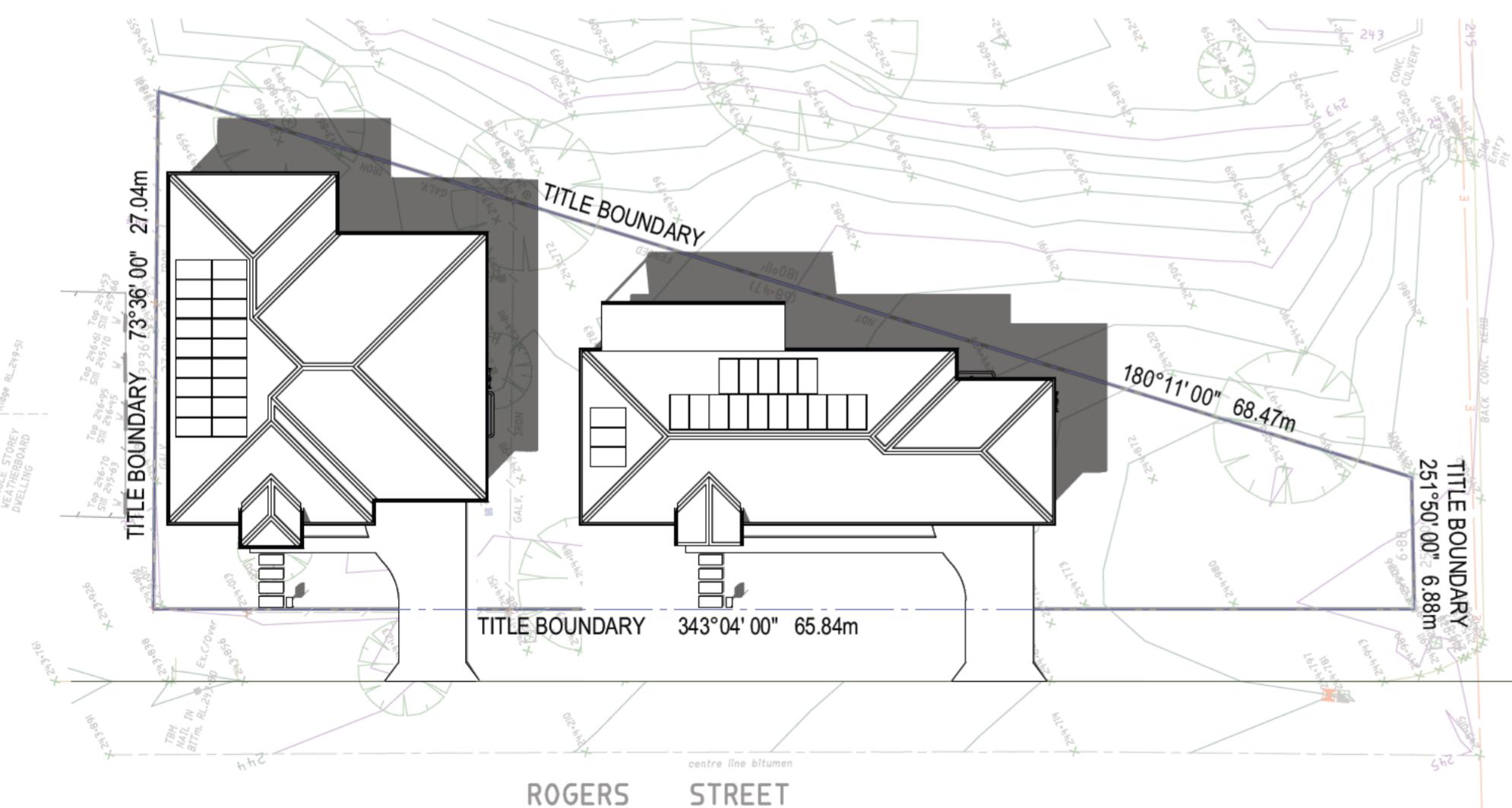
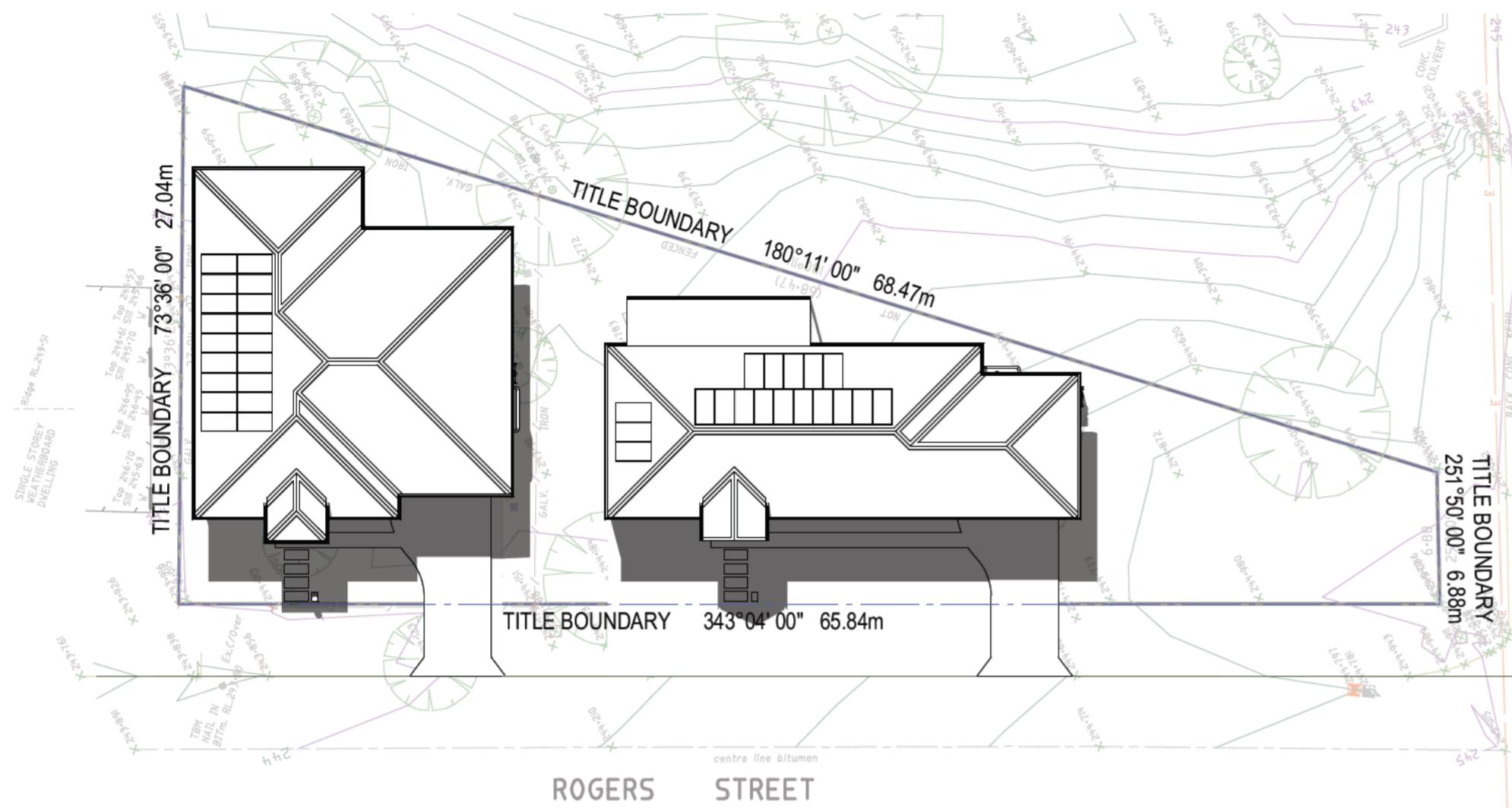
Proposed Two Dwelling Development

Drawing Title: STORMWATER LAYOUT

Drawn By: **JA** Checked By: **JA** Last Print Date: **21/10/2025**



NORTH POINT



A	Issue for Comment	10/08/18
B	Town Planning Issue	03/10/18
C	Council RFI	03/10/25
General Notes:		
Rev	Description	Drft
Issued		

Levels shown thus ± 0.00 are in metres to an Arbitrary Datum
Figured dimensions to be used-do not scale.
Contractors shall verify all levels and dimensions on site
before commencing any work on site or producing shop drawings.



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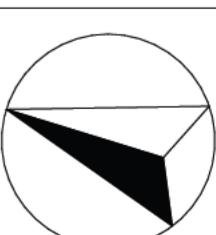
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Project:
Proposed Two Dwelling Development
21 Rogers Street, Maryborough VIC 3465

Scale:
1:300 @ A2
Drawing Number:
TP 09
Ref Number: **3107**

Drawing Title: **SHADOW DIAGRAMS**

Drawn By: **JA** Checked By: **JA** Last Print Date: **21/10/2025**



NORTH POINT



A - NO.19 ROGERS ST. - VIEW EAST



B - SUBJECT SITE NO.21 ROGERS ST - VIEW EAST



C - NO.18 ROGERS ST - VIEW WEST



D - NO. 20 ROGERS ST - VIEW WEST



E - SUBJECT SITE NO. 21 ROGERS ST - VIEW EAST



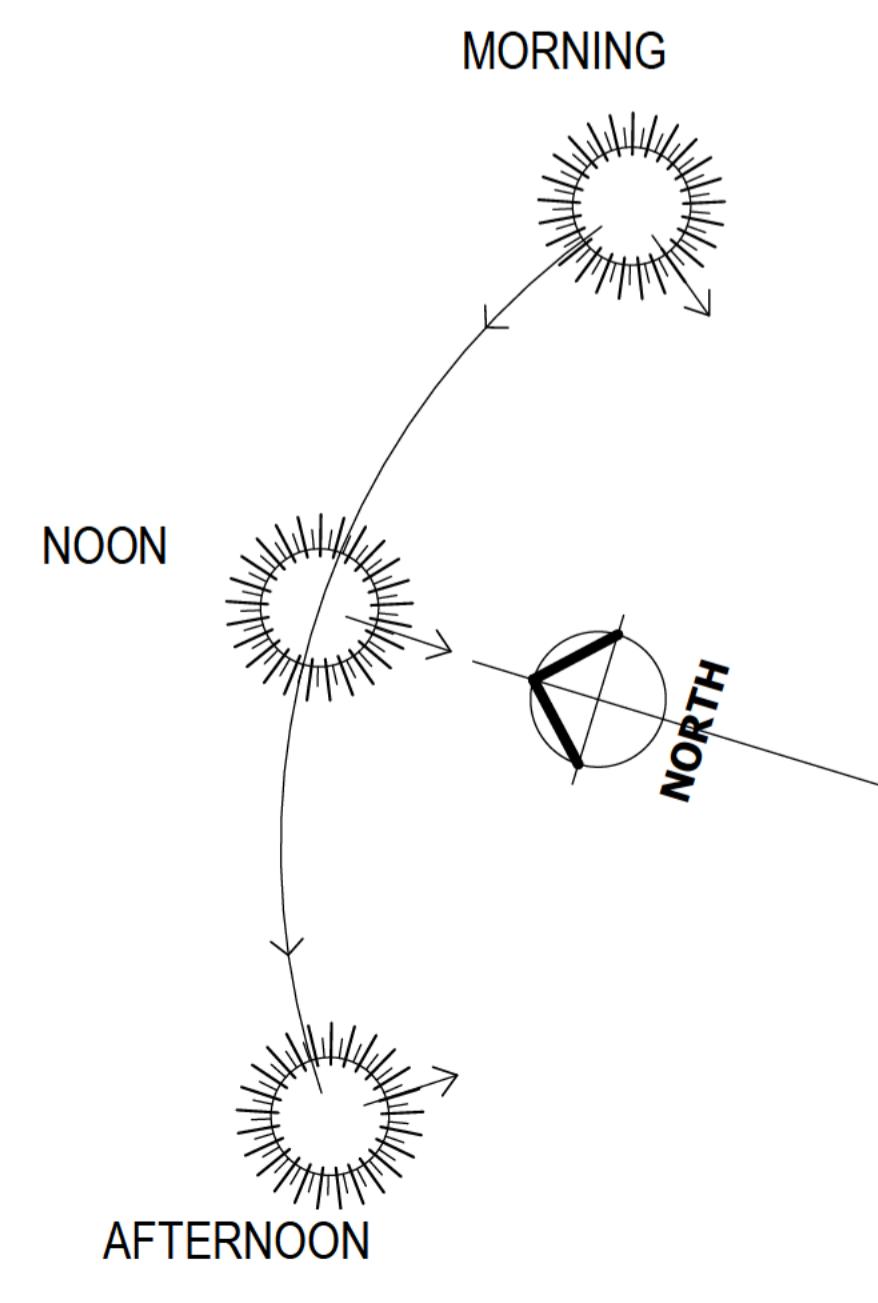
F - NO. 22 ROGERS ST - VIEW WEST



G - SUBJECT SITE NO. 21 ROGERS ST - VIEW NORTH



LOCATIONS IN PROXIMITY TO SITE	
1.50 km	↗ MARYBOROUGH (GPO)
65.00 km	↓ BALLARAT
1.00 km	↑ MARYBOROUGH TRAIN STATION
0.30 km	→ LOCH STREET BUS STOP
1.20 km	↑ GOLDFIELDS CENTRE
1.50 km	↑ B180-PYRENEES HIGHWAY
1.20 km	↖ C287-BALLARAT - MARYBOROUGH ROAD
1.20 km	↑ ST. AUGUSTINE'S PRIMARY SCHOOL
2.30 km	↑ PAISLEY PARK EARLY LEARNING CENTRE
1.80 km	↑ GOLDFIELDS CHILDREN CENTRE
2.10 km	↑ TL STONE MEMORIAL KINDERGARTEN
1.20 km	↗ HIGHVIEW COLLEGE
0.45 km	↗ MARYBOROUGH SKATE PARK
0.40 km	↖ GILLIES ST. CH LDRENS PLAYGROUND
0.50 km	↗ JACK PASCOE RESERVE
0.50 km	↗ MARYBOROUGH SPORTS & FITNESS



A	Issue for Comment	10/09/18	General Notes:
B	Town Planning Issue	03/10/18	
C	Council Ref	03/12/25	

Levels shown thus \rightarrow are in metres to an Arbitrary Datum
Figured dimensions to be used-do not scale.
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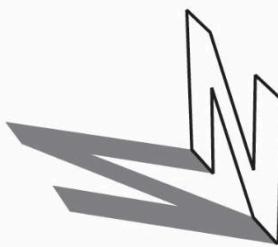
REV C5 Project: Proposed Two Dwelling Development Scale: @ A1
21 Rogers Street, Maryborough VIC 3465 Drawing Number: TP 10
Drawing Title: SITE ANALYSIS PLAN Ref Number: 3107
Drawn By: JA Checked By: JA Last Print Date: 21/10/2025
NORTH POINT

21 ROGERS STREET
MARYBOROUGH 3465
DEVELOPMENT APPLICATION

CONSTRUCTION OF TWO DWELLINGS ON A
LOT

21st of October 2025

Prepared by:



Northern Aspect Urban Planning

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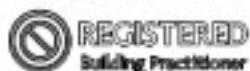
On behalf of:



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21 Rogers St Maryborough

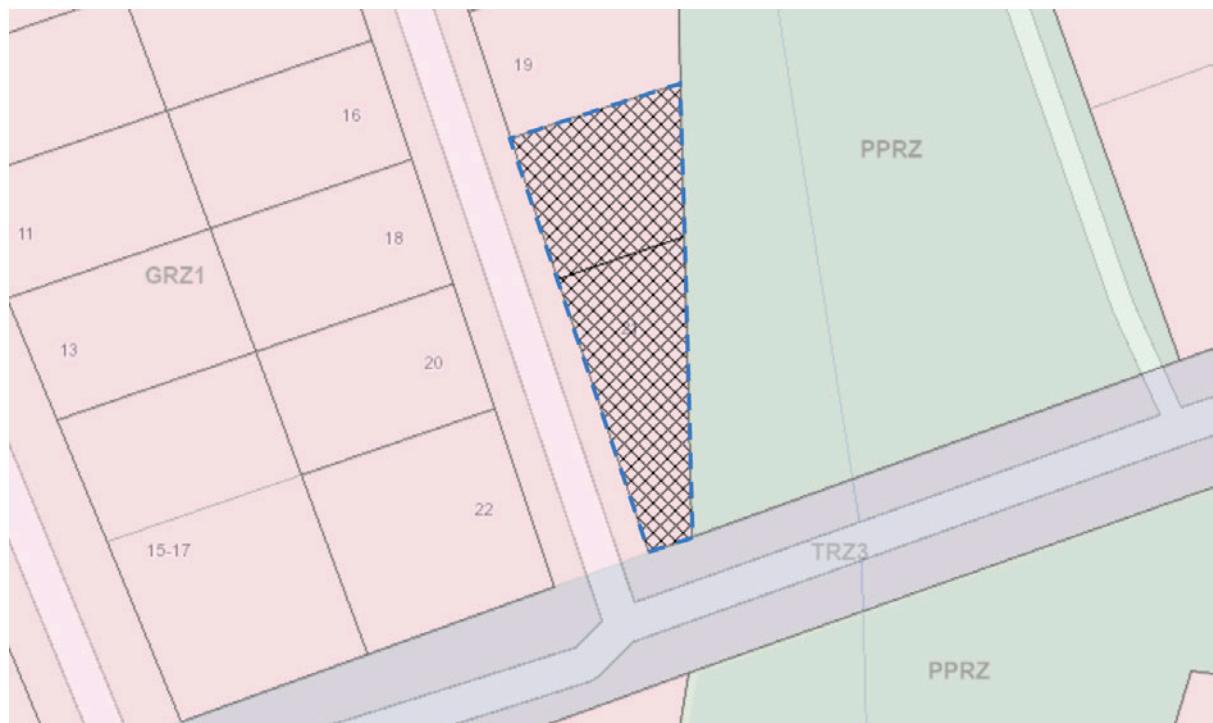
Proposal:

Construction of two single storey dwellings on a vacant lot.

Lot 15\LP17937

Zone:

GENERAL RESIDENTIAL 1 (GRZ1)



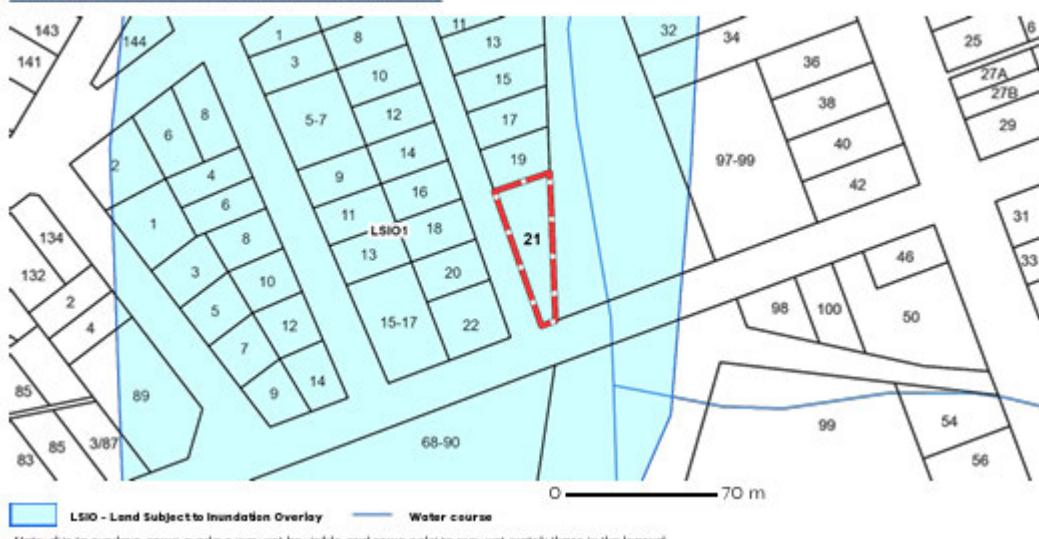
Overlays:

Land Subject to Inundation (LSIO)

Schedule 1

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)

LAND SUBJECT TO INUNDATION OVERLAY - SCHEDULE 1 (LSIO1)



Other overlays in the vicinity not directly affecting this land

PUBLIC PARK AND RECREATION ZONE



Northern Aspect Urban Planning

Executive Summary

It is proposed that two single storey dwellings be constructed on the site at 21 Rogers Street Maryborough. Dwelling 1 and 2 will both contain three bedrooms, provide generous living areas, a large alfresco entertaining area and sufficient open space for the planting of nine canopy trees. Double garages will be provided and single width crossovers allow access to each. The site is almost triangular, featuring a long frontage to Rogers Street and narrowing toward Loch Street.

The proposal will reflect aspects of the neighbourhood character and be appropriate to the site and surroundings. The single story design with hipped corrugated roofs reflects the predominant architectural style of the area. Red brick construction is common throughout regional Victoria and the charcoal coloured roofs reflect contemporary trends. The front set backs and spacing between dwellings maintains the rhythm of the streetscape and ensures that the proposal does not appear to drastically increase the density of development. No front fencing is proposed aligning with many other dwellings on the street and the planting of canopy trees and other landscaping will help to soften views to the dwellings.

The proposal will meet the strategic directions of Clause 02.03-6 Housing, by increasing the density of housing in an established residential area with good access to services and amenities.. Clause 02.03-6 states "The Shire will need to cater for diverse housing needs close to services considering the ageing population and changing family structures". Affordable housing is a noted strength of the shire. The Central Goldfields Shire seeks to maintain this strength, while prioritising energy efficient housing and facilitating urban consolidation on existing residential lots in Maryborough. By increasing the housing density of the area through the development of two dwellings on a lot, the proposal will provide affordable housing with good access to facilities and meet the aims of Clause 02.03-6.

The proposal is appropriate for the site and neighbourhood context. It will have a negligible impact on the amenity of surrounding dwellings while providing good internal and external amenity for future residents.

The design proposed meets all of the Clause 55 standards required, with the exception of one bedroom of Dwelling 1 being slightly short of the dimensions required. However, this bedroom exceeds the minimum area and is an acceptable design compromise.

Site Description



21 Rogers St Maryborough Frontage

The subject site is a vacant corner block, roughly triangular in shape, measuring 65.8m long at the Rogers St frontage, 27m deep adjacent to 19 Rogers St, 68m long at the rear adjacent to the PPRZ and 6.9m long at the Loch St frontage. The total area of the site is 1114m². The site falls slightly from south to north and from west to east.

Neighbourhood and Site Description



The subject site is located on the corner of Rogers and Loch St Marysborough.

To the north of the site are several single storey dwellings facing Rogers Street. Adjacent to the site to the north at 19 Rogers St is a single storey weatherboard dwelling with hipped and gabled tin roof and low picket fence. At 17 Rogers St is a single storey weatherboard dwelling with hipped tiled roof and no front fencing. Number 15 Rogers St is a weatherboard dwelling with a hipped tin roof and low chain link front fence. The dwelling at 13 Rogers St is also of weatherboard construction with a hipped and gabled tin roof and no front fencing. Many of these dwellings feature large out buildings, those at 17 and 13 Rogers St occupy a large proportion of their rear private open space.

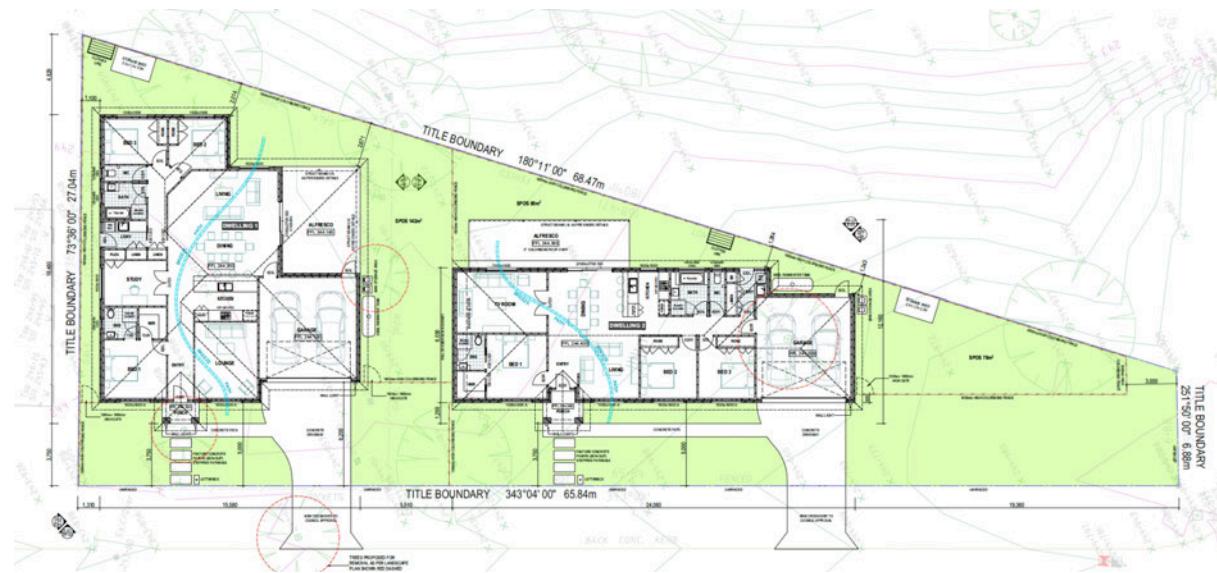
There are no dwellings to the south of the subject site on Loch Street. Similarly, the rear of the site is adjacent to a Public Park and Recreation Zone with dwellings on Majorca Road being around 65m to the east.

Opposite the site at 22 Rogers St is a single storey weatherboard dwelling with hipped and gabled tin roof, no front fencing and a large proportion of area occupied by outbuildings. Number 20 Rogers St a single storey weatherboard dwelling with a gabled tin roof, no front fencing and a large proportion of area occupied by outbuildings. At 18 Rogers St is a single storey weatherboard dwelling with hipped and gabled tin roof and low front fencing. While 16 Rogers St also utilises a weatherboard construction with hipped and gabled tin roofing and a low front fence.

The subject site is located in the south of Maryborough and is approximately 13 minutes walk to the Railway station servicing the Mildura line. The Number 3 Bus can also be accessed via a 5 minute walk to Majorca Street which services the centre of Maryborough. The site provides good access to services and transport with the Woolworths supermarket around 4 minutes drive, located in the central business district on Tuggera Street to the north. There are a number of retail stores, such as KMart and ALDI located in this shopping strip as well as specialty stores, hospitality and recreational opportunities. Outdoor recreational facilities include the Jack Pascoe Reserve, 8 minutes walk to the east and the Gillies Street Children's playground 5 minutes walk to the west.



Plans Excerpts



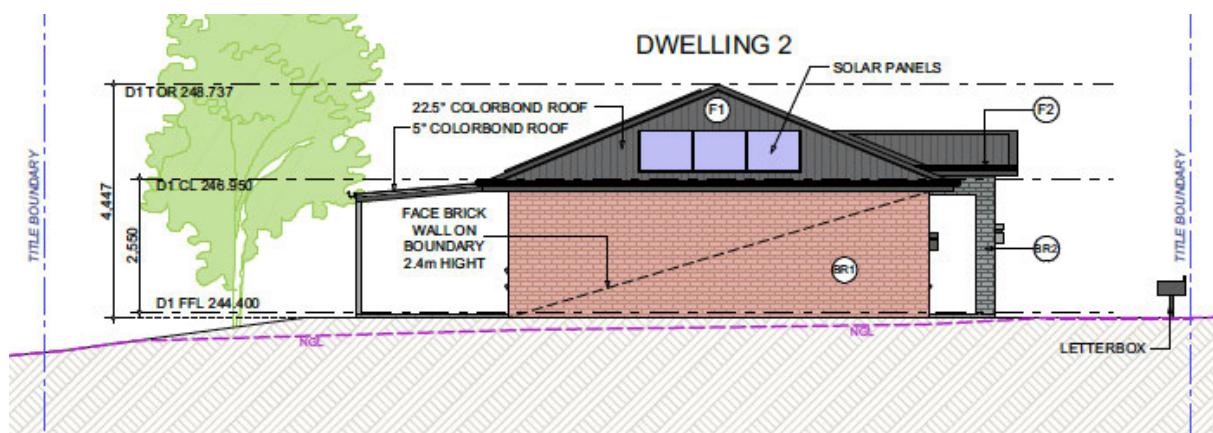
Proposed Site Floor Plan TP03



South Elevation



East Elevation



North Elevation



West Elevation

Response to Planning Provisions

32.08 General Residential Zone 1 (GRZ1)

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

32.08-1 Neighbourhood character objectives

A schedule to this zone must contain the neighbourhood, heritage, environment or landscape character objectives to be achieved for the area.

Schedule 1.0 Neighbourhood Character Objectives

None Specified

32.08-2 Table of uses

The site will be used as a Dwelling, which is a Section 1 use and does not require a permit.

32.08-4 Construction or extension of a dwelling, small second dwelling or residential building

Minimum garden area requirement

An application to construct or extend a dwelling, small second dwelling or residential building on a lot must provide a minimum garden area as set out in the following table:

Lot size	Minimum percentage of a lot set aside as garden area
400 - 500 sqm	25%
Above 500 - 650 sqm	30%
Above 650 sqm	35%

The site would require 30% minimum garden area, 50.40% or 561.53m² are provided as garden area.

32.08-7 Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings

Permit requirement

A permit is required to:

- Construct two or more dwellings on a lot.

A development must meet the requirements of Clause 55. This does not apply to a development of four or more storeys, excluding a basement.

32.08-8 Requirements of Clause 54 and Clause 55

A schedule to this zone may specify the requirements of:

- Standards B2-1, B2-5, B2-8 and B3-5 of Clause 55 of this scheme.

If a requirement is not specified in a schedule to this zone, the requirement set out in the relevant standard of Clause 54 or Clause 55 applies.

No requirements are specified in the schedule to this zone.

32.08-11 Maximum building height requirement for a dwelling, small second dwelling or residential building

A building must not be constructed for use as a dwelling or a residential building that:

- exceeds the maximum building height specified in a schedule to this zone; or
- contains more than the maximum number of storeys specified in a schedule to this zone.

Schedule 4.0

None specified

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- the building height must not exceed 11 metres; and
- the building must contain no more than 3 storeys at any point.

The dwellings shall be single storey and under the maximum height permitted.

32.08-12 Application requirements

An application must be accompanied by the following information, as appropriate:

- For a development of two or more dwellings on a lot, dwellings on common property and residential buildings of three storeys or less, excluding a basement, the site description and design response as required in Clause 55.

See Clause 55 Assessment below

- Plans drawn to scale and dimensioned which show:
 - Site shape, size, dimensions and orientation.
 - The siting and use of existing and proposed buildings.
 - Adjacent buildings and uses.
 - The building form and scale.
 - Setbacks to property boundaries.

See plans attached

- The likely effects, if any, on adjoining land, including noise levels, traffic, the hours of delivery and despatch of goods and materials, hours of operation and light spill, solar access and glare.

There are no effects to the adjoining land, other than what would be expected from a residential development, meeting the requirements of Clause 55 in a General Residential Zone

- Any other application requirements specified in a schedule to this zone.

Schedule 5.0

None Specified

If in the opinion of the responsible authority an application requirement is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.

32.08-12 Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

General

- The Municipal Planning Strategy and the Planning Policy Framework.

Clause 02.03-6 outlines the strategic directions for housing in the Central Goldfields shire. It notes that the shire has a smaller proportion of medium density housing compared to the regional average. As such; “The Shire will need to cater for diverse housing needs close to services considering the ageing population and changing family structures”. The council states the affordable housing is a strength of the shire and seeks to maintain this strength while prioritising energy efficient housing and facilitating urban consolidation on existing residential lots in Maryborough. By increasing the housing density of the area through the development of two dwellings on a lot, the proposal will provide affordable housing with good access to facilities and meet the aims of Clause 02.03-6.

- The purpose of this zone.

The proposal will respect the diverse neighbourhood character of the area, characterised by a predominance of detached single dwellings with low or no front fencing and hipped metal roofing. The General Residential zone seeks to encourage a diversity of house types and increased growth in locations with good access to services and transport. Providing two, three-bedroom dwellings on a lot will increase the range of housing stock and maintain housing affordability. The location provides good public transport connection to the central business district of Maryborough and rail links to Melbourne and regional Victoria.

- The objectives set out in a schedule to this zone.

Schedule 1.0

None specified.

- Any other decision guidelines specified in a schedule to this zone.

Schedule 6.0

None Specified

- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

No overshadowing of roof top solar will result from this proposal

Dwellings, small second dwellings and residential buildings

- For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.

See Clause 55 Assessment below

Clause 55 Assessment

TWO OR MORE DWELLINGS ON A LOT AND RESIDENTIAL BUILDINGS

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and surrounding area.

Application

Provisions in this clause apply to the classes of applications specified in clauses:

- 32.08-7, General Residential Zone

The objective contained in clause 55.03-1 does not apply to a development of less than 10 dwellings.

The objective contained in clause 55.05-3 does not apply to an apartment development or residential building.

The objectives contained in clauses 55.03-12 and 55.05-7 do not apply to the construction or extension of:

- A dwelling that is not in, or does not form part of, an apartment development; or
- A residential building.

Operation

The provisions of this clause contain:

- **Objectives.** An objective describes the desired outcome to be achieved in the completed development.
- **Standards.** A standard contains the requirements to meet the objective. A standard should normally be met. However, if the responsible authority is satisfied that an

application for an alternative design solution meets the objective, the alternative design solution may be considered.

- **Decision guidelines.** The decision guidelines set out the matters that the responsible authority must consider before deciding if an application meets the objectives.

Requirements

A development must meet all of the applicable objectives contained in this clause.

If a development meets a standard:

- The corresponding objective is deemed to be met;
- The responsible authority is not required to consider the corresponding decision guidelines.

If a development does not meet a standard, the responsible authority must consider the applicable decision guidelines in determining whether the corresponding objective is met.

Exemptions

Despite any other provision of this planning scheme, in determining applications to which this clause applies, the responsible authority is exempt from and is not required to consider:

- The Municipal Planning Strategy and Planning Policy Framework, unless an applicable decision guideline specifies otherwise.
- The purpose or decision guidelines of the relevant zone, unless an applicable decision guideline specifies otherwise.
- The decision guidelines in Clause 65, unless an applicable decision guideline specifies otherwise.

If there is any inconsistency between the requirements of this clause and another provision of this planning scheme, this clause prevails.

An application to which this clause applies is exempt from the requirements of:

- Section 60(1)(b), (e), (f), (1A) and (1B) of the Act; and
- Section 84B(2)(b) to (jb) of the Act.

55.01 NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE

An application must be accompanied by:

- A neighbourhood and site description.
- A design response.
- A written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines.

55.01-1 Neighbourhood and site description

The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe:

- The built form, scale and character of surrounding development including front fencing.

See the Neighbourhood and Site Description above.

- Site shape, size, orientation and easements:
- Levels of the site and the difference in levels between the site and surrounding properties:
- The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site:
- The use of surrounding buildings:
- The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres:
- Solar access to the site and to surrounding properties.

The Design Response TP02 and Site Analysis plan TP10 illustrate the required details outlined above.

- Location of existing trees 5 metres in height or greater, with a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level, on the site.

The location of existing trees are shown on Landscape Plan TP04.

- Any cut and filled areas of soil, where known.

No cut or fill is present or proposed.

- Street frontage features such as poles, street trees and kerb crossovers.

An existing crossover accessing the site at the northern end of the Rogers Street frontage will be removed. One street tree, located close to the existing crossover will be removed.

- The location of any existing domestic solar energy system on the roof of a dwelling, apartment development or residential building on surrounding properties.

The Site Analysis Plan TP10 shows the location of solar energy systems on the roofs of surrounding dwellings. These will not be affected by the proposal.

If in the opinion of the responsible authority a requirement of the site description is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.

55.01-2 Design response

The design response must explain how the proposed design derives from and responds to the site description.

The proposal will reflect aspects of the neighbourhood and site description and be appropriate to the site and surroundings. The single story design with hipped corrugated roofs reflects the roof design of many dwellings in the vicinity. The use of charcoal finish on roofing is reflective of popular architectural style. Red brick construction, while not being common in Rogers Street, is frequently used in surrounding dwellings and is a common building material used throughout regional Victoria. No front fencing is proposed as is common in this area. There is no specific window style or size common in the vicinity of the site. The use of a darker coloured face brickwork helps to accentuate the entrance of each dwelling. Garage doors will match the roof colour to provide consistency to the design.

The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings.

A Streetscape elevation is provided on drawing TP02..

The design response must include a landscape plan that details the proposed:

- Retention and planting of canopy trees,
- Planting of other vegetation including location, species, number and size at maturity of vegetation,
- Where required, areas of deep soil and root barriers,
- Irrigation system to support existing and planted vegetation including details of any alternative water supply sources,
- Selection of vegetation that responds to the site's environment and geographic factors,
- A plan showing the location of site services, clothes drying and storage.

Landscape Plan TP04 details the planting of canopy trees and other vegetation appropriate to the site and geographic location. Stormwater Layout TP07 indicates the location of rain water gardens and rain water tanks that will be used to irrigate the garden areas. Clothes lines, storage and bin locations are also depicted on TP04.

If in the opinion of the responsible authority a design response requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.

55.02 Neighbourhood Character

55.02-1 Street setback objectives

To ensure that the setbacks of buildings from a street respond to the existing or preferred neighbourhood character and make efficient use of the site.

Standard B2-1: Standard Met

Walls of buildings are set back from streets:

- At least the distance specified in a schedule to the zone if the distance specified in the schedule is less than the distance specified in Table B2-1; or
- If no distance is specified in a schedule to the zone, the distance specified in Table B2-1.

No distance is specified in the schedule to this zone.

Table B2-1 Street setback

Development context	Minimum setback from front street	Minimum setback from a side street
The site is on a corner.	<p>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.</p> <p>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</p>	<p>Front walls of new development fronting the side street of a corner site are setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.</p> <p>Side walls of new development on a corner site are setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</p>

The front setback of Dwelling 1 and 2 from Rogers Street is 5m which is equal to that of 19 Rogers Street adjacent to the north.

The side walls of Dwelling 2 are 19.3m from the boundary with Loch Street.

55.02-2 Building height objective

To ensure that the height of buildings respond to the existing or preferred neighbourhood character.

Standard B2-2: Standard Met

The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.

The Zone specifies the building height must not exceed 11 metres and 3 storeys.

The maximum building height is 5.4m.

55.02-3 Side and rear setbacks objective

To ensure that the height and setback of a building from a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.

Standard B2-3: Standard Met

A new building not on or within 200mm of a boundary is set back from side or rear boundaries in accordance with either B2-3.1 or B2-3.2.

Standard B2-3 is met if the building is set back in accordance with either B2-3.1 or B2-3.2, rather than needing to comply with both of these provisions:

B2-3.1:

- The building is set back at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.

The proposal meets Standard B2-3.1 and therefore meets Standard B2-3.

Dwelling 1 is setback 1.3m from the side boundary with 19 Rogers Street at the front facade and 1.1m at the rear. The wall height is 2.94m high from NGL, meeting the standard.

Dwelling 2 is setback a minimum of 19m from the side boundary, meeting the standard.

Dwelling 1 is setback a minimum of 2m from the rear boundary with a wall height of 2.8m, meeting the standard.

Dwelling 2 is setback a minimum of 1m from the rear boundary with a wall height of 2.5m, meeting the standard.

Sunblinds, verandahs, porches, eaves, facias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the side and rear setbacks.

Landings that have an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the side and rear setbacks.

55.02-4 Walls on boundaries objectives

To ensure that the location, length and height of a wall on a boundary responds to the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings and small second dwellings.

Standard B2-4: Not Applicable

There are no walls on boundaries proposed.

55.02-5 Site coverage objective

To ensure that the site coverage responds to the existing or preferred neighbourhood character and responds to the features of the site.

Standard B2-5: Standard Met

The site area covered by buildings does not exceed:

- The maximum site coverage specified in a schedule to the zone; or
- If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5.

If the maximum site coverage is specified in a schedule to a zone, it must be greater than the percentage specified in Table B2-5.

No site coverage is specified in the schedule to this zone

Table B2-5 Site coverage	
Zone	Area
General Residential Zone	65 per cent



Dwelling 1 will have a site coverage of 45% of its total land area of 526m²

Dwelling 2 will have a site coverage of 37% of its total land area of 587m²

55.02-6 Access objective

To ensure the number and design of vehicle crossovers responds to the neighbourhood character.

Standard B2-6: Standard Met

The width of accessways or car spaces (other than to a rear lane) does not exceed:

- 33 per cent of the street frontage; or
- 40 per cent of the street frontage if the width of the street frontage is less than 20 metres.

An accessway will service each dwelling and each will be 3.5m wide. A total of 29% of the 24.08m long frontage will be utilised for accessways.

55.02-7 Tree canopy objectives

To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings on the streetscape.

To preserve existing canopy cover and support the provision of new canopy cover.

To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.

Standard B2-7: Standard Met

Provide a minimum canopy cover as specified in Table B2-7.1.

Table B2-7.1 Canopy cover

Site area	Canopy cover
1000 square metres or less	10% of site area
More than 1000 square metres	20% of site area

Existing trees to be retained meet all of the following:

- Has a height of at least 5 metres,
- Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level,
- Has a trunk that is located at least 4 metres from proposed buildings.

No existing trees are proposed to be retained on the subject site. Three trees will be retained in the PPRZ adjacent to the rear fence. Only one to the south is over 4m from proposed buildings.

The minimum canopy cover is met using any combination of trees specified in Table B2-7.2.

Existing trees that are retained can be used in calculating canopy cover.

Table B2-7.2 Tree type, canopy cover, deep soil and planter requirements

Tree type	Minimum canopy diameter at maturity	Minimum height at maturity	Minimum mature canopy cover	Tree in deep soil Area of deep soil	Tree in planter Volume of planter	Minimum depth of planter soil
A	4 metres	6 metres	12.6 sqm	12 square metres (min. plan dimension 2.5 metres)	12 cubic metres (min. plan dimension 2.5 metres)	0.8 metre
B	8 metres	8 metres	50.3 sqm	49 square metres (min. plan dimension 4.5 metres)	28 cubic metres (min. plan dimension 4.5 metres)	1 metre
C	12 metres	12 metres	113.1 sqm	121 square metres (min. plan dimension 6.5 metres)	64 cubic metres (min. plan dimension 6.5 metres)	1.5 metre



Nine canopy trees are to be planted, as detailed at Landscaping Plan TP04. These include four Type A trees with a 5m maximum diameter;, consisting of three Dwarf Yellow Gum and one Crepe Myrtle. Four Type A trees with a 6m maximum diameter;, consisting of two Yellow Bloodwoods and two Edgewood Ornamental Pears. One Type B tree, a Red Box with a 7m maximum diameter will be planted.

The proposed tree canopy cover will be 227.06m² or 20.38%, which excludes any canopy overlap. This meets the standard for sites over 1000m².

Provide at least one new or retained tree in the front setback and the rear setback.

Trees are located in either:

- An area of deep soil as specified in Table B2-7.2; or
- A planter as specified in Table B2-7.2.

Six new trees will be located in the front setback and three will be located in the rear. Each tree will be provided with an excess of soil depth, with minimum plan dimensions over that required.

Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.

55.02-8 Front fences objective

To encourage front fence design that responds to the existing or preferred neighbourhood character.

Standard B2-8: Standard Met

A front fence within 3 metres of a street is:

- The maximum height specified in a schedule to the zone, or
- If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8.

No front fencing is proposed.

55.03 LIVEABILITY

55.03-1 Dwelling diversity objective

To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

Standard B3-1: Not Applicable

55.03-2 Parking location objective

To minimise the impact of vehicular noise within developments on residents.

Standard B3-2: Standard Met

Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least:

- 1.5 metres; or
- If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or
- 1 metre where window sills are at least 1.5 metres above ground level.

This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.

All habitable windows are further than 1.5m from accessways not used by residents of the applicable building.

55.03-3 Street integration objective

To integrate the layout of development with the street to support the safety and amenity of residents.

Standard B3-3: Standard Met

Where a development fronts a street, a vehicle accessway or abuts public open space:

- Passive surveillance is provided by a direct view from a balcony or a habitable room window to each street, vehicle accessway and public open space.

- The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. Screens or fences are to provide no more than 25 per cent transparency.
- Lighting is provided to all external accessways and paths.

Mailboxes are provided for each dwelling and can be communally located.

Each dwelling has habitable room windows facing the Roberts St frontage and each street and vehicle accessway.

No site services are located within 3m of the street.

Wall lights are provided for each entrance way that will illuminate paths. An additional wall light is located adjacent to each garage to illuminate accessways.

Mailboxes are provided for each dwelling beside the path leading to the front entrance.

55.03-4 Entry objectives

To provide each dwelling, apartment development or residential building with its own sense of identity.

To provide entries with weather protection, safe design, natural light and ventilation..

Standard B3-4: Standard Met

Dwellings (other than a dwelling in or forming part of an apartment development) and residential buildings

Each dwelling and each residential building has a ground level entry door that:

- Has a direct line of sight from a street, accessway or shared walkway.
- Is not accessed through a garage.
- Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door.

Each dwelling provides an entry door that has a direct line of sight from the street and is not accessed through a garage.

Dwelling 1 has an external covered area of 2.8m² and a minimum dimension of 1.24m.

Dwelling 2 has an external covered area of 2.9m² and a minimum dimension of 1.24m.

55.03-5 Private open space objectives

To provide adequate private open space for the reasonable recreation and service needs of residents.

Standard B3-5: Standard Met

A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone.

If no area or dimension is specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of:

- An area of 25 square metres of secluded private open space, with a minimum dimension of 3 metres width; or
- A balcony with at least the area and dimensions specified in Table B3-5; or
- An area on a podium or similar of at least 15 square metres, with a minimum dimension of 3 metres width; or
- An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width.

Dwelling 1 has an SPOS of 142m² accessed via the combined living, dining and kitchen habitable area.

Dwelling 2 has an SPOS of 80m² accessed via the combined living, dining and kitchen habitable area.

Where ground level private open space is provided an area for clothes drying is provided.

55.03-6 Solar access to open space objective

To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B3-6: Standard Met

The southern boundary of secluded private open space is set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.

The southern boundaries of each dwelling's SPOS is setback further than the standard required.

55.03-7 Functional layout objective

To ensure dwellings provide functional areas that meet the needs of residents.

Standard B3-7: Standard Not Met

Bedrooms:

- Meet the minimum internal room dimensions specified in Table B3-7.1; and
- Provide an additional area of at least 0.8 square metres to accommodate a wardrobe.

Table B3-7.1 Bedroom dimensions

Bedroom type	Minimum width	Minimum depth
Main bedroom	3 metres	3.4 metres
All other bedrooms	3 metres	3 metres



Dwelling 1

The main bedroom (Bedroom 1) has internal dimensions of 3.5m by 3.7m and includes an additional walk-in wardrobe with an area of 3.1m².

Bedroom 2 measures 3.4m by 3m and includes a built-in wardrobe of 0.9m².

Bedroom 3 does not meet the standard, measuring 2.7m by 3.8m and includes a built-in wardrobe of 0.9m². However, the total floor area provided will be over 9m², with built-in wardrobe excluded, providing a highly functional bedroom space.

A study is also provided which measures 3.7m by 2.6m and has an additional built-in storage of 0.8m². This also does not meet the standard.

Dwelling 2

The main bedroom (Bedroom 1) has internal dimensions of 3.6m by 3.8m and includes an additional walk-in wardrobe with an area of 2.7m².

Bedroom 2 and 3 measure 3.7m by 3.4m, which includes a built-in wardrobe of 1.55m².

Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2.

Table B3-7.2 Living area dimensions

Dwelling type	Minimum width	Minimum area
Studio and 1 bedroom dwelling	3.3 metres	10 sqm
2 or more bedroom dwelling	3.6 metres	12 sqm



Dwelling 1 provides a lounge room with an area of 17m² and a minimum width of 3.7m, meeting the standard.

Dwelling 2 provides a TV room with an area of 19m² and a minimum width of 3.6m, meeting the standard.

Decision guideline

Before deciding on an application, the responsible authority must consider:

- The design response.
- The useability and amenity of habitable rooms.

The proposal fails the standards required for Bedroom 3 of Dwelling 1. This room measures 2.7m wide, being 0.3m short of the 3m required. However, the room is 3.7m long providing additional functional area, even when excluding the space that built-in wardrobe takes from the floor area. The total floor area provided will be over 9m², with built-in wardrobe excluded, providing a highly functional bedroom space. This room can easily accommodate a standard queen bed measuring 153cmx203cm, as depicted in the plans, providing 60cm of space for circulation on either side. While a study is often considered a bedroom for the purpose of calculating car parking spaces required, this space would still provide a usable area for a bedroom in the same manner as described for bedroom 3.

The proposal should be considered to meet the objectives of this clause to provide functional areas for residents.

55.03-8 Room depth objective

To allow adequate daylight into single aspect habitable rooms.

Standard B3-8: Standard Met

The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room.

The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:

- The room combines the living area, dining area and kitchen; and
- The kitchen is located furthest from the window; and

- The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and
- An overhang extends no more than 2m beyond the window of the single aspect habitable room.

In Clause 55.03-8 a single aspect habitable room is a habitable room with windows on only one wall.

The ceiling height of all rooms from the finished floor level is 2.55m. A single aspect habitable room would fail this standard at a depth greater than 6.37m.

The lounge room of Dwelling 1 is the only single aspect room that comes close to this threshold at a depth of 4.5m. All other habitable rooms are smaller or provided with more than one aspect. Therefore the proposal meets the standard.

55.03-9 Daylight to new windows objective

To allow adequate daylight into single aspect habitable rooms.

Standard B3-9: Standard Met

Dwelling (other than a dwelling in or forming part of an apartment development)

A window in an external wall of the building is provided to all habitable rooms.

Habitable rooms in a dwelling have a window that faces:

- An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot; or
- A verandah provided it is open for at least one third of its perimeter; or
- A carport provided it has two or more open sides and is open for at least one third of its perimeter.

Dwelling 1 meets this standard. The Living, Dining & Kitchen area has one window facing east with clear access to the sky and another glass sliding door facing south toward the open sided alfresco area.

A similar arrangement provides sufficient light to the Living, Dining & Kitchen area of Dwelling 2. The TV room is also provided with sufficient light via the window facing east to the open alfresco area. Dwelling 2 also meets the standard.

55.03-10 Natural ventilation objectives

To encourage natural ventilation of dwellings.

To allow occupants to effectively manage natural ventilation of dwellings

Standard B3-10: Standard Met

Dwelling (other than a dwelling in or forming part of an apartment development)

Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide:

- A maximum breeze path through the dwelling of 18 metres.
- A minimum breeze path through the dwelling of 5 metres.
- Ventilation openings with approximately the same size.

The breeze path is measured between the ventilation openings on different orientations of the dwelling.

Dwelling 1 will be ventilated via a breeze path from the Lounge room's west facing window of the living room facing east. These openings are the same size, measuring 1.5mx1.8m and having an area of 2.7m². They are approximately 16m apart and therefore meet the standard required.

Dwelling 2 will be ventilated via a breeze path from the east facing window of the TV room to the west facing window of the Lounge room. These windows are the same size and are 10.2m apart, meeting the standard required.

55.03-11 Storage objective

To provide adequate storage facilities for each dwelling.

Standard B3-11: Standard Met

Dwelling (other than a dwelling in or forming part of an apartment development)

Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space.

Dwelling 1 is provided with an external shed located in the rear SPOS measuring 2.4x1.5x2.3m with a total area of 8.2m³.

Dwelling 2 also includes an external shed located in the rear SPOS measuring 2.4x1.5x2.3m with a total area of 8.2m³.

55.03-12 Accessibility for apartment developments objective

To ensure the design of dwellings meets the needs of people with limited mobility.

Standard B3-12: Not Applicable.

55.04 EXTERNAL AMENITY

55.04-1 Daylight to existing windows objective

To allow adequate daylight into existing habitable room windows.

Standard B4-1: Standard Met

Buildings opposite an existing habitable room window provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.

Walls or carports more than 3 metres in height opposite an existing habitable room window are set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.

Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

The adjacent dwelling at 19 Rogers Street is set back around 2m from the northern boundary of the subject site and achieves adequate daylight to habitable windows, meeting the standard.

55.04-2 Existing north-facing windows objective

To allow adequate solar access to existing north-facing habitable room windows.

Standard B4-2: Standard Met

Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot:

- A new building is to be set back from the boundary by at least 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.
- For new buildings that meet the Standard B2-3.2 setback, the building is set back from the boundary by at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.

For this standard a north-facing window is a window with an axis perpendicular to its surface oriented from north 20 degrees west to north 30 degrees east.

There are no existing north facing windows that would be affected by the proposal.

55.04-3 Overshadowing secluded open space objective

To ensure buildings do not significantly overshadow existing secluded private open space.

Standard B4-3: Standard Met

The area of secluded private open space that is not overshadowed by the new development is greater than 50 per cent, or 25 square metres with a minimum dimension

of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling or small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.

There will be no overshadowing of SPOS within the subject site or without, as demonstrated by Shadow Diagrams TP09.

55.04-4 Overlooking objective

To limit views into existing secluded private open space and habitable room windows.

Standard B4-4: Standard Met

In Clause 55.04-4 a habitable room does not include a bedroom.

A habitable room window, balcony, podium, terrace, deck or patio is located and designed to avoid direct views into the secluded private open space of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views are measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.

A habitable room window, balcony, terrace, deck or patio that is located with a direct view into a habitable room window of an existing dwelling or small second dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio:

- Is offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or
- Has sill heights of at least 1.7 metres above floor level; or
- Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level; or
- Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent; or
- Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins.

Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.

Screens used to obscure a view are:

- Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
- Permanent, fixed and durable.
- Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

The habitable windows of Dwelling 1 and 2 do not face SPOS nor habitable windows of adjacent properties. The standard is met.

55.04-5 Internal views objective

To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

Standard B4-5: Standard Met

In Clause 55.04-5 a habitable room does not include a bedroom.

Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling:

- Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or
- Has a sill height of at least 1.7 metres above floor level; or
- Has a fixed, visually obscure balustrade to at least 1.7 metre above floor level; or
- Has permanently fixed external screens to at least 1.7 metres above floor level; or.
- Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins.

Direct views are measured at a height of 1.7 metres above floor level and within:

- A 45 degree horizontal angle from the edge of the new window or balcony.
- A 45 degree angle in the downward direction.

Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard.

A 1.8m high fence between the two dwellings provides sufficient visual obstruction to habitable rooms and SPOS of each. The standard is met.

55.05 SUSTAINABILITY

55.05-1 Permeability and stormwater management objective

To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways.

To facilitate on-site stormwater infiltration.

To encourage stormwater management that maximises the retention and reuse of stormwater.

To contribute to urban cooling.

Standard B5-1: Standard Met

The site area covered by the pervious surfaces is at least 20 percent of the site.

The total pervious area for the site is 50% as noted in the Landscape Plan TP04 as garden area.

The development includes a stormwater management system designed to:

- Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of:
 - Suspended solids 80% reduction in mean annual load.
 - Total phosphorus and Total Nitrogen 45% reduction in mean annual load.

- o Litter 70% reduction of mean annual load.

Note: A certificate generated from a stormwater assessment tool including Stormwater Treatment Objective - Relative Measurement (STORM), Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or an equivalent product accepted by the responsible authority may be used to demonstrate the performance objectives for stormwater quality are met.

The STORM report provided demonstrates the site meeting the requirements scoring 121%.

Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge.

The Stormwater Layout Plan TP07 illustrates the flow of stormwater into rain gardens, rain water tanks and the legal point of discharge.

55.05-2 Overshadowing domestic solar energy systems objective

To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.

Standard B5-2: Standard Met

Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every metre of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.

This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone.

In Clause 55.05-2 domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.

No domestic solar energy system will be affected by the proposal.

55.05-3 Rooftop solar energy generation area objective

To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.

Standard B5-3: Standard Met

In Clause 55.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system.

An area on the roof is capable of siting a rooftop solar energy area for each dwelling which:

- Has a minimum dimension of 1.7 metres.
- Has a minimum area in accordance with Table B5-3.
- Is oriented to the north, west or east.
- Is positioned on the top two thirds of a pitched roof.
- Can be a contiguous area or multiple smaller areas.
- Is free of obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area.

Table B5-3 Minimum rooftop solar energy generation area

Number of bedrooms	Minimum roof area
1 bedroom dwelling	15 square metres
2 or 3 bedroom dwelling	26 square metres
4 or more bedroom dwelling	34 square metres



Dwelling 1 could be considered a 4 bedroom dwelling with the inclusion of the study as a fourth bedroom. The roof area is free from obstructions and includes a large area of north facing roof and two smaller areas of east and west oriented roof that could support 34m² of solar energy area.

Dwelling 2 contains 3 bedrooms and has a small north oriented roof and two large east and west oriented roof sections that could support over 26m² of solar energy area.

See Roof Layout Plan TP06

55.05-4 Solar protection to new north-facing windows objective

To encourage external shading of north facing windows to minimise summer heat gain.

Standard B5-4: Standard Met

North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.

Dwelling 1 has eaves on all sides to a depth of 0.63m. The Study contains the lowest north facing window, with a height of 1.66m from its base to the bottom of the eave. This would require an eave depth of 0.41m, therefore the standard is met.

Dwelling 2 does not feature north facing windows.

55.05-5 Waste and recycling objectives

To ensure dwellings are designed to facilitate waste recycling.

To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.

To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity..

Standard B5-5: Standard Met

Dwelling (other than a dwelling in or forming part of an apartment development)

The development includes an individual bin storage area for each dwelling, or a shared bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.

Table B5-5.1 Bin storage			
Type of bin storage area	Minimum area	Minimum depth	Minimum height
Individual bin storage area for a dwelling.	1.8 square metres	0.8 metre	1.8 metres

Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.

Dwelling 1 has a bin storage area in the rear SPOS, adjacent to the rain water tank which meets the dimensions required. The kitchen area of this dwelling is sufficiently large to include the appropriately sized internal waste and recycling storage space.

Dwelling 2 has a bin storage area in the rear SPOS, on the south side of the garage, which meets the dimensions required. The kitchen area of this dwelling is sufficiently large to include the appropriately sized internal waste and recycling storage space.

55.05-6 Noise impacts objective

To minimise the impact of mechanical plant noise located in the development.

Standard B5-6: Standard Met

Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms.

There are no mechanical plants that would produce excessive noise in the proposal.

55.05-7 Energy efficiency for apartment developments objectives

To achieve energy efficient dwellings and buildings.

To ensure dwellings achieve adequate thermal efficiency.

Standard B5-7: Not Applicable

52.06 CAR PARKING

Purpose

To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.

To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.

To support sustainable transport alternatives to the motor car.

To promote the efficient use of car parking spaces through the consolidation of car parking facilities.

To ensure that car parking does not adversely affect the amenity of the locality.

To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use

52.06-1 Scope

Clause 52.06 applies to:

- a new use; or
- an increase in the floor area or site area of an existing use; or
- an increase to an existing use by the measure specified in Column C of Table 1 in Clause 52.06-5 for that use.

Clause 52.06 does not apply to:

- the extension of one dwelling on a lot in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Housing Choice and Transport Zone, Mixed Use Zone or Township Zone; or
- the construction and use of one dwelling on a lot in the Neighbourhood Residential Zone, General Residential Zone, Residential Growth Zone, Housing Choice and Transport Zone, Mixed Use Zone or Township Zone unless the zone or a schedule

to the zone specifies that a permit is required to construct or extend one dwelling on a lot; or

- the construction and use of a small second dwelling.

The proposed construction of two dwellings on a lot triggers this clause.

52.06-2 Provision of car parking spaces

Before:

a new use commences;

the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay must be provided to the satisfaction of the responsible authority in one or more of the following ways:

on the land;

52.06-3 Permit requirement

A permit is required to:

- Reduce (including reduce to zero) the number of car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay.
- Provide some or all of the car parking spaces required under Clause 52.06-5 or in a schedule to the Parking Overlay on another site.
- Provide more than the maximum parking provision specified in a schedule to the Parking Overlay.

52.06-5 Number of car parking spaces required under Table 1

Table 1 of this clause sets out the car parking requirement that applies to a use listed in the Table.

Dwelling	1	1	To each one or two bedroom dwelling, plus
	2	2	To each three or more bedroom dwelling (with studies or studios that are separate rooms counted as a bedrooms) plus
	1	0	For visitors to every 5 dwellings for developments of 5 or more dwellings

Two car parking spaces will be provided for each three or more bedroom dwelling. As the car parking requirement has been met a permit is not required for car parking.

52.06-8 Requirement for a car parking plan

Plans must be prepared to the satisfaction of the responsible authority before any of the following occurs:

- a new use commences; or
- the floor area or site area of an existing use is increased; or
- an existing use is increased by the measure specified in Column C of Table 1 in Clause 52.06-5 for that use.

The plans must show, as appropriate:

- All car parking spaces that are proposed to be provided (whether on the land or on other land).
- Access lanes, driveways and associated works.
- Allocation of car parking spaces to different uses or tenancies, if applicable.

- Any landscaping and water sensitive urban design treatments.
- Finished levels, if required by the responsible authority.
- Any other matter specified in a schedule to the Parking Overlay.

Plans must be provided to the responsible authority under Clause 52.06-8 wherever Clause 52.06 applies, whether or not a permit application is being made under Clause 52.06-3 or any other provision of the planning scheme.

Where an application is being made for a permit under Clause 52.06-3 or another provision of the planning scheme, the information required under Clause 52.06-8 may be included in other plans submitted with the application.

Clause 52.06-8 does not apply where no car parking spaces are proposed to be provided.

52.06-9 Design standards for car parking

Plans prepared in accordance with Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise.

Design standards 1, 3, 6 and 7 do not apply to an application to construct one dwelling on a lot.

Design standard 1 – Accessways

Accessways must:

Be at least 3 metres wide.

Accessways are 3.5m wide

Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.

NA

Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.

NA

Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres.

Garage door height is 2.2m

If the accessway serves four or more car spaces or connects to a road in a Transport Zone 2 or Transport Zone 3, the accessway must be designed so that cars can exit the site in a forward direction.

NA

Provide a passing area at the entrance at least 6.1 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in a Transport Zone 2 or Transport Zone 3.

NA

Have a corner splay or area at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.

Both Dwelling 1 and Dwelling 2 have a corner splay area 50% clear of obstructions to a height of 900mm.

Design standard 2 – Car parking spaces

Car spaces in garages or carports must be at least 6 metres long and 3.5 metres wide for a single space and 5.5 metres wide for a double space measured inside the garage or carport.

The garage of Dwelling 1 will have internal dimensions of 5.8m wide and 6m long.

The garage of Dwelling 2 will have internal dimensions of 5.65m wide and 6m long.

Where two or more car parking spaces are provided for a dwelling, at least one space must be under cover.

Double garages are provided for each dwelling.

Design standard 3: Gradients

Accessway grades must not be steeper than 1:10 (10 per cent) within 5 metres of the frontage to ensure safety for pedestrians and vehicles. The design must have regard to the wheelbase of the vehicle being designed for; pedestrian and vehicular traffic volumes; the nature of the car park; and the slope and configuration of the vehicle crossover at the site frontage. This does not apply to accessways serving three dwellings or less.

NA. The accessways serve less than three dwellings.

Design standard 4: Mechanical parking

NA

Design standard 5: Urban design

Ground level car parking, garage doors and accessways must not visually dominate public space.

The proposed double garages doors and accessways are not visually dominant. The landscaping in the front set back and the prominence of the entries of each dwelling help to reduce the visual impact of these structures.

Design standard 6: Safety

Car parking must be well lit and clearly signed.

The design of car parks must maximise natural surveillance and pedestrian visibility from adjacent buildings.

Pedestrian access to car parking areas from the street must be convenient.

Car parking spaces for each dwelling will be illuminated by wall lights. Each garage is both clearly visible from the street and benefits from the passive surveillance of habitable rooms.

Design standard 7: Landscaping

The layout of car parking areas must provide for water sensitive urban design treatment and landscaping.

Landscaping and trees must be planted to provide shade and shelter, soften the appearance of ground level car parking and aid in the clear identification of pedestrian paths.

Ground level car parking spaces must include trees planted with flush grilles. Spacing of trees must be determined having regard to the expected size of the selected species at maturity.

Landscaping surrounding the garages and accessways will provide shade and soften the appearance of the car parking areas.

52.06-11 Construction of car parking

Where a plan is required under Clause 52.06-8, the car parking spaces, access lanes, driveways and associated works and landscaping shown on the plan must be:

- constructed and available for use in accordance with the plan approved by the responsible authority; and
- formed to such levels and drained so that they can be used in accordance with the plan; and
- treated with an all-weather seal or some other durable surface; and
- line-marked or provided with some other adequate means of showing the car parking spaces,

before any of the following occurs:

- the new use commences; or
- the floor area or site area of the existing use is increased; or
- the existing use is increased by the measure specified in Column C of Table 1 in Clause 52.06-5 for that use.

53.18 STORMWATER MANAGEMENT IN URBAN DEVELOPMENT

Purpose

To ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

53.18-1 Application

This clause applies to an application under a provision of a zone to subdivide land, construct a building, or construct or carry out works, other than the following applications:

An application under a provision of the Farming Zone, Green Wedge Zone, Green Wedge A Zone, Low Density Residential Zone, Public Conservation and Resource Zone, Transport Zone 2, Transport Zone 3, Rural Activity Zone, Rural Conservation Zone, Rural Living Zone, Urban Floodway Zone or Urban Growth Zone (Part A – No precinct structure plan applies).

The proposal is not exempt from this provision.

53.18-2 Operation

The provisions of this clause contain:

- **Objectives.** An objective describes the desired outcome to be achieved in the completed development.
- **Standards.** A standard contains the requirements to meet the objective. A standard should normally be met. However, if the responsible authority is satisfied that an application for an alternative design solution meets the objective, the alternative design solution may be considered.

53.18-3 Requirements

An application to construct a building or construct or carry out works:

- Must meet all of the objectives of Clauses 53.18-5 and 53.18-6.
- Should meet all of the standards of Clauses 53.18-5 and 53.18-6.

An application must be accompanied by details of the proposed stormwater management system, including drainage works and retention, detention and discharges of stormwater to the drainage system.

53.18-5 Stormwater management objectives for buildings and works

To encourage stormwater management that maximises the retention and reuse of stormwater.

To encourage development that reduces the impact of stormwater on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.

To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.

To ensure that industrial and commercial chemical pollutants and other toxicants do not enter the stormwater system.

Standard W2

The stormwater management system should be designed to:

- Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).
- Minimise the impact of chemical pollutants and other toxicants including by, but not limited to, bunding and covering or roofing of storage, loading and work areas.
- Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.

Rainwater tanks are provided for each dwelling which will reduce the speed and volume of stormwater entering the drainage system. Rain gardens and permeable surfaces will allow for sufficient water infiltration. Landscape areas watered from rain water collection tanks will contribute to cooling and provide attractive and enjoyable spaces.

See attached STORM report which demonstrates the site exceeding these targets.

53.18-6 Site management objectives

To protect drainage infrastructure and receiving waters from sedimentation and contamination.

To protect the site and surrounding area from environmental degradation prior to and during construction of subdivision works.

Standard W3

An application should describe how the site will be managed prior to and during the construction period and may set out requirements for managing:

- Erosion and sediment.
- Stormwater.
- Litter, concrete and other construction wastes.
- Chemical contamination.

During construction the use of filtration bales will prevent sediment runoff from the site. Litter, chemicals and other construction wastes will be collected and disposed of appropriately.

53.18-6 Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- Any relevant water and stormwater management objective, policy or statement set out in this planning scheme.
- The capacity of the site to incorporate stormwater retention and reuse and other water sensitive urban design features.

- Whether the development has utilised alternative water sources and/or incorporated water sensitive urban design.
- Whether stormwater discharge from the site will adversely affect water quality entering the drainage system.
- The capacity of the drainage network to accommodate additional stormwater.
- Whether the stormwater treatment areas can be effectively maintained.
- Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system.

The site has good capacity to retain and use stormwater collected from the roofed area. Landscaping and permeable surfaces will provide for stormwater infiltration. The small amount of stormwater leaving the site will not adversely affect water quality or place strain on the stormwater drainage system.

44.04 LAND SUBJECT TO INUNDATION OVERLAY

Shown on the planning scheme map as LSIO with a number (if shown).

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify flood prone land in a riverine or coastal area affected by the 1 in 100 (1 per cent Annual Exceedance Probability) year flood or any other area determined by the floodplain management authority.

To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, responds to the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.

To minimise the potential flood risk to life, health and safety associated with development.

To reflect a declaration under Division 4 of Part 10 of the Water Act, 1989.

To protect water quality and waterways as natural resources by managing urban stormwater, protecting water supply catchment areas, and managing saline discharges to minimise the risks to the environmental quality of water and groundwater.

To ensure that development maintains or improves river, marine, coastal and wetland health, waterway protection and floodplain health.

44.04-1 Land subject to inundation objectives and statement of risk

A schedule to this overlay may contain:

- Land subject to inundation management objectives to be achieved.
- A statement of risk.

None specified.

44.04-2 Buildings and works

A permit is required to construct a building or to construct or carry out works

44.04-4 Application requirements

An application must be accompanied by any information specified in a schedule to this overlay.

None specified.

44.04-5 Local floodplain development plan

If a local floodplain development plan has been developed for the area and has been incorporated into this scheme, an application must be consistent with the plan.

No local floodplain development plan has been developed or incorporated into this scheme.

44.04-7 Referral of applications

An application must be referred to the relevant floodplain management authority under Section 55 of the Act unless in the opinion of the responsible authority, the proposal

satisfies requirements or conditions previously agreed in writing between the responsible authority and the floodplain management authority.

44.04-8 Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.

Clause 13.03-1S Floodplain management aims to avoid intensifying the impact of flooding through inappropriately located use and development. The proposed development is appropriate to the general residential zone and would not intensify the impact of flooding.

- Any local floodplain development plan.
- Any comments from the relevant floodplain management authority.
- The existing use and development of the land.
- Whether the proposed use or development could be located on flood-free land or land with a lesser flood hazard outside this overlay.
- Alternative design or flood proofing responses.
- The susceptibility of the development to flooding and flood damage.
- The potential flood risk to life, health and safety associated with the development.
- Flood risk factors to consider include:
 - The frequency, duration, extent, depth and velocity of flooding of the site and accessway.
 - The flood warning time available.
 - Tidal patterns.
 - Coastal inundation and erosion.
 - The danger to the occupants of the development, other floodplain residents and emergency personnel if the site or accessway is flooded.

- The effect of the development on redirecting or obstructing floodwater, stormwater or drainage water and the effect of the development on reducing flood storage and increasing flood levels and flow velocities.

The development will not significantly affect the floodplain or flood events.

- The effect of the development on river, marine and coastal health values including wetlands, natural habitat, stream stability, erosion, environmental flows, water quality, estuaries and sites of scientific significance.
- Any other matters specified in a schedule to this overlay.

None Specified.

Appendix

STORM Report

STORM Rating Report

TransactionID: 0
Municipality: CENTRAL GOLDFIELDS
Rainfall Station: MARYBOROUGH
Address: 21 Rogers Street

Maryborough
VIC 3465
Assessor: Jeremy Lavender
Development Type: Residential - Multiunit
Allotment Site (m2): 1,114.00
STORM Rating %: 121

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dwelling 1 Accessway	29.60	None	0.00	0	0.00	0.00
Dw1 RG SW	14.70	Raingarden 100mm	3.00	0	134.00	0.00
DW 1 RG NW	29.25	Raingarden 100mm	4.58	0	134.00	0.00
DW 1 RG NE	36.29	Raingarden 100mm	5.69	0	134.00	0.00
Dw1 RG SE	26.64	Raingarden 100mm	3.87	0	134.00	0.00
Dw1 RWT	66.66	Rainwater Tank	3,000.00	3	172.00	82.00
dw2 access path	33.24	None	0.00	0	0.00	0.00
dw2 RG SW	43.74	Raingarden 100mm	8.00	0	134.00	0.00
dw 2 RG NW	27.23	Raingarden 100mm	4.40	0	134.00	0.00
dw2 rwt	88.88	Rainwater Tank	3,000.00	3	143.00	88.80

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PLAN OF SUBDIVISION
OF CROWN ALLOTMENT 5^A AND
PART OF CROWN ALLOTMENTS 4 & 9 SECTION 43^B
TOWN OF MARYBOROUGH
CROWN ALLOTMENTS 6, 6^A, 6^B AND 14 SECTION 11
AT MARYBOROUGH
PARISH OF MARYBOROUGH
COUNTY OF TALBOT
VOL. 7190 FOL. 806

Measurements are in Feet & Inches
Conversion Factor
FEET X 0.3048 = METRES

LP 17937

EDITION 1

PLAN MAY BE LODGED 9-6-48

COLOUR CODE

BL=BLUE G=GREEN
R1=BROWN P=PURPLE
Y=YELLOW R=RED
H=HATCH CH=CROSS HATCH

APPROPRIATIONS

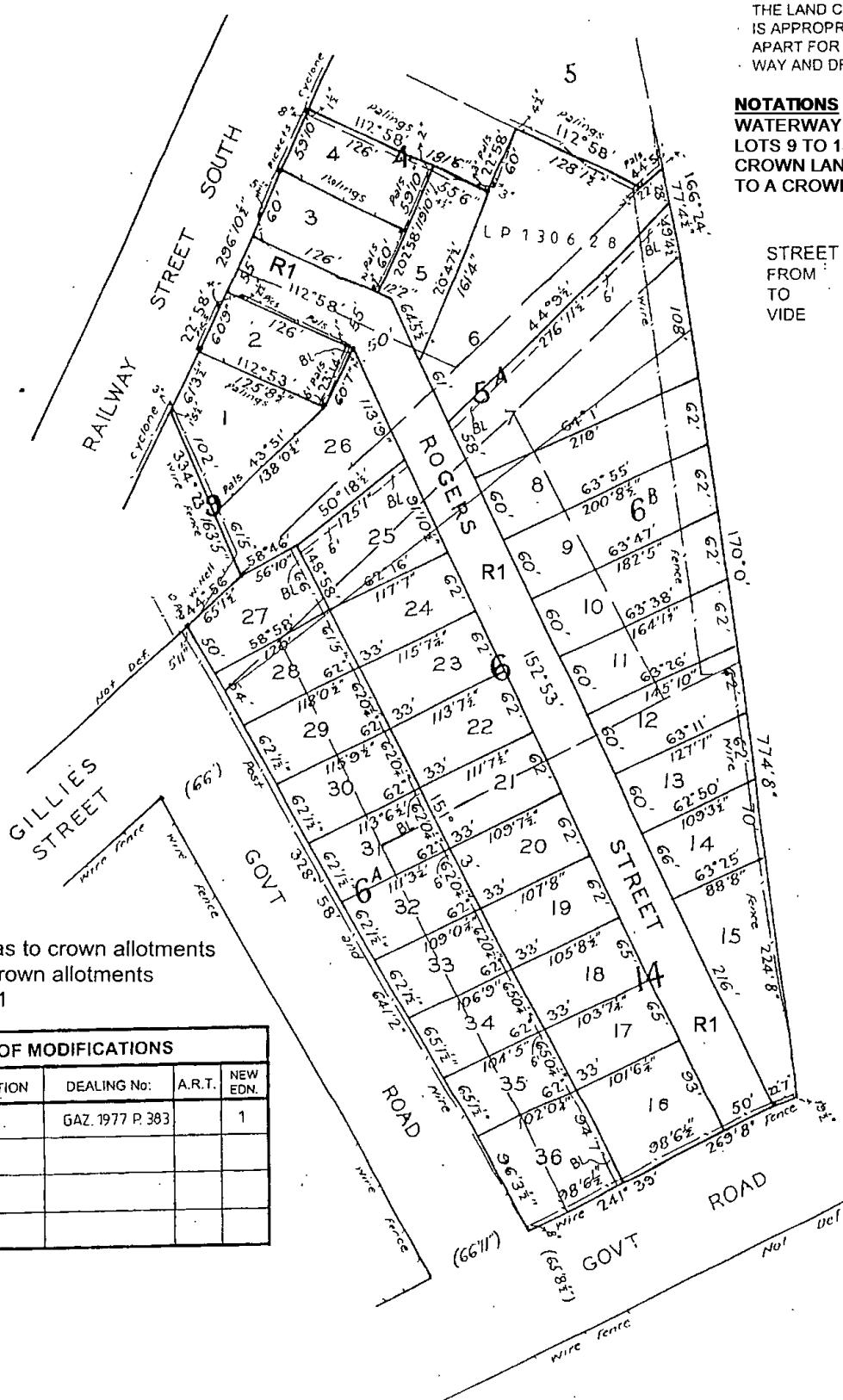
THE LAND COLOURED BLUE
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
DRAINAGE AND SEWERAGE

THE LAND COLOURED BROWN
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
WAY AND DRAINAGE

NOTATIONS

WATERWAY NOTATION:
LOTS 9 TO 15 IN THIS PLAN MAY ABUT
CROWN LAND THAT MAY BE SUBJECT
TO A CROWN LICENCE TO USE

STREET NAME AMENDED
FROM BOWMAN STREET
TO GILLIES STREET
VIDE GAZ 1962 P 1659

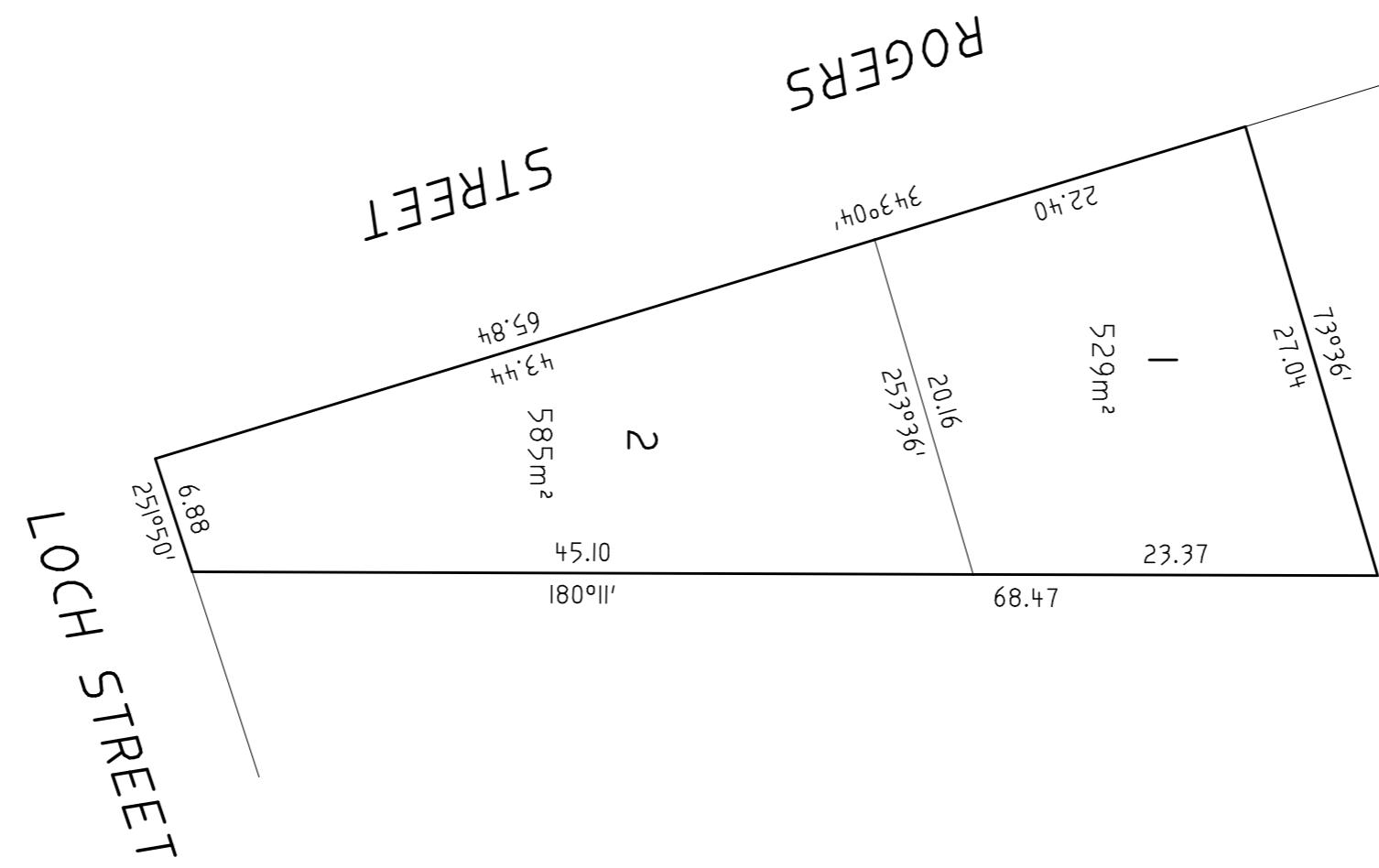


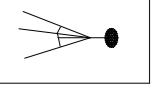
Depth limitation 50 feet as to crown allotments
4 & 9 section 43 d and crown allotments
6 a, 6 b and 14 section 11

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PS8346745

MGA2020
ZONE 55



 <p>SALTER SURVEYING PTY. LTD. CONSULTING LAND SURVEYORS 52A SYDNEY STREET KILMORE 3764 TEL. 57 821 414 125 ROBERTS STREET ESSENDON VIC 3040 TEL. 9374 3008</p>		SCALE 1:400	 <p>0 4 8 12 16</p> <p>LENGTHS ARE IN METRES</p>	ORIGINAL SHEET SIZE: A3	REF No.: 11420	SHEET 2
DUNCAN ERIC SALTER,	VERSION 1					

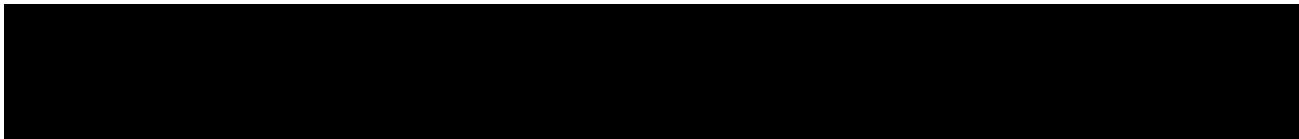
**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 07632 FOLIO 165

Security no : 124126334999B
Produced 18/07/2025 10:57 AM**LAND DESCRIPTION**

Lot 15 on Plan of Subdivision 017937.
PARENT TITLE Volume 07190 Folio 806
Created by instrument 2438613 20/09/1951

REGISTERED PROPRIETOR**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP017937 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 21 ROGERS STREET MARYBOROUGH VIC 3465

DOCUMENT END